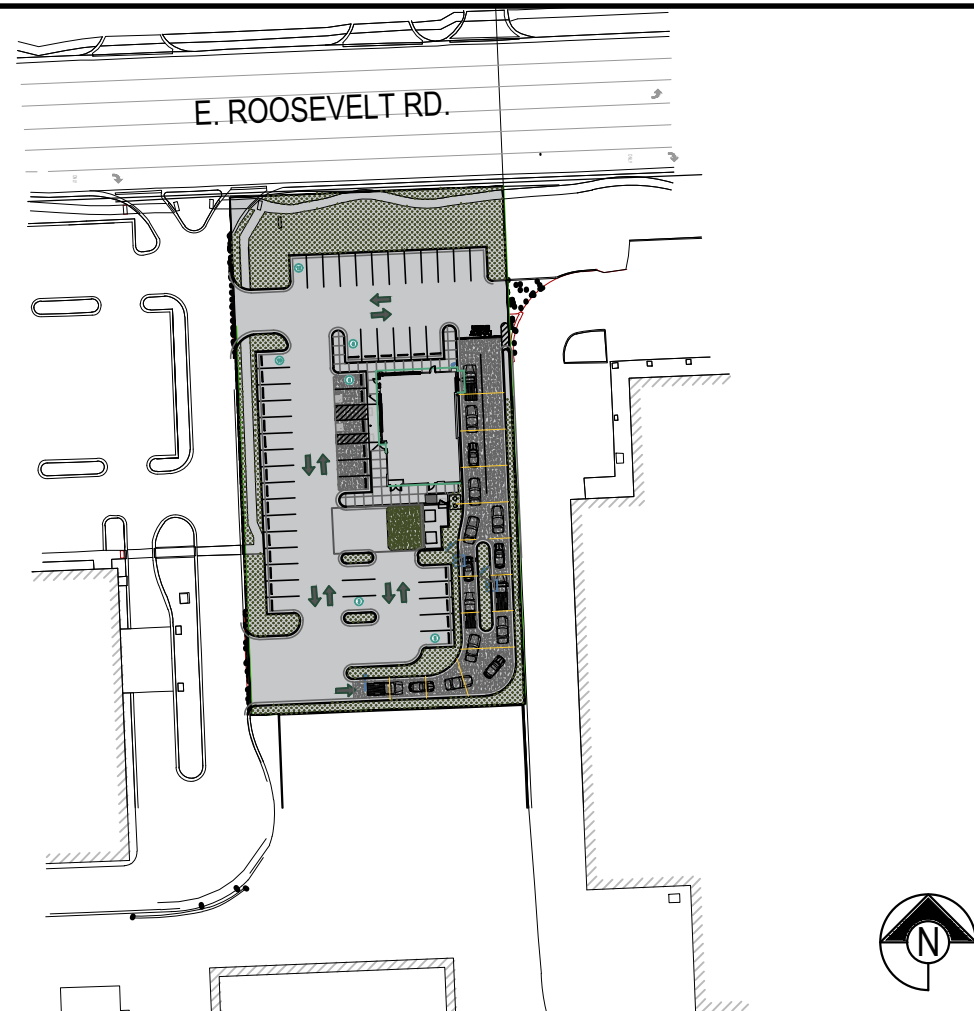


## The logo for Panda Express Chinese Kitchen is a circular emblem. It features a stylized black and white panda in the center, facing forward. The words "PANDA EXPRESS" are written in a bold, sans-serif font along the top inner edge of the circle, and "CHINESE KITCHEN" is written along the bottom inner edge. Two small dots separate the top and bottom text on the left and right sides.

351 E. ROOSEVELT ROAD  
LOMBARD, IL 60148

- 
- PROPOSED  
PANDA EXPRESS
- E. ROOSEVELT RD.



|                                 |                                  |                             |
|---------------------------------|----------------------------------|-----------------------------|
| LANDLORD                        | MECHANICAL, PLUMBING, ELECTRICAL | LANDSCAPE                   |
| G.W. LOMBARD LLC.               | MARK MCCAIN                      | MARY CLARE AMER             |
| 2211 N ELSTON AVENUE, SUITE 304 | RTM ENGINEERING CONSULTANTS      | WALLACE ENGINEERING         |
| CHICAGO, IL 60614               | 14901 QUORUM DRIVE,              | 1741 MCGEE STREET,          |
|                                 | DALLAS, TX 75254                 | KANSAS CITY, MISSOURI 64108 |
|                                 | O: 972.387.3500                  | D: 816.421.8282             |
|                                 | D: 469.776.0013                  | T: 816.569.3191             |

## Scale= NTS | G-001

|                       |                        |                            |                         |
|-----------------------|------------------------|----------------------------|-------------------------|
| WATER / SEWER         | FIRE DEPARTMENT        | HEALTH DEPARTMENT          | TELEPHONE COMPANY       |
| JANA BRYANT           | PERRY JOHNSON          | DUPAGE COUNTY HEALTH DEPT. | KEITH NAYLOR            |
| VILLAGE OF LOMBARD    | FIRE PREVENTION BUREAU | 111 N. COUNTRY FARM ROAD,  | SPECTRUM BUSINESS       |
| COMMUNITY DEVELOPMENT | 255 E. WILSON AVE.     | WHEATON, IL 60187          | 3179 ERIE BLVD. E SUITE |
| 255 E. WILSON AVE.    | LOMBARD, IL 60148      | T: 630.682.7400            | SYRACUSE, NY 13214      |
| LOMBARD, IL 60148     | T: 630.620.4576        |                            | T: 315.930.3012         |
| T: 630.620.5973       |                        |                            |                         |

Scale= NTS | **G-001**

|        |                             |  |  |  |  |  |  |  |
|--------|-----------------------------|--|--|--|--|--|--|--|
| G-001  | TITLE SHEET                 |  |  |  |  |  |  |  |
| C01.0  | GENERAL NOTES               |  |  |  |  |  |  |  |
| C02.0  | SURVEY                      |  |  |  |  |  |  |  |
| C02.1  | SURVEY                      |  |  |  |  |  |  |  |
| C03.0  | DEMOLITION AND EC PLAN      |  |  |  |  |  |  |  |
| C04.0  | SITE PLAN                   |  |  |  |  |  |  |  |
| C04.1  | STAKING PLAN                |  |  |  |  |  |  |  |
| C04.2  | HARDSCAPE DETAILS I         |  |  |  |  |  |  |  |
| C04.3  | HARDSCAPE DETAILS II        |  |  |  |  |  |  |  |
| C05.0  | UTILITY PLAN                |  |  |  |  |  |  |  |
| C05.1  | UTILITY DETAILS I           |  |  |  |  |  |  |  |
| C06.0  | DRAINAGE & DRAINAGE PLAN    |  |  |  |  |  |  |  |
| C08.1  | ESPC DETAILS I              |  |  |  |  |  |  |  |
| C06.2  | ESPC DETAILS II             |  |  |  |  |  |  |  |
| L01.0  | LANDSCAPE                   |  |  |  |  |  |  |  |
| L01.1  | LANDSCAPE PLAN              |  |  |  |  |  |  |  |
| L01.2  | LANDSCAPE NOTES AND DETAILS |  |  |  |  |  |  |  |
| A -100 | SITE PLAN ARCHITECTURAL     |  |  |  |  |  |  |  |
| A -200 | EXTERIOR ELEVATIONS         |  |  |  |  |  |  |  |
| A -201 | EXTERIOR ELEVATIONS         |  |  |  |  |  |  |  |
| A -407 | TRASH ENCLOSURE DETAILS     |  |  |  |  |  |  |  |
| F00.0  | FOR REFERENCE               |  |  |  |  |  |  |  |
| F00.1  | SIGNAGE                     |  |  |  |  |  |  |  |

|       |                             |  |  |  |  |  |  |
|-------|-----------------------------|--|--|--|--|--|--|
| L01.0 | LANDSCAPE PLAN              |  |  |  |  |  |  |
| L01.1 | LANDSCAPE NOTES AND DETAILS |  |  |  |  |  |  |
|       | <b>ARCHITECTURAL</b>        |  |  |  |  |  |  |
| A-100 | SITE PLAN ARCHITECTURAL     |  |  |  |  |  |  |
| A-200 | EXTERIOR ELEVATIONS         |  |  |  |  |  |  |
| A-201 | EXTERIOR ELEVATIONS         |  |  |  |  |  |  |
| A-407 | TRASH ENCLOSURE DETAILS     |  |  |  |  |  |  |
|       | <b>FOR REFERENCE</b>        |  |  |  |  |  |  |
|       | SIGNAGE                     |  |  |  |  |  |  |

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## Scale= NTS | G-001

## Scale= NTS | G-001

## Scale= NTS | G-001

















|   |
|---|
| 2012 INTERNATIONAL BUILDING CODE                    |
| 2012 IFC, NFPA 72 2010, NFPA 13 2010, NFPA 101 2009 |
| 2012 INTERNATIONAL MECHANICAL CODE                  |
| 2015 INTERNATIONAL ENERGY CONSERVATION CODE         |
| 2014 NATIONAL ELECTRICAL CODE                       |
| 2018 ILLINOIS ACCESSIBILITY CODE                    |
| 2014 ILLINOIS STATE PLUMBING CODE                   |

|                                 |                |
|---------------------------------|----------------|
| SITE AREA                       | 42,864 SQ. FT. |
| LOT COVERAGE (FLOOR AREA RATIO) | 0.06           |
| LANDSCAPE PROVIDED              | 1,716 SQ. FT.  |
| PARKING PROVIDED                | 48             |

|                 |   |
|-----------------|---|
| RESTAURANT AREA | 2,381 S.F.                                |
| EMPLOYEES       | 3 EMPLOYEES / SHIFT<br>(2 SHIFTS PER DAY) |
| INDOOR SEATING  | 72  |
| OUTDOOR SEATING | 0   |

|                          |                                 |           |
|--------------------------|---------------------------------|-----------|
| INDOOR DINING            | 1016 SQ. FT. / (15 / SQ. FT.) = | 68        |
| KITCHEN                  | 965 SQ. FT. / (200 / SQ. FT.) = | 05        |
| TOILET/VESTIBULE/STORAGE | 214 SQ. FT. / (0 / SQ. FT.) =   | 00        |
| COOLER/FREEZER ROOMS     | 186 SQ. FT. / (0 / SQ. FT.) =   | 00        |
|                          | <b>TOTAL =</b>                  | <b>73</b> |
| OUTDOOR DINING           | 145 SQ. FT. / (15 / SQ. FT.) =  | 0         |
|                          | <b>TOTAL OCCUPANT LOAD =</b>    | <b>73</b> |

|                          |                        |                                  |
|--------------------------|------------------------|----------------------------------|
| OCCUPANCY CLASSIFICATION |                        | GROUP A-2 (ASSEMBLY)             |
| TYPE OF CONSTRUCTION     |                        | V-B                              |
| FIRE SPRINKLER           |                        | NO SPRINKLER                     |
|                          | <b><u>PROVIDED</u></b> | <b><u>REQUIRED / ALLOWED</u></b> |
| HEIGHT                   | 22'-6"                 | 40                               |
| STORY                    | 1                      | 1                                |
| AREA                     | 2,381 SQ. FT.          | 17,145.6 SQ.FT.                  |
| OCCUPANT LOAD            | 83                     | -                                |
| EXITS REQUIRED           | 3                      | 2                                |
| EGRESS WIDTH             | 120"                   | 79 X 0.2 = 15.6" - 16"           |

|   |                   |
|---|-------------------|
|  | DOOR TYPE         |
|  | WINDOW TYPE       |
|  | FLOOR FINISH      |
|  | WALL TYPE         |
|  | STRUCTURAL GRID   |
|  | CEILING FINISH    |
|  | WALL FINISH       |
|  | KITCHEN EQUIPMENT |
|  | ROOM NUMBER       |
|  | MARK OF ELEVATION |
|  | DETAIL            |
|  | INT. ELEVS        |
|  | SECTION           |
|  | NEW DOOR          |
|  | TEMPERED GLAZING  |
|  | EXT. ELEVS        |

## Scale= NTS | G-001

## Scale= NTS | G-001

## Scale= NTS | G-001

## Scale= NTS | G-001



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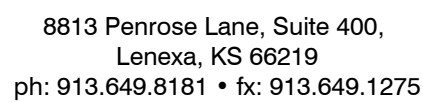
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PANDA PROJECT #: S8-22-D7142

PANDA STORE #:

ARCH PROJECT #: 21044.004



TRUE WARM & WELCOME  
351 E ROOSEVELT ROAD  
LOMBARD, IL 60148

G-001

# TITLE SHEET

TRUE WARM & WELCOME 2300 R5



\\ke-cad-server\civil\Projects\2150020 panda express - lombard, il\DWG\PRODUCTION\2150020 General Notes.dwg PLOT: 11/15/2021 2:58:22 PM ORIG SIZE: 24"x36"

GENERAL:

CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEP ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.

THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.

ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.

UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE VILLAGE OF LOMBARD STANDARDS, ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND ILLINOIS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND/OR THE APPROPRIATE LOCAL AUTHORITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, AND TAP FEES, ETC.

ALL ELEVATIONS IN PAVED AREAS ARE TOP OF FINISHED PAVEMENT UNLESS OTHERWISE NOTED.

RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ENGINEER BEFORE ANY UTILITY RELOCATION.

NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.

JULIE:

ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS) AND CALL "JULIE" AT 1-800-892-0123.

EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

SITE WORK AND GRADING:

ALL FEATURES OF THIS PROJECT INCLUDING, BUT NOT LIMITED TO, SIDEWALKS AND CURB RAMPS SHALL COMPLY WITH THE AMERICAN DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, AND THE INTERIM FINAL RULES FOR PUBLIC RIGHT-OF-WAY, PUBLISHED IN THE FEDERAL REGISTER, SEPTEMBER 2010, WHERE SPATIAL LIMITATIONS OR EXISTING FEATURES WITHIN THE LIMITS OF THE PROJECT PREVENT FULL COMPLIANCE WITH THIS ACT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERY OF SUCH FEATURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ASPECT OF THE WORK WHICH IS NOT IN FULL COMPLIANCE WITH THE ADA WITHOUT PRIOR, WRITTEN PERMISSION FROM THE ENGINEER. ANY WORK WHICH IS NOT PERFORMED WITHIN THE GUIDELINES OF THE ADA, FOR WHICH THE CONTRACTOR DOES NOT HAVE WRITTEN APPROVAL, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

CROSS SLOPES FOR SIDEWALKS SHALL NOT EXCEED 1:50  
RAMP SLOPES SHALL NOT EXCEED 1:12  
GRADES EXCEEDING 5% WILL BE TREATED AS A RAMP SLOPE

FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.

GEOTECHNICAL:

NONE PROVIDED

SURVEY:

EXISTING TOPOGRAPHY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY V3 COMPANIES, DATED MARCH 1, 2019.

EROSION CONTROL NOTES:

ALL EROSION CONTROL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE VILLAGE OF LOMBARD STANDARDS AND SPECIFICATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A STABILIZED CONSTRUCTION ENTRANCE, AND FOR CLEANING OF VEHICLE WHEELS IN ACCORDANCE WITH THE VILLAGE OF LOMBARD STANDARDS AND SPECIFICATIONS.

SILT FENCES: PLACEMENT OF SILT FENCES SHALL BE AS SHOWN ON THE DEMOLITION & EROSION CONTROL PLAN. FENCING WHICH BECOMES DAMAGED SHALL BE REPLACED PROMPTLY. DEPOSITS OF SILT WHICH BUILD UP BEHIND DIKES MAY BE DISKED INTO THE SITE BEFORE PLACEMENT OF TEMPORARY COVER. AFTER TEMPORARY COVER IS PLACED OR AFTER LANDSCAPING COMMENCES, SILT SHALL BE REMOVED AND DISPOSED OF IN A MANNER APPROVED BY THE ENGINEER.

TEMPORARY EROSION CONTROL:

ALL DISTURBED EARTH SURFACES WHICH ARE NOT PAVED OR BUILDING PADS SHALL BE LANDSCAPED OR REVEGETATED WITH A TEMPORARY COVER, DEPENDING ON THE PLANTING SEASON, AS OUTLINED BELOW.

| PLANT TYPE      | PER ACRE | PER 1000 SQ. FT. | PLANTING DATE | DEPTH OF SEEDING |
|-----------------|----------|------------------|---------------|------------------|
| ANNUAL RYEGRASS | 40 LBS.  | 0.9 LBS.         | 09/05-11/30   | ¼ INCH           |
| ELBON RYE       | 2 BU.    | 3.0 LBS.         | 08/15-11/30   | 2 INCH           |
| WHEAT           | 2 BU.    | 3.0 LBS.         | 08/15-11/30   | 2 INCH           |
| OATS            | 3 BU.    | 2.5 LBS.         | 08/15-11/30   | 2 INCH           |
| SORGHUMS        | 60 LBS.  | 1.4 LBS.         | 03/01-09/15   | 2 INCH           |
| SUDAN GRASS     | 60 LBS.  | 1.4 LBS.         | 04/01-09/15   | 2 INCH           |

PRIOR TO SEEDING, NEEDED EROSION CONTROL PRACTICES SHALL BE INSTALLED.

THE SUBGRADE SHALL BE LOOSEENED EVENLY TO A DEPTH OF 2 TO 3 INCHES AND 10-20-10 FERTILIZER (10 LBS. PER 1000 SQ. FT. OR 450 LBS. PER ACRE) SHALL BE MIXED WITH THE LOOSENED SOIL BY DISKING OR OTHER SUITABLE MEANS.

SOIL SHALL BE TESTED AND LIME TREATED IF REQUIRED BY TESTING FIRM.

SEEDS MAY BE DRILLED OR BROADCAST UNIFORMLY.

SEEDING IMPLEMENTS SHOULD BE USED AT RIGHT ANGLES TO THE SLOPE TO MINIMIZE EROSION.

MULCH SHALL BE USED ON ALL SLOPES GREATER THAN 5 PERCENT OR AS NEEDED.

THE AREA SHALL BE WATERED DAILY OR AS OFTEN AS NECESSARY TO MAINTAIN ADEQUATE SOIL MOISTURE UNTIL THE PLANTS EXCEED 1 INCH IN HEIGHT.

AS-BUILTS:

THE CONTRACTOR SHALL KEEP ON SITE A CURRENT SET OF THE APPROVED CONSTRUCTION WORKING DRAWINGS AT ALL TIMES. THE CONTRACTOR SHALL MARK (IN RED INK) ALL APPROVED CHANGES INCURRED FOLLOWING ISSUANCE OF THE DRAWINGS. THESE CHANGES MAY BE INITIATED FROM FIELD CONDITIONS OR CHANGES MADE BY THE DESIGN ENGINEER. EXCEPT FOR MINOR FIELD ADJUSTMENTS, ALL CHANGES SHALL BE REVIEWED AND AGREED TO BY THE DESIGN ENGINEER PRIOR TO FINAL APPROVAL OF THE PROJECT. THE CONTRACTOR SHALL SUBMIT THE WORKING DRAWINGS TO THE ENGINEER OF RECORD (DESIGN ENGINEER) AFTER FINAL INSPECTION OF PROJECT TO SERVE AS A BASIS FOR DEVELOPMENT OF FINAL AS-BUILT RECORD DRAWINGS.

PERMANENT EROSION CONTROL PRACTICES:

FOR PERMANENT TREATMENT OF AREAS WHICH ARE NOT TO BE PAVED, REFER TO LANDSCAPE PLANS; RE: L01.0-L01.1



D7159, STORE 8-20  
ROOSEVELT ROAD & HIGHLAND  
LOMBARD, IL 60148

ZONING

THE VILLAGE OF LOMBARD  
COMMUNITY DEVELOPMENT DEPARTMENT  
ANNA PAPKE  
255 E WILSON AVENUE  
LOMBARD, ILLINOIS 60148  
630-620-5758

ENGINEERING

THE VILLAGE OF LOMBARD  
COMMUNITY DEVELOPMENT DEPARTMENT  
JANA BRYANT  
255 E WILSON AVENUE  
LOMBARD, ILLINOIS 60148  
630-620-5973

WATER

THE VILLAGE OF LOMBARD  
COMMUNITY DEVELOPMENT DEPARTMENT  
JANA BRYANT  
255 E WILSON AVENUE  
LOMBARD, ILLINOIS 60148  
630-620-5973

SANITARY SEWER

THE VILLAGE OF LOMBARD  
PUBLIC WORKS  
255 E WILSON AVENUE  
LOMBARD, ILLINOIS 60148  
630-620-5740

STORMWATER

THE VILLAGE OF LOMBARD  
COMMUNITY DEVELOPMENT DEPARTMENT  
JANA BRYANT  
255 E WILSON AVENUE  
LOMBARD, ILLINOIS 60148  
630-620-5973

ELECTRIC

COMED  
877-428-6331

TELEPHONE

AT&T  
855-910-0548

GAS

NICOR GAS  
404-584-4000

SITE INFORMATION

JURISDICTION: VILLAGE OF LOMBARD

ZONING: B4A

REQUIRED BUILDING SETBACKS:

FRONT: 30'  
SIDE: 30'  
SIDE: 10'  
REAR: 30'

REQUIRED LANDSCAPE STRIP/ SETBACKS:

FRONT: 5' FOR PARKING  
SIDE: 5' FOR PARKING  
SIDE: 5' FOR PARKING  
REAR: 5' FOR PARKING

REQUIRED PARKING:  
12 SPACES PER 1000 SF GROSS FLOOR AREA  
2425 SF X 12 SPACES / 1000 SF =  
TOTAL 30 SPACES

PROPOSED PARKING:  
REGULAR (DIMS)= 44  
HANDICAP (DIMS)= 2  
TOTAL = 46

DRIVE AISLE WIDTH: (WIDTH MAY VARY) 24', UNLESS LOCALLY SPECIFIED OTHERWISE.

SITE AREA CALCULATIONS:

SITE: 0.98 AC  
PERVIOUS AREA: 0.20 AC  
IMPERVIOUS AREA: 0.78 AC  
DISTURBED AREA: 0.97 AC

FLOOD HAZARD: ZONE X  
F.I.R.M. MAP NO. 17043C0157J, DATED AUGUST 1, 2019.

EXISTING INFORMATION:

EXISTING SITE INFORMATION IS BASED ON ACTUAL SURVEY PERFORMED BY V3 COMPANIES, DATED MARCH 1, 2019.

SITE LIGHTING:  
PHOTOMETRICS DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION F POLES WITH PHOTOMETRIC PLAN AND OWNER PRIOR TO CONSTRUCTION.

LOCATION MAP



LOMBARD, ILLINOIS  
N.T.S.

CIVIL SHEET INDEX:

|       |                             |
|-------|-----------------------------|
| C01.0 | GENERAL NOTES               |
| C02.0 | SURVEY                      |
| C02.1 | SURVEY                      |
| C03.0 | DEMOLITION AND EC PLAN      |
| C04.0 | SITE PLAN                   |
| C04.1 | STAKING PLAN                |
| C04.2 | HARDSCAPE DETAILS I         |
| C04.3 | HARDSCAPE DETAILS II        |
| C05.0 | UTILITY PLAN                |
| C05.1 | UTILITY DETAILS I           |
| C06.0 | GRADING AND DRAINAGE PLAN   |
| C06.1 | ESPC DETAILS I              |
| C06.2 | ESPC DETAILS II             |
| L01.0 | LANDSCAPE PLAN              |
| L01.1 | LANDSCAPE NOTES AND DETAILS |

LEGEND

|                       |                        |      |                      |      |                           |      |                         |
|-----------------------|------------------------|------|----------------------|------|---------------------------|------|-------------------------|
| — 660 —               | EXISTING MAJOR CONTOUR | BM   | BENCH MARK           | BC   | BOT OF CURB               | PAVT | PAVEMENT                |
| — 662 —               | EXISTING MINOR CONTOUR | CO   | CLEANOUT             | CI   | CAST IRON                 | PE   | POLYETHYLENE            |
| — 660 —               | NEW MAJOR CONTOUR      | —    | DOWN GUY             | CLR  | CLEAR                     | PVC  | POLY VINYL CHLORIDE     |
| — 662 —               | NEW MINOR CONTOUR      | EP   | EMERGENCY PHONE      | CJ   | CONSTRUCTION JOINT        | R    | RADIUS                  |
| — x —                 | FENCE                  | ST   | FIBER OPTIC MANHOLE  | DB   | DRAINAGE BASIN            | RD   | ROOF DRAIN              |
| — T —                 | TELEPHONE OVERHEAD     | FDC  | FIRE DEPT CONNECTION | DIP  | DUCTILE IRON PIPE         | R/W  | RIGHT OF WAY            |
| — W —                 | POWER LINE OVERHEAD    | FH   | FIRE HYDRANT         | DGDI | DOUBLE GRATE CURB INLET   | RCP  | REINF CONCRETE PIPE     |
| — G —                 | GAS LINE               | W    | GAS / OIL WELL       | DO   | DOOR OPENING              | RJ   | RESTRAINED JOINT        |
| — O —                 | OIL LINE               | GM   | GAS METER            | EJ   | EXPANSION JOINT           | SGDI | SINGLE GRATE CURB INLET |
| — PUG —               | POWER UNDERGROUND      | LP   | LIGHT POLE           | EL   | ELEVATION                 | SF   | SQUARE FEET             |
| — TUG —               | TELEPHONE UNDERGROUND  | P    | POWER MANHOLE        | FF   | FINISH FLOOR              | SJ   | SAW JOINT               |
| — TVUG —              | TV UNDERGROUND         | φ    | POWER POLE           | FG   | FINISH GRADE              | TC   | TOP OF CURB             |
| — W —                 | WATER LINE             | PB   | PULL BOX             | FL   | FLOWLINE                  | TG   | TOP OF GRATE            |
| — SS —                | SANITARY SEWER LINE    | ST   | SANITARY MANHOLE     | HB   | HOSE BIB                  | TOF  | TOP OF FOOTING          |
| — - - - - - - - - - - | FLOW LINE DITCH        | ST   | STEAM MANHOLE        | HDPE | HIGH DENSITY POLYETHYLENE | TP   | TOP OF PAVEMENT         |
| — ■ ■ ■ ■ ■           | HAY BALE               | S    | STORM MANHOLE        | IRR  | IRRIGATION                | TR   | TOP OF RIM              |
| — SF —                | SILT FENCE             | T    | TELEPHONE MANHOLE    | IST  | INLET SEDIMENT TRAP       | TS   | TOP OF SIDEWALK         |
|                       |                        | TPED | TELEPHONE PEDESTAL   | LF   | LINEAR FEET               | TW   | TOP OF WALL             |
|                       |                        | XFMR | TRANSFORMER PAD      | OHD  | OVERHEAD DOOR             | UNO  | UNLESS NOTED OTHERWISE  |
|                       |                        | Q    | VALVE                |      |                           |      |                         |
|                       |                        | WH   | WATER HYDRANT        |      |                           |      |                         |
|                       |                        | WM   | WATER METER          |      |                           |      |                         |
|                       |                        | W    | WATER WELL           |      |                           |      |                         |
|                       |                        | LS   | LIFT STATION MANHOLE |      |                           |      |                         |

wallace  
WALLACE ENGINEERING  
STRUCTURAL CONSULTANTS, INC  
STRUCTURAL AND CIVIL CONSULTANTS  
1741 MCGEE ST.  
KANSAS CITY, MO 64108  
(816) 421-8282  
ILLINOIS CA #184-001581 EXP 4/30/23



PANDA EXPRESS, INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770

Telephone: 626.799.9898  
Facsimile: 626.372.8288

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REVISIONS:

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ISSUE DATE:

|                  |          |
|------------------|----------|
| 90% SET          | 06-07-21 |
| PC PRELIM REVIEW | 06-14-21 |
| OWNER REV        | 08-09-21 |
| OWNER REV        | 09-13-21 |
| OWNER REV        | 09-30-21 |
| OWNER REV        | 10-11-21 |
| OWNER REV        | 11-15-21 |

DRAWN BY: JAL  
CHECKED BY: MCA

PANDA PROJECT #: XXX  
PANDA STORE #: S8-20-D7159  
ARCH PROJECT #: 21044.004

khckloverarchitect  
8813 PENROSE LANE, SUITE 400  
LENEXA, KS 66219  
ph: 913.648.8181 • fx: 913.648.1275

PANDA EXPRESS

TRUE WARM & WELCOME  
ROOSEVELT & HIGHLAND  
LOMBARD, IL 97217

GENERAL NOTES

C01.0

TRUE WARM & WELCOME 2300 R5



CAUTION

NOTICE TO CONTRACTOR  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES

BENCHMARK 1

SOUTHEAST TAG BOLT OF  
FIRE HYDRANT  
ELEV=725.48  
N=1072898.909  
E=1891805.943

BENCHMARK 2

SOUTHWEST TAG BOLT OF  
FIRE HYDRANT  
ELEV=723.20  
N=1072859.298  
E=1891522.461







**PANDA EXPRESS**  
LOMBARD, ILLINOIS

PART OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 39 NORTH, RANGE 11  
EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS.

LEGAL DESCRIPTION

LOT 2 IN HIGHLAND LANES 1ST RESUBDIVISION, RECORDED JULY 25, 2012 AS DOCUMENT NUMBER R2012-006879 IN THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS.  
ADDRESS: 351 E. ROOSEVELT ROAD, LOMBARD, IL



### LEGEND

- [illegible]

- SECTION CORNER**
- 7**
- QUARTER SECTION CORNER**
- O 19P FOUND RUCK PIPE  
O FIB FOUND RON BAR  
 $\Delta$  TP SET TWISTED POINT  
● EPK SET PK NAIL  
● BMS SET MAG NAIL  
● STP SET IRON PIPE  
● 88M SET CONCRETE MOUNTING WITH BRASS DISC
- SOIL BORING HOLE NUMBER**

## ABBREVIATIONS

- |  |
|--|
| 1. _____<br>2. _____<br>3. _____<br>4. _____<br>5. _____<br>6. _____<br>7. _____<br>8. _____<br>9. _____<br>10. _____<br>11. _____<br>12. _____<br>13. _____<br>14. _____<br>15. _____<br>16. _____<br>17. _____<br>18. _____<br>19. _____<br>20. _____<br>21. _____<br>22. _____<br>23. _____<br>24. _____<br>25. _____<br>26. _____<br>27. _____<br>28. _____<br>29. _____<br>30. _____<br>31. _____<br>32. _____<br>33. _____<br>34. _____<br>35. _____<br>36. _____<br>37. _____<br>38. _____<br>39. _____<br>40. _____<br>41. _____<br>42. _____<br>43. _____<br>44. _____<br>45. _____<br>46. _____<br>47. _____<br>48. _____<br>49. _____<br>50. _____<br>51. _____<br>52. _____<br>53. _____<br>54. _____<br>55. _____<br>56. _____<br>57. _____<br>58. _____<br>59. _____<br>60. _____<br>61. _____<br>62. _____<br>63. _____<br>64. _____<br>65. _____<br>66. _____<br>67. _____<br>68. _____<br>69. _____<br>70. _____<br>71. _____<br>72. _____<br>73. _____<br>74. _____<br>75. _____<br>76. _____<br>77. _____<br>78. _____<br>79. _____<br>80. _____<br>81. _____<br>82. _____<br>83. _____<br>84. _____<br>85. _____<br>86. _____<br>87. _____<br>88. _____<br>89. _____<br>90. _____<br>91. _____<br>92. _____<br>93. _____<br>94. _____<br>95. _____<br>96. _____<br>97. _____<br>98. _____<br>99. _____<br>100. _____<br>101. _____<br>102. _____<br>103. _____<br>104. _____<br>105. _____<br>106. _____<br>107. _____<br>108. _____<br>109. _____<br>110. _____<br>111. _____<br>112. _____<br>113. _____<br>114. _____<br>115. _____<br>116. _____<br>117. _____<br>118. _____<br>119. _____<br>120. _____<br>121. _____<br>122. _____<br>123. _____<br>124. _____<br>125. _____<br>126. _____<br>127. _____<br>128. _____<br>129. _____<br>130. _____<br>131. _____<br>132. _____<br>133. _____<br>134. _____<br>135. _____<br>136. _____<br>137. _____<br>138. _____<br>139. _____<br>140. _____<br>141. _____<br>142. _____<br>143. _____<br>144. _____<br>145. _____<br>146. _____<br>147. _____<br>148. _____<br>149. _____<br>150. _____<br>151. 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_____<br>223. _____<br>224. _____<br>225. _____<br>226. _____<br>227. _____<br>228. _____<br>229. _____<br>230. _____<br>231. _____<br>232. _____<br>233. _____<br>234. _____<br>235. _____<br>236. _____<br>237. _____<br>238. _____<br>239. _____<br>240. _____<br>241. _____<br>242. _____<br>243. _____<br>244. _____<br>245. _____<br>246. _____<br>247. _____<br>248. _____<br>249. _____<br>250. _____<br>251. _____<br>252. _____<br>253. _____<br>254. _____<br>255. _____<br>256. _____<br>257. _____<br>258. _____<br>259. _____<br>260. _____<br>261. _____<br>262. _____<br>263. _____<br>264. _____<br>265. _____<br>266. _____<br>267. _____<br>268. _____<br>269. _____<br>270. _____<br>271. _____<br>272. _____<br>273. _____<br>274. _____<br>275. _____<br>276. _____<br>277. _____<br>278. _____<br>279. _____<br>280. _____<br>281. _____<br>282. _____<br>283. _____<br>284. _____<br>285. _____<br>286. _____<br>287. _____<br>288. _____<br>289. _____<br>290. _____<br>291. _____<br>292. _____<br>293. 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_____<br>365. _____<br>366. _____<br>367. _____<br>368. _____<br>369. _____<br>370. _____<br>371. _____<br>372. _____<br>373. _____<br>374. _____<br>375. _____<br>376. _____<br>377. _____<br>378. _____<br>379. _____<br>380. _____<br>381. _____<br> |
|--|

- EXPRESSED CURBS  
 EXPONENTIAL CURVE  
 ASPHALT PAVING OR WATER (Hatched)  
 UNPAVED ROAD  
 CONCRETE  
 WETLANDS  
 EXISTING BUILDING  
 MARSH AREA  
 U.L.E. UTILITY EASEMENT  
 P.U.E. PUBLIC UTILITY EASEMENT  
 M.L.E. MINOR LOT EASEMENT  
 L.E. INTERIOR & FOREST EASEMENT  
 P.O.P. POINT OF COMPOUND CURVATURE  
 P.C.P. POINT OF BEGINNING CURVATURE  
 P.T. POINT OF TANGENCY  
 M.W. MEASURED WIDTH  
 CALCULATED DATUM  
 POINT FROM ROAD  
 PROPORTION TO MARKET EASEMENT  
 700'

## GENERAL NOTES

1. COMPARE THIS PLAT LEGAL DESCRIPTION AND ALL SURVEY POINTS AND MONUMENTS BEFORE ANY CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SURVEYOR.
2. DO NOT SCALE DIMENSIONS FROM THIS PLAT.
3. THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT TOGETHER WITH THE TITLE REFERENCE. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE PLAT WITH THE TITLE REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.
4. MANHOLES, INLETS, AND OTHER UTILITY RIMS OR GOATES SHOWN HEREON ARE FROM FIELD LOCATION OF SUCH, AND NOT OTHER REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY, THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE. THE LABELING OF THESE MANHOLES (SANITARY, WATER, ETC.) IS BASED SOLELY ON THE INFORMATION PROVIDED BY THE CLIENT. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE PLAT WITH THE TITLE REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.
5. THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRT, PAVING MATERIALS, ETC. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE PLAT WITH THE TITLE REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.
6. OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE.
7. CALL JULLIE AT 1-800-492-0123 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION.
8. PUBLIC AND/OR PRIVATE RECORDS HAVE NOT BEEN SEARCHED TO PROVIDE ADDITIONAL INFORMATION, OVERHEAD WIRES AND POLES (IF ANY EXIST) ARE SHOWN HEREON, HOWEVER THEIR LOCATION AND DIMENSIONS HAVE NOT BEEN SHOWN.
9. THIS PROPERTY IS SUBJECT TO SETBACKS AS ESTABLISHED PURSUANT TO VILLAGE OF LOMBARD ZONING ORDINANCE. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE PLAT WITH THE TITLE REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.
10. THIS PROPERTY IS ZONED BARO PER VILLAGE OF LOMBARD ZONING MAP DATED JANUARY 2018. SEE VILLAGE OF LOMBARD ZONING ORDINANCE FOR SPECIFICS.
11. THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
12. THE SURVEYOR IS NOT AWARE OF ANY NEW OR PROPOSED RIGHT OF WAY CHANGES, UNLESS INDICATED BY THE SURVEYOR'S FIELD OBSERVATIONS OR RECORDS. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE PLAT WITH THE TITLE REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.
13. A CURRENT TITLE COMMITMENT WAS NOT PROVIDED FOR SURVEYOR'S USE AT THE TIME OF SURVEY. THE SURVEYOR HAS CONDUCTED A VISUAL CHECK OF THE PLAT WITH THE TITLE REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.

# SURVEYOR CERTIFICATE


STATE OF ILLINOIS )  
 )SS  
COUNTY OF DUPAGE )  
TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11, 13, 16 AND 17 OF TABLE A THEREOF.


THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.

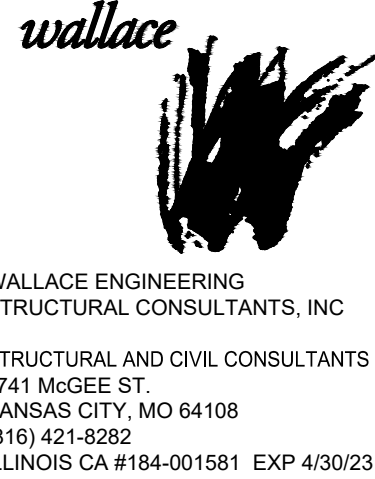
THE FIELD WORK WAS COMPLETED ON FEBRUARY 22, 2019.

DATED THIS 1ST DAY OF MARCH, A.D., 2019:

  
ANTHONY J. STRICKLAND  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35,3437

MY LICENSE EXPIRES ON NOVEMBER 30, 2020.  
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2021.  
V3 COMPANY, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902  
TSTRICKLAND@V3CO.COM

|   |   |  |     |  |      |                              |   |                   |                      |
|---|---|--|-----|--|------|------------------------------|---|-------------------|----------------------|
| <div><div>Engineers<br/>Scientists<br/>Surveyors</div></div> | 7325 Janes Avenue, Suite 100<br>Woodridge, IL 60517<br>630.724.9200 voice<br>630.724.0384 fax<br>v300.com | PREPARED FOR:<br><br>HC Klover Architect<br>10955 Lowell Avenue - Suite 700<br>Overland Park, KS 66210<br><br>913-649-8181 | NO. |  | DATE | REVISIONS<br><br>DESCRIPTION | ALTA/NSPS Land Title & Topographic Survey | Project No: 15270 |                      |
|   |   |  |     |  |      |                              |   |                   |                      |
|   |   |  |     |  |      |                              |   |                   |                      |
|   |   |  |     |  |      |                              |   |                   |                      |
|   |   |  |     |  |      |                              |   |                   |                      |
|   |   |  |     |  |      |                              | PANDA EXPRESS                             | Group No: VP01.1  |                      |
|   |   |  |     |  |      |                              | DRAFTING COMPLETED: 03-01-2019            | DRAWN BY: KAR     | PROJECT MANAGER: AJS |
|   |   |  |     |  |      |                              | FIELD WORK COMPLETED: 02-21-2019          | CHECKED BY: AJS   | SCALE: 1" = 30'      |
|   |   |  |     |  |      |                              |   |                   | SHEET NO:<br>2 of 2  |



**PANDA EXPRESS, INC.**  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

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## REVISIONS:

[illegible]

ISSUE DATE:

|                  |         |
|------------------|---------|
| 90% SET          | 06-07-2 |
| PC PRELIM REVIEW | 06-14-2 |
| OWNER REV        | 08-09-2 |
| OWNER REV        | 09-13-2 |
| OWNER REV        | 09-30-2 |
| OWNER REV        | 10-11-2 |
| OWNER REV        | 11-15-2 |

DRAWN BY: JAL  
CHECKED BY: MCA

PANDA PROJECT #: XXX  
PANDA STORE #: S8-20-D7159  
ARCH PROJECT #: 21044.004



**PANDA EXPRESS**  
TRUE WARM & WELCOME  
ROOSEVELT & HIGHLAND  
LOMBARD, IL 97217

## SURVEY

## C02.1



\\ke-cad-server\civil\Projects\2150020 panda express - lombard, il\dwg\PRODUCTION\2150020 Demo Plan.dwg PLOT: 11/15/2021 2:58:42 PM ORIG SIZE: 24"x36"

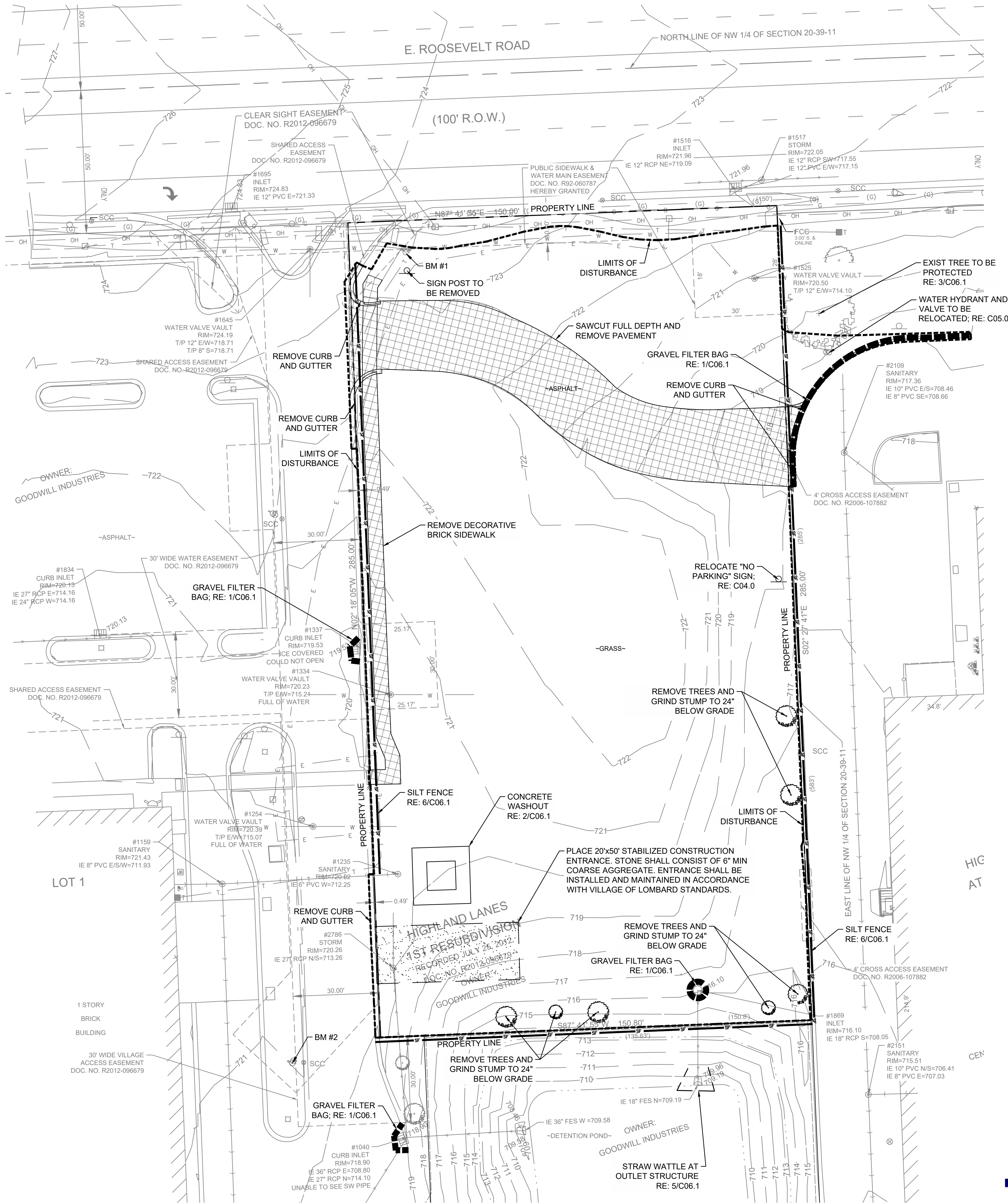


#### DEMOLITION NOTES

1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
2. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
3. CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
4. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
5. WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
7. CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
8. TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER SPECIFICATIONS ON THE GENERAL NOTES.
9. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES, DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
10. CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
11. CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.
12. SIX (6) FOOT CHAINLINK CONSTRUCTION FENCE SHALL BE MAINTAINED AND SECURED AROUND PERIMETER OF CONSTRUCTION SITE FOR DURATION OF PROJECT.
13. PRIOR TO UTILITY DEMOLITION COORDINATE WITH AUTHORITY HAVING JURISDICTION.
14. UTILITIES BEING REMOVED OR RELOCATED SHALL BE ISOLATED AND SERVICE DISCONNECTED PRIOR TO ANY DEMOLITION.

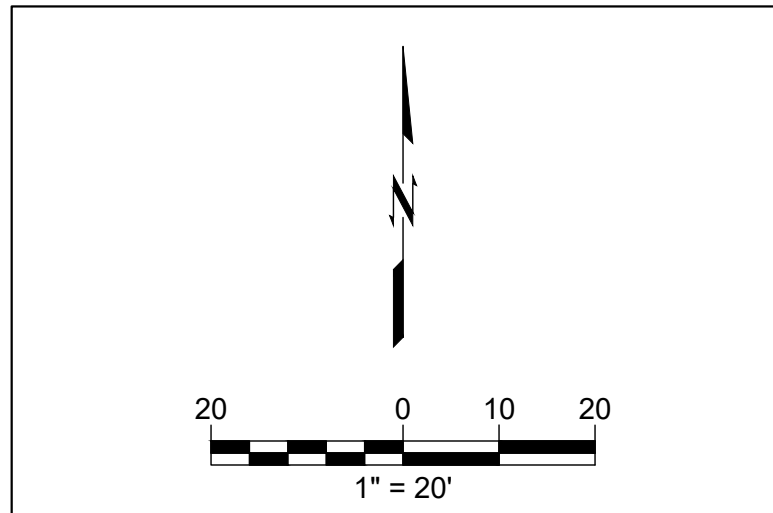
**BENCHMARK 1**  
SOUTHEAST TAG BOLT OF  
FIRE HYDRANT  
ELEV=725.48  
N=1072898.909  
E=1891805.943

**BENCHMARK 2**  
SOUTHWEST TAG BOLT OF  
FIRE HYDRANT  
ELEV=723.20  
N=1072859.298  
E=1891522.461



#### DEMOLITION LEGEND

|  |                                   |
|--|-----------------------------------|
|  | LIMITS OF DISTURBANCE             |
|  | SILT FENCE; RE: 6/C06.1           |
|  | GRAVEL FILTER BAGS<br>RE: 1/C06.1 |
|  | STRAW WATTLE                      |
|  | EX MINOR CONTOUR                  |
|  | EX MAJOR CONTOUR                  |
|  | PAVEMENT TO BE<br>REMOVED         |



#### CAUTION

NOTICE TO CONTRACTOR  
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**wallace**  
WALLACE ENGINEERING  
STRUCTURAL CONSULTANTS, INC  
STRUCTURAL AND CIVIL CONSULTANTS  
1741 MCGEE ST.  
KANSAS CITY, MO 64108  
(816) 421-8282  
ILLINOIS CA #184-001581 EXP 4/30/23



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1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

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#### REVISIONS:

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#### ISSUE DATE:

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|------------------|----------|
| 90% SET          | 06-07-21 |
| PC PRELIM REVIEW | 06-14-21 |
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**Khckloverarchitect**  
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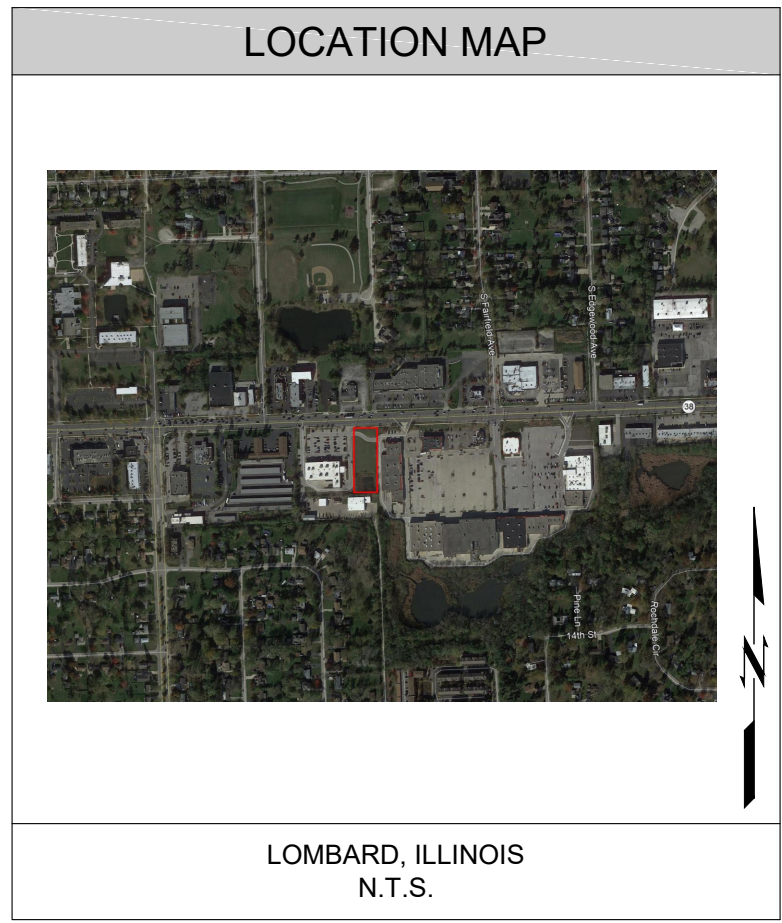
#### PANDA EXPRESS

TRUE WARM & WELCOME  
ROOSEVELT & HIGHLAND  
LOMBARD, IL 97217

DEMOLITION AND  
EC PLAN  
C03.0



\\kc-cad-server\civil\Projects\2150020 panda express - lombard, il\dwg\PRODUCTION\2150020 Site Plan.dwg PLOT: 11/15/2021 2:58:44 PM ORG SIZE: 24"x36"



### SITE INFORMATION

JURISDICTION: VILLAGE OF LOMBARD

ZONING: B4A

REQUIRED BUILDING SETBACKS:

FRONT: 30'  
SIDE: 30'  
SIDE: 10'  
REAR: 30'

REQUIRED LANDSCAPE STRIP/ SETBACKS:

FRONT: 5' FOR PARKING  
SIDE: 5' FOR PARKING  
SIDE: 5' FOR PARKING  
REAR: 5' FOR PARKING

REQUIRED PARKING:  
12 SPACES PER 1000 SF GROSS FLOOR AREA  
2300 SF X 12 SPACES / 1000 SF =  
TOTAL 28 SPACES

PROPOSED PARKING:

REGULAR (DIMS)= 45  
HANDICAP (DIMS)= 2  
TOTAL = 47

DRIVE AISLE WIDTH: (WIDTH MAY VARY) 24', UNLESS LOCALLY SPECIFIED OTHERWISE.

SITE AREA CALCULATIONS:

SITE: 0.98 AC  
PERVIOUS AREA: 0.20 AC  
IMPERVIOUS AREA: 0.78 AC  
DISTURBED AREA: 0.97 AC

FLOOD HAZARD: ZONE X  
F.I.R.M. MAP NO. 17043C0157J, DATED AUGUST 1, 2019.

EXISTING INFORMATION:  
EXISTING SITE INFORMATION IS BASED ON ACTUAL SURVEY PERFORMED BY V3 COMPANIES, DATED MARCH 1, 2019.

SITE LIGHTING:  
PHOTOMETRICS DESIGNED BY OTHERS. POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION F POLES WITH PHOTOMETRIC PLAN AND OWNER PRIOR TO CONSTRUCTION.

### SITE NOTES

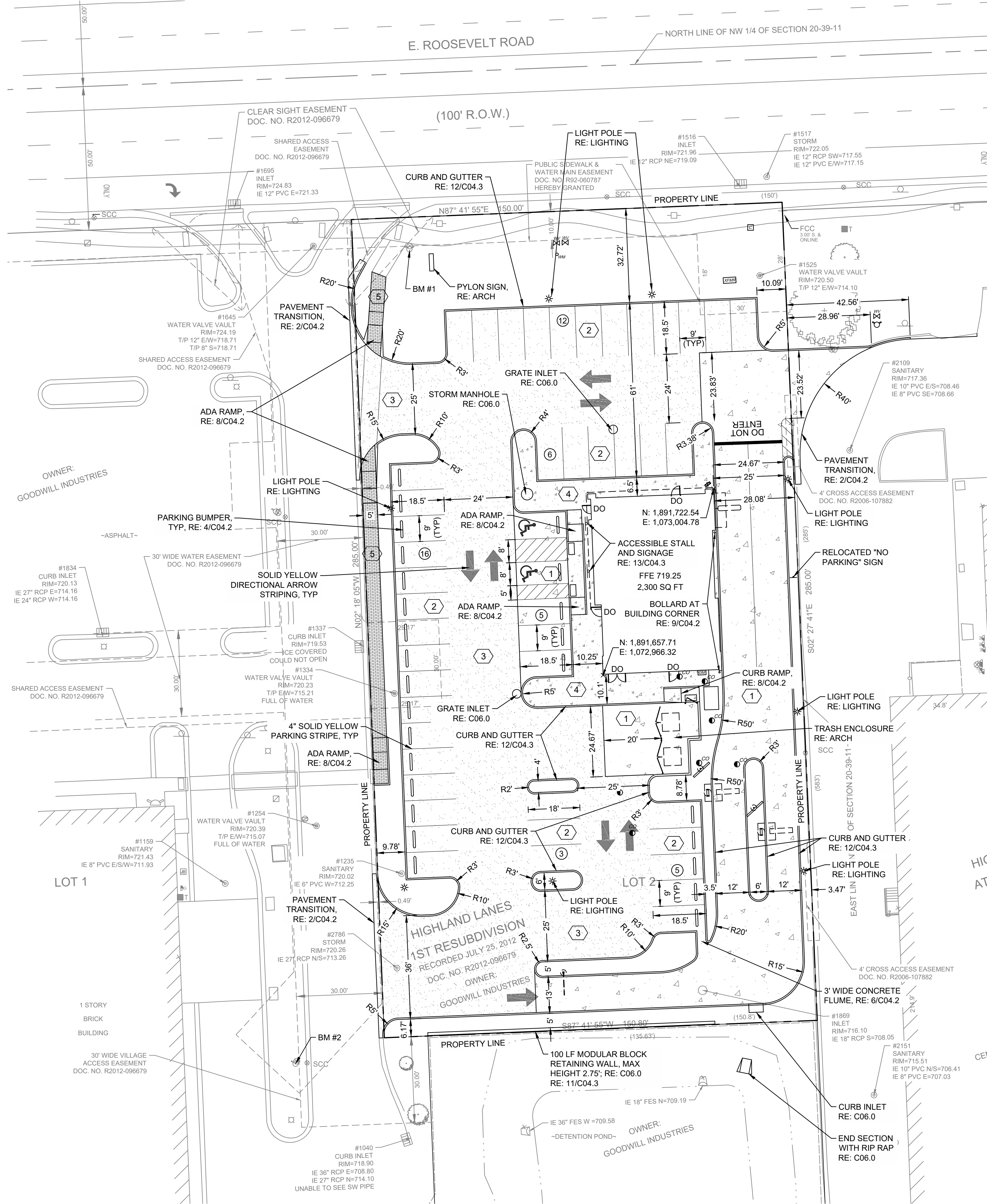
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS; RE: L01.0-L01.1.
- ALL DIMENSIONS AND COORDINATES ARE FROM BACK OF CURB UNLESS SHOWN OTHERWISE.
- CONCRETE PAVING SECTIONS SHALL BE SAWCUT AT 12" MAXIMUM SPACING EACH.
- BUILDING COORDINATES ARE TO OUTSIDE FACE OF WALL.

### BENCHMARK 1

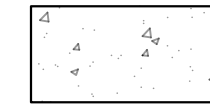
SOUTHEAST TAG BOLT OF  
FIRE HYDRANT  
ELEV=725.48  
N=1072898.909  
E=1891805.943

### BENCHMARK 2

SOUTHWEST TAG BOLT OF  
FIRE HYDRANT  
ELEV=723.20  
N=1072859.298  
E=1891522.461



### LEGEND



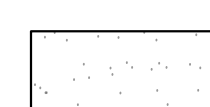
CONCRETE SIDEWALK PAVEMENT



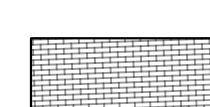
HEAVY DUTY CONCRETE PAVEMENT



HEAVY DUTY ASPHALT PAVEMENT IN DRIVES



STANDARD DUTY ASPHALT PAVEMENT IN STALLS



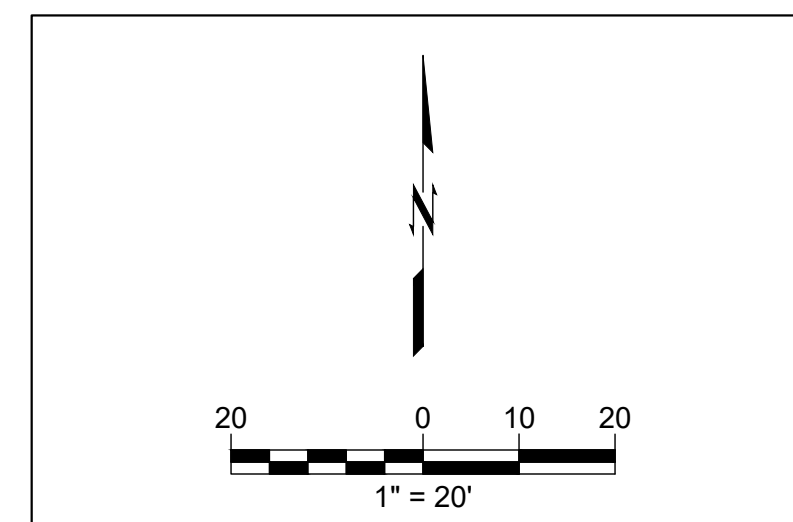
BRICK PAVER SIDEWALK; MATCH EXISTING

9

PARKING STALL COUNT

### KEY NOTES

- HEAVY DUTY CONCRETE PAVEMENT, RE: 1 & 7/C04.2
- STANDARD DUTY ASPHALT PAVEMENT, RE: 1/C04.2
- HEAVY DUTY ASPHALT PAVEMENT, RE: 1/C04.2
- CONCRETE SIDEWALK, RE: 5/C04.2
- BRICK PAVER SIDEWALK; MATCH EXISTING



### CAUTION

NOTICE TO CONTRACTOR

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(816) 421-8282  
ILLINOIS CA #184-001581 EXP 4/30/23



PANDA EXPRESS, INC.  
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Rosemead, California  
91770

Telephone: 626.799.9898  
Facsimile: 626.372.8288

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DRAWN BY: JAL

CHECKED BY: MCA

PANDA PROJECT #: XXX

PANDA STORE #: S8-20-D7159

ARCH PROJECT #: 21044.004



8813 PENROSE LANE, SUITE 400  
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ph: 913.648.8181 • fx: 913.648.1275

### PANDA EXPRESS

TRUE WARM & WELCOME  
ROOSEVELT & HIGHLAND  
LOMBARD, IL 97217

### SITE PLAN

C04.0

TRUE WARM & WELCOME 2300 R5



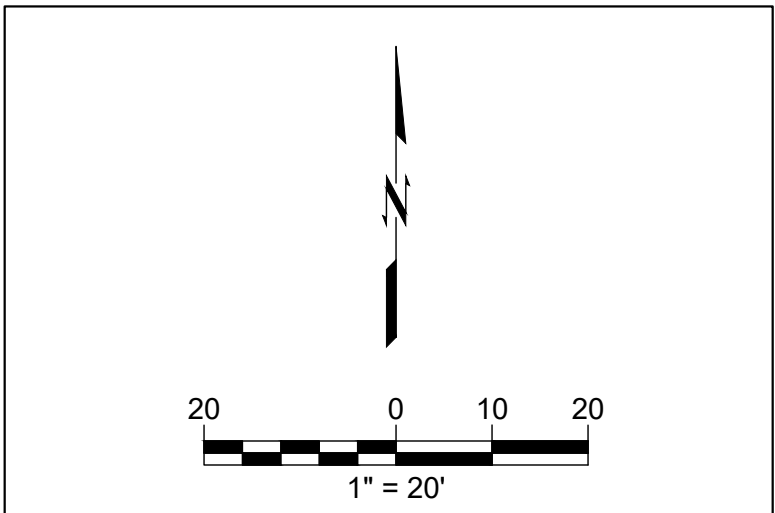
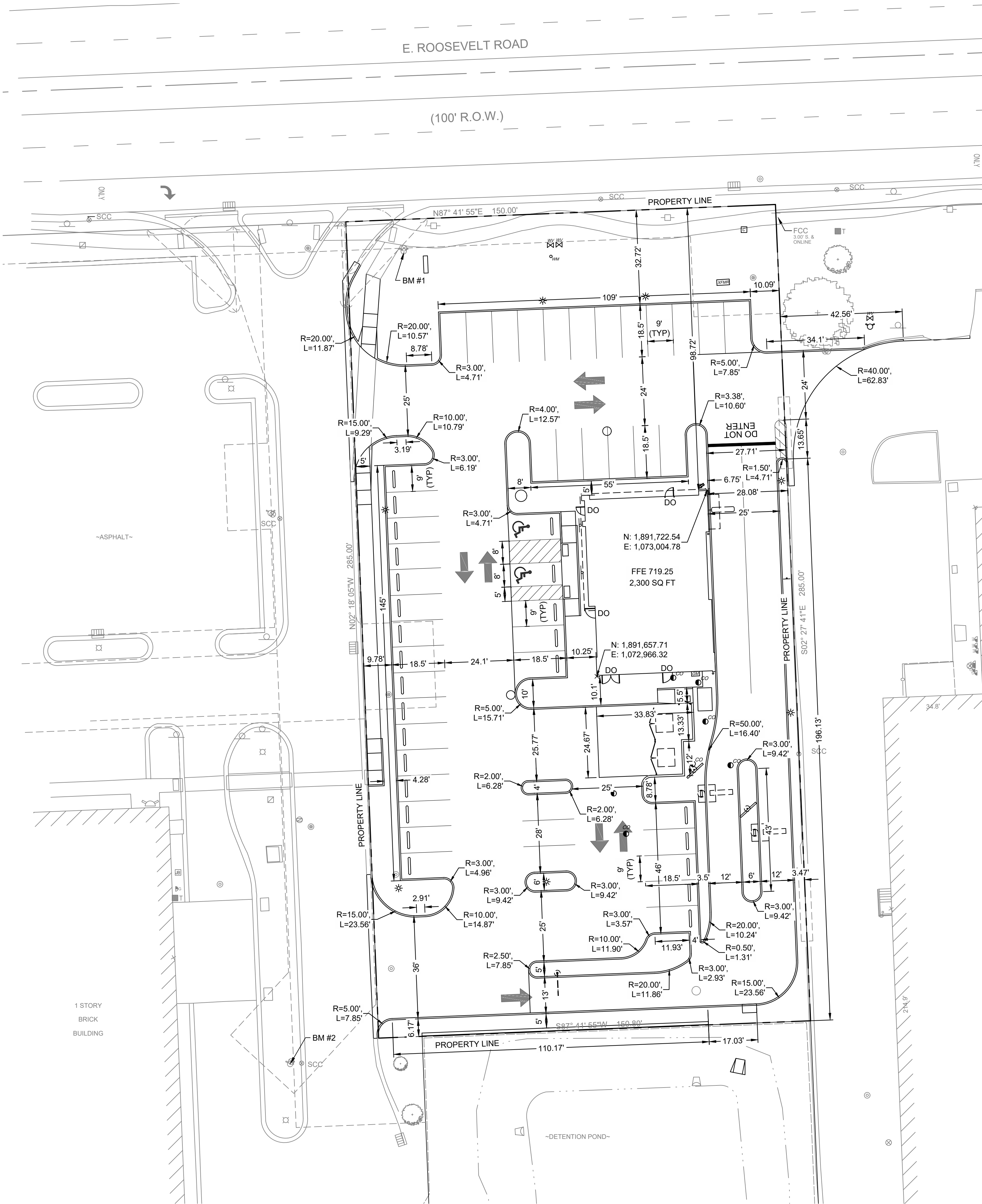
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ELEV=725.48  
N=1072898.909  
E=1891805.943

**BENCHMARK 2**  
SOUTHWEST TAG BOLT OF  
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ELEV=723.20  
N=1072859.298  
E=1891522.461



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DRAWN BY: JAL  
CHECKED BY: MCA

PANDA PROJECT #: XXX  
PANDA STORE #: S8-20-D7159  
ARCH PROJECT #: 21044.004

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STAKING PLAN

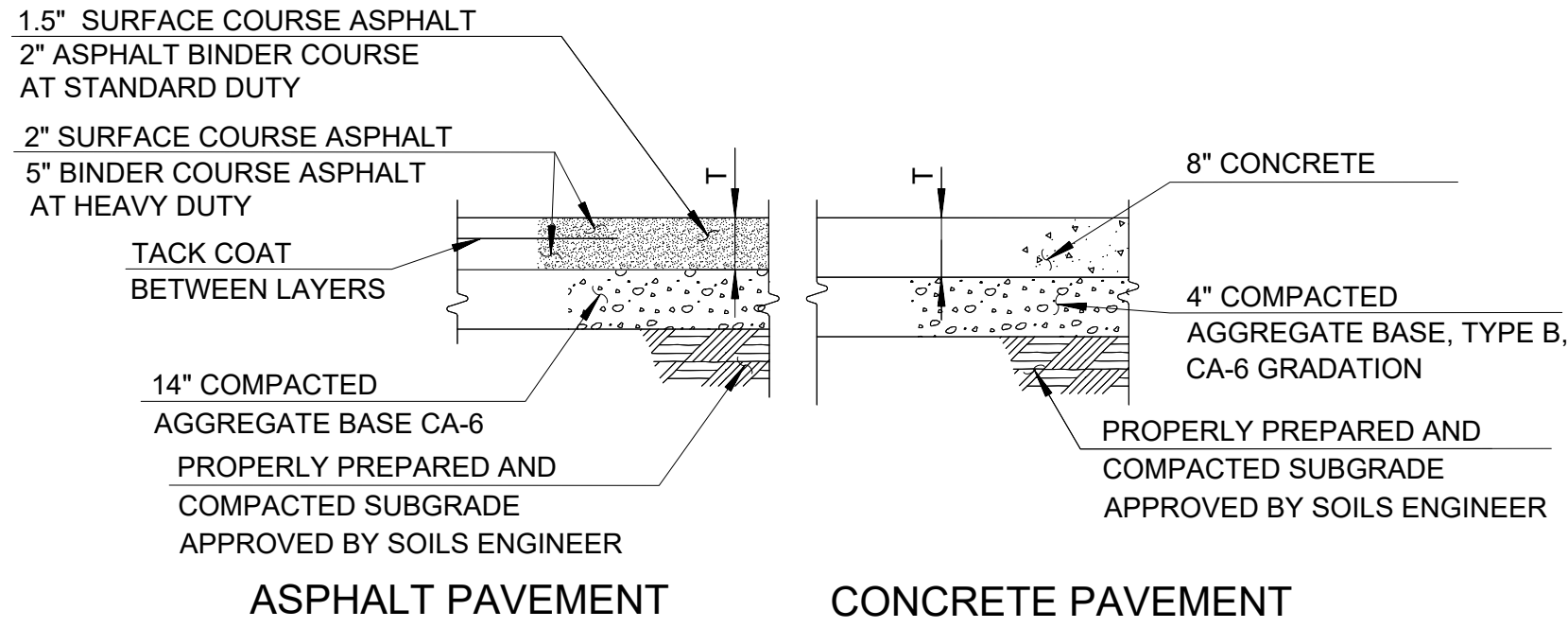
C04.1

TRUE WARM & WELCOME 2300 R5

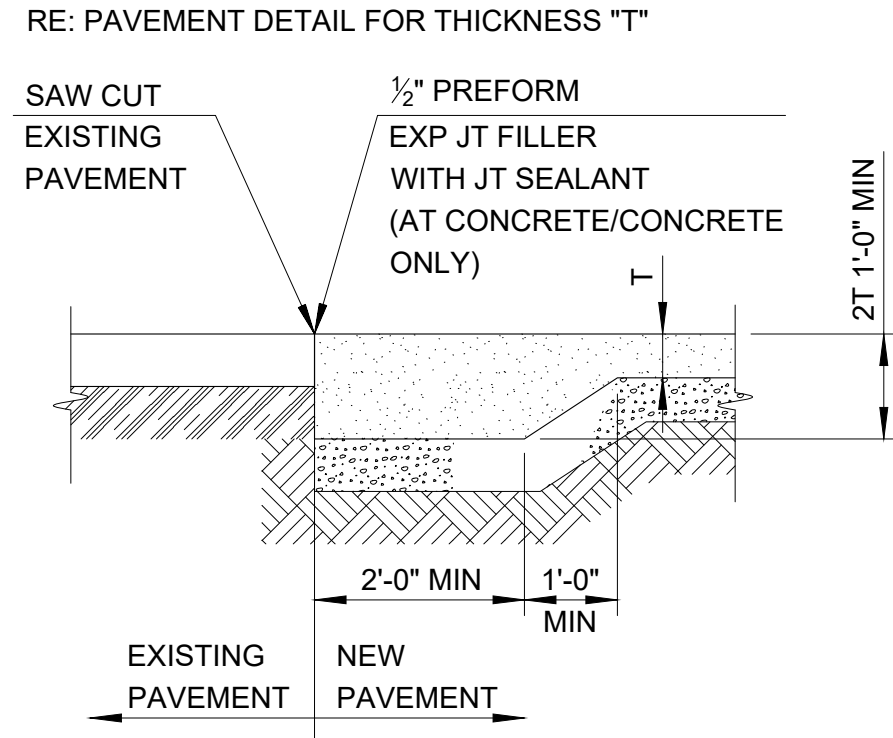


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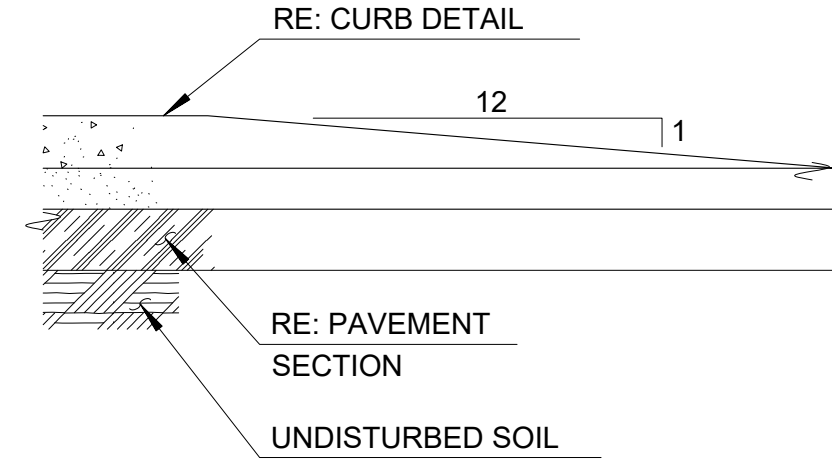
IF EXIST PAVING THICKNESS IS GREATER THAN SHOWN MATCH EXISTING



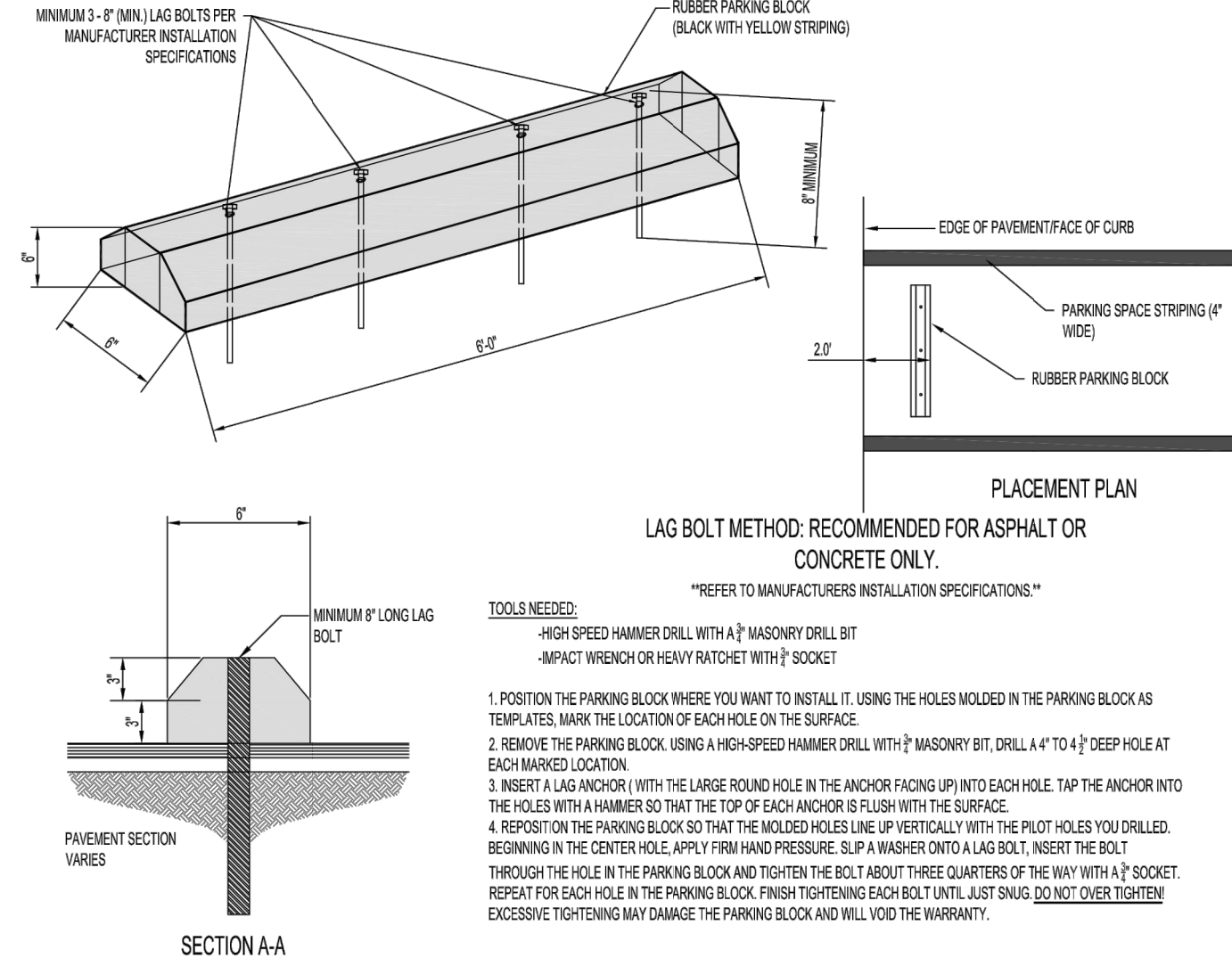
1 PAVEMENT DETAIL  
SCALE: NTS



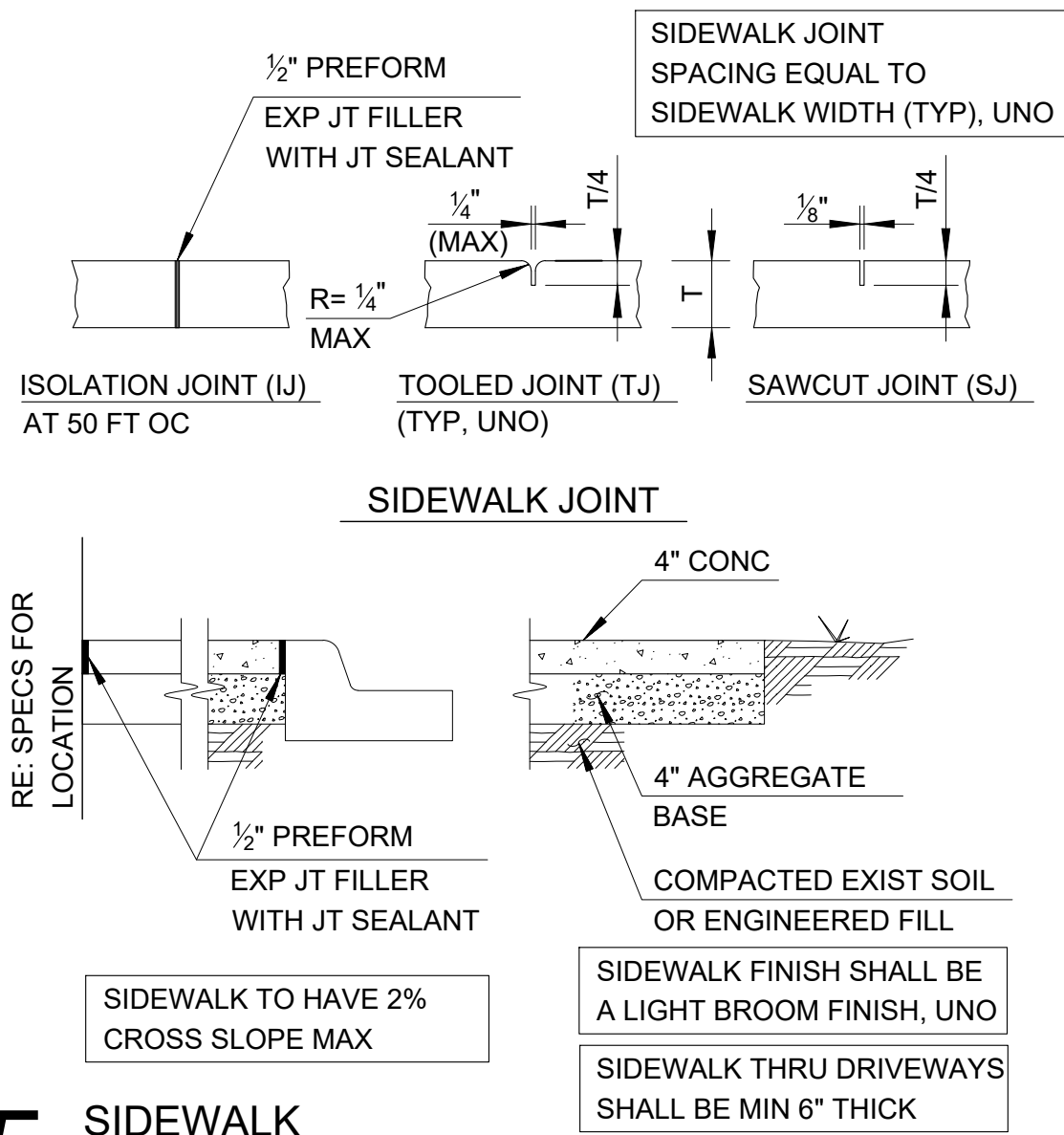
2 PAVEMENT TRANSITION  
SCALE: NTS



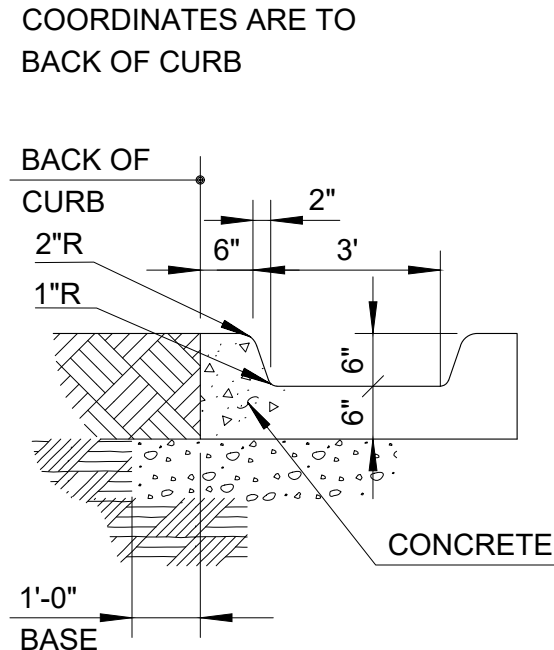
3 CURB TERMINATION  
SCALE: NTS



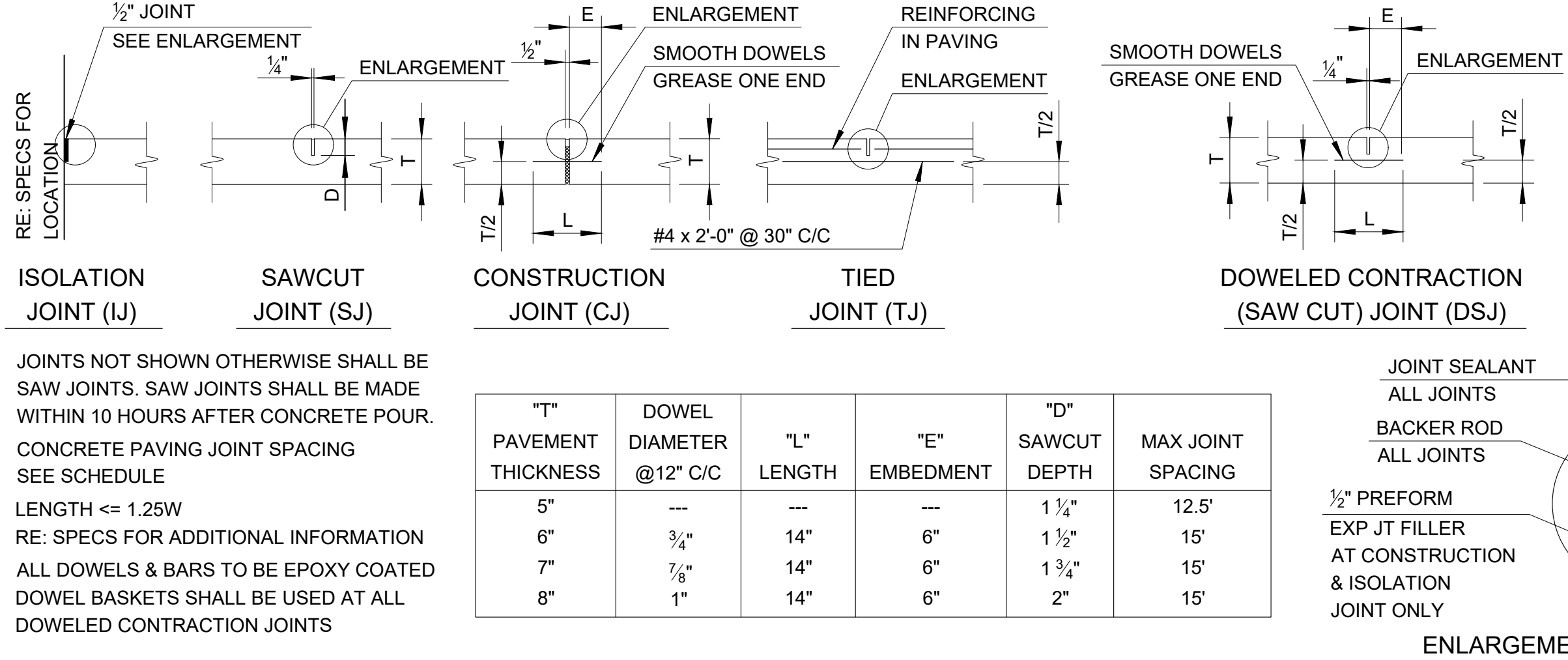
4 PARKING BUMPER  
SCALE: NTS



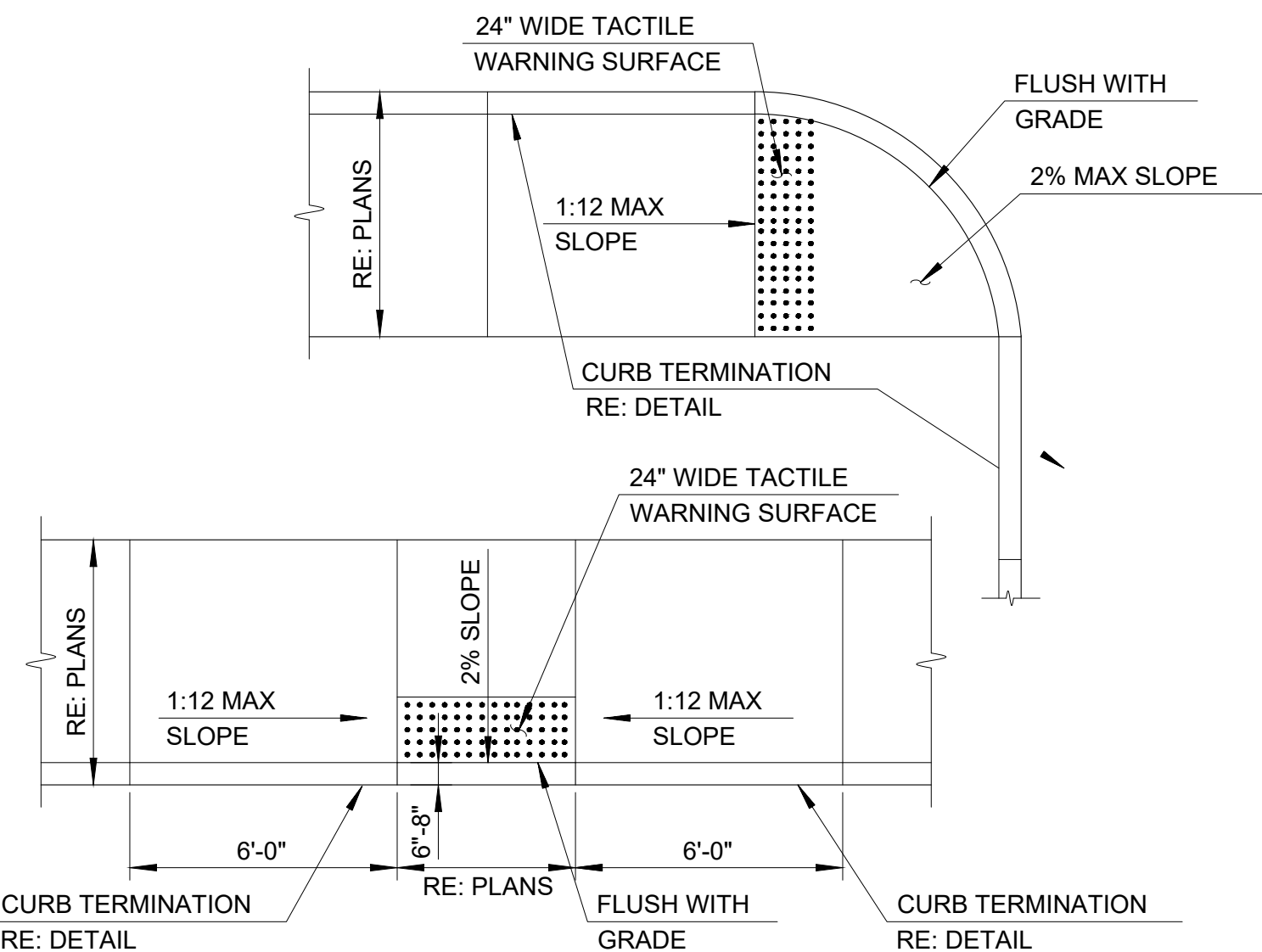
5 SIDEWALK  
SCALE: NTS



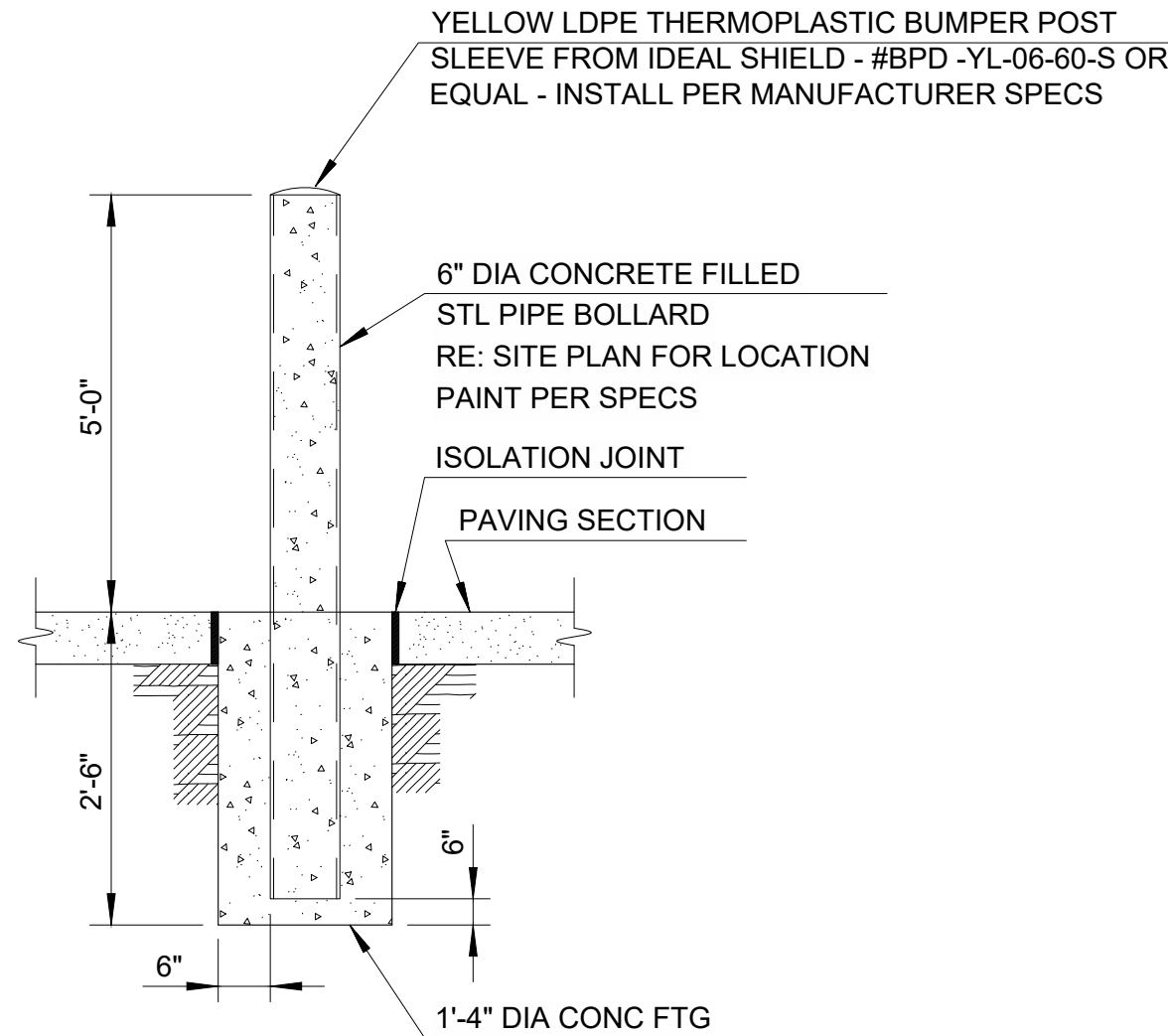
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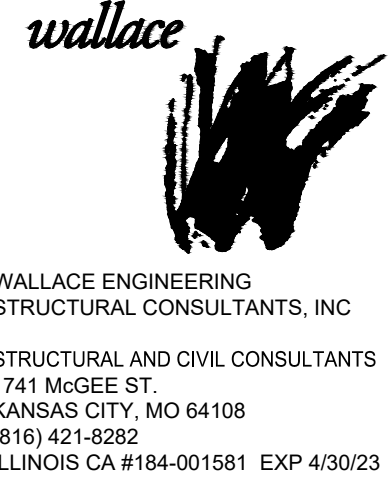
7 PAVING JOINT DETAIL  
SCALE: NTS



8 CURB RAMPS  
SCALE: NTS



9 BOLLARD  
SCALE: NTS



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DRAWN BY: JAL  
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ARCH PROJECT #: 21044.004

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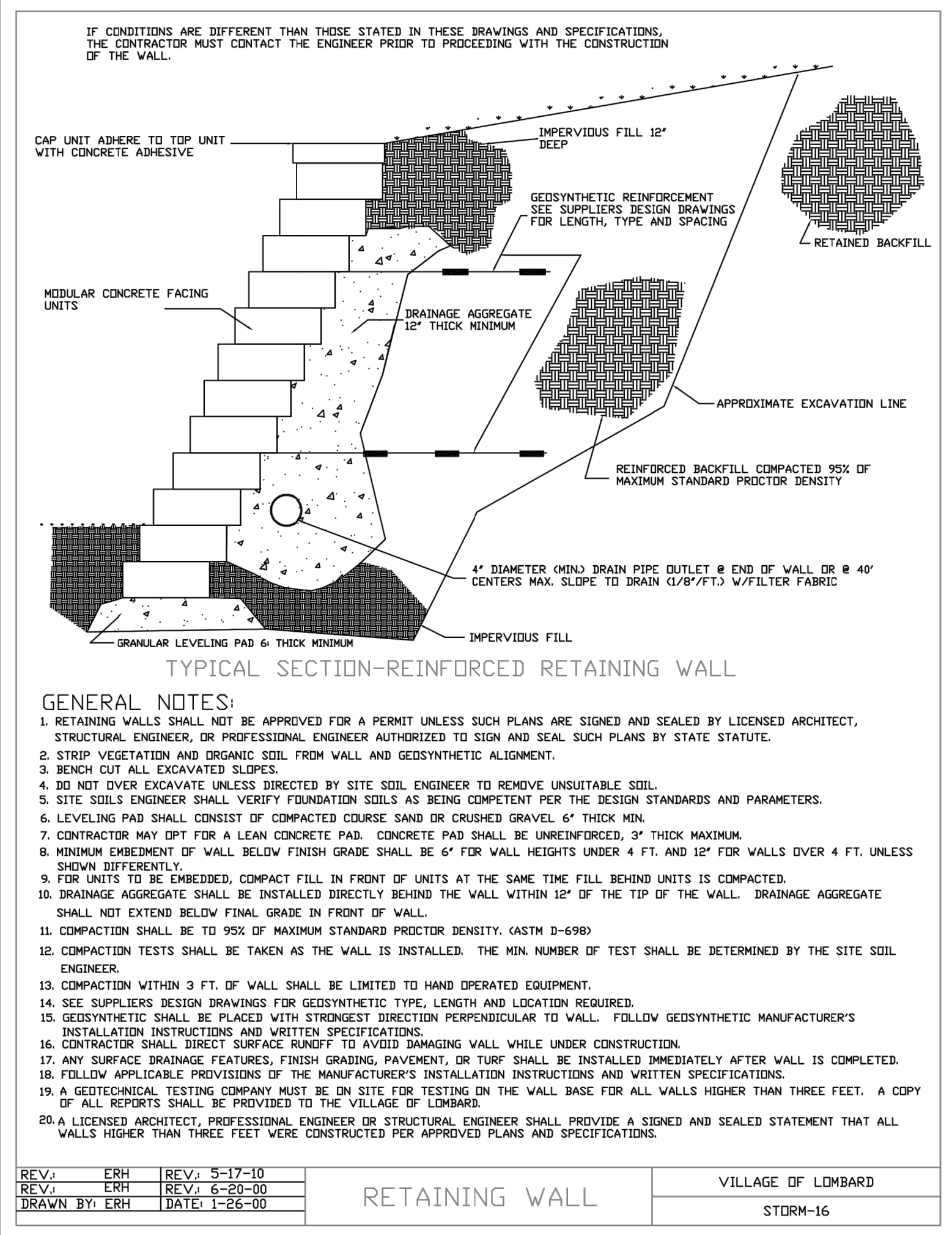
**PANDA EXPRESS**  
TRUE WARM & WELCOME  
ROOSEVELT & HIGHLAND  
LOMBARD, IL 97217

**HARDSCAPE  
DETAILS I  
C04.2**

TRUE WARM & WELCOME 2300 R5

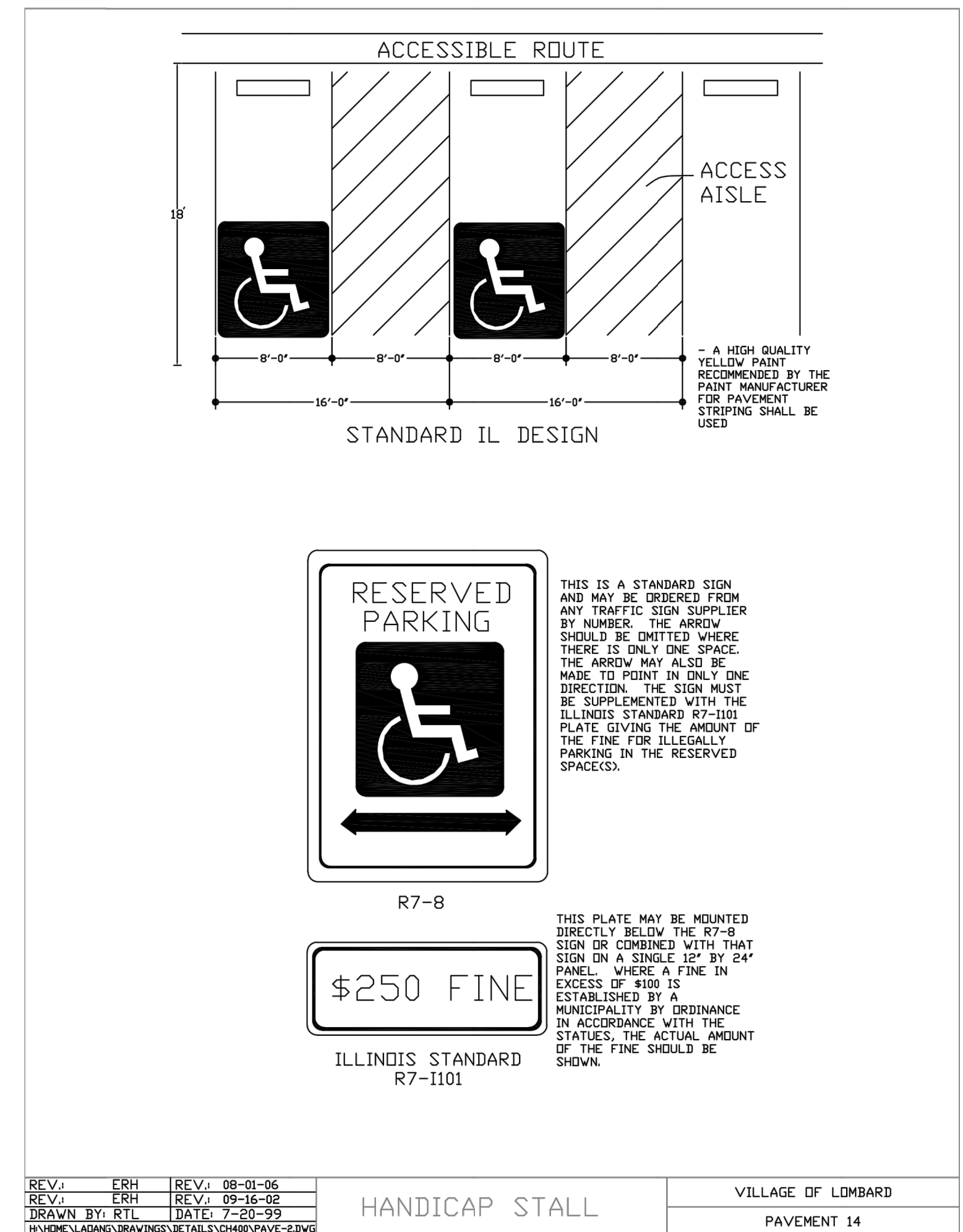


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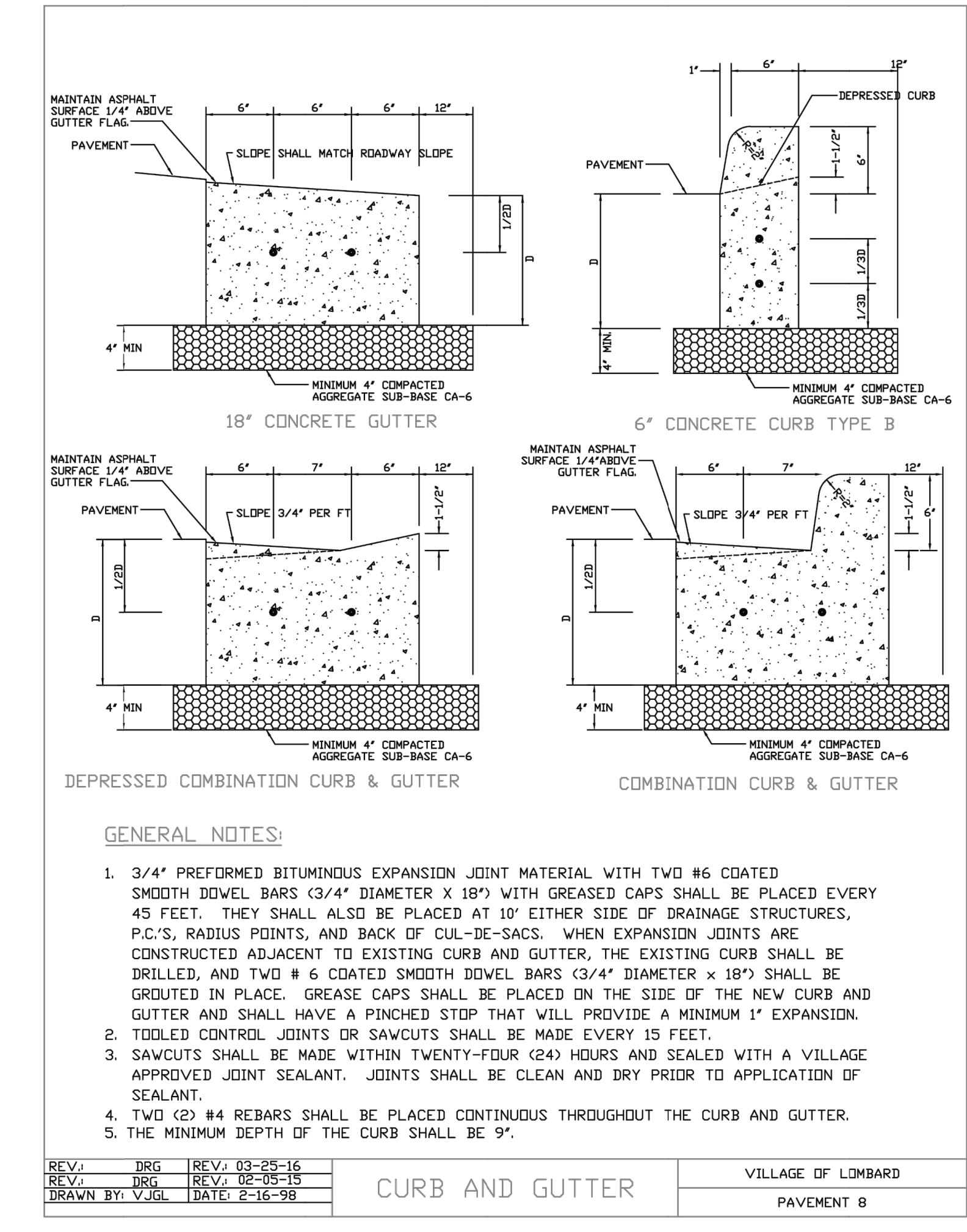
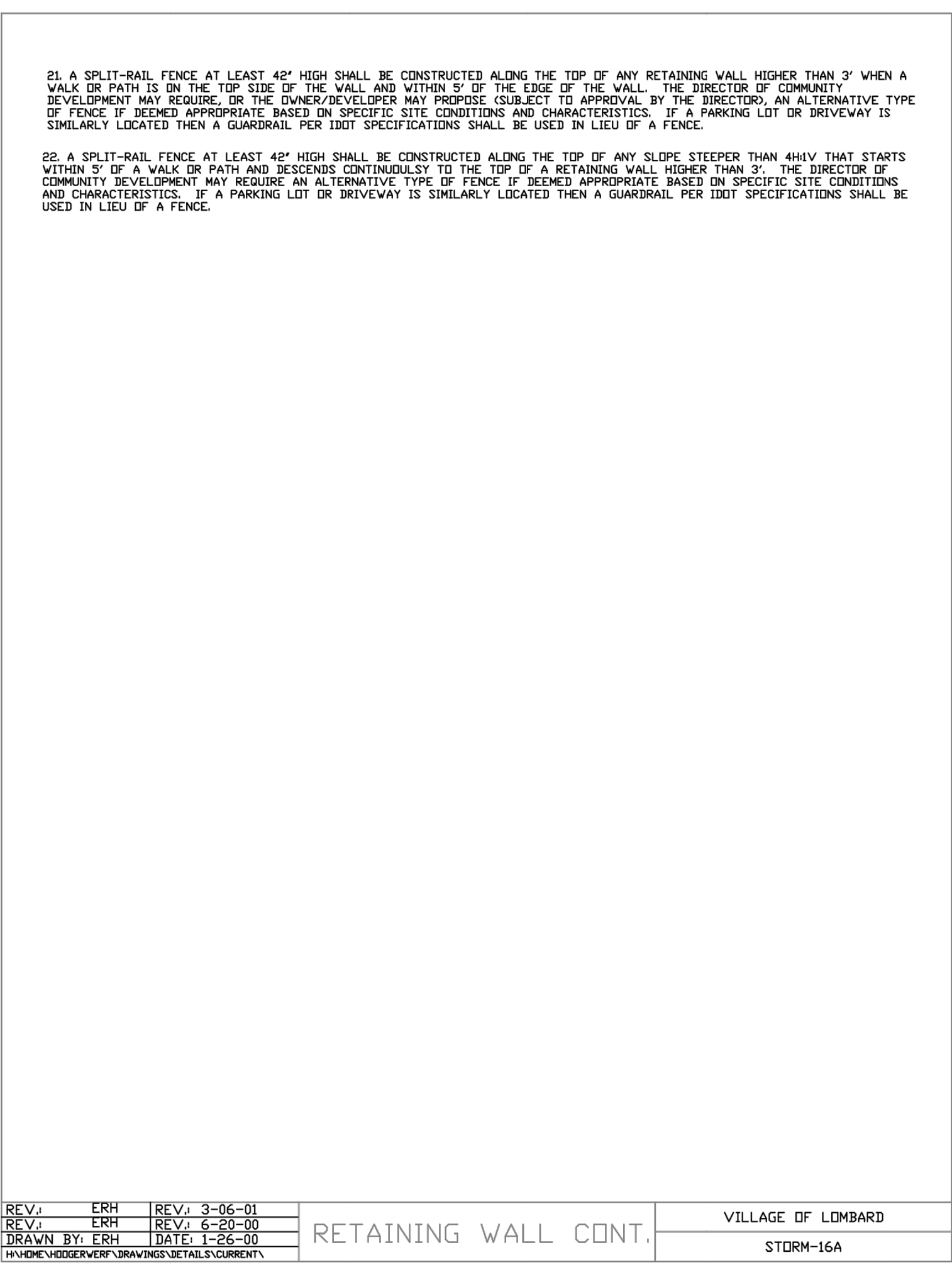
## 11 LOMBARD RETAINING WALL

SCALE: NTS



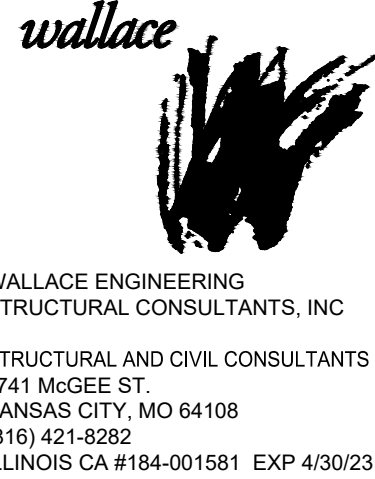
## 13 LOMBARD HANDICAP STALL STRIPING

SCALE: NTS



## 12 LOMBARD CURB AND GUTTER

SCALE: NTS



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## PANDA EXPRESS

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LOMBARD, IL 97217

HARDSCAPE  
DETAILS II  
C04.3

TRUE WARM & WELCOME 2300 R5



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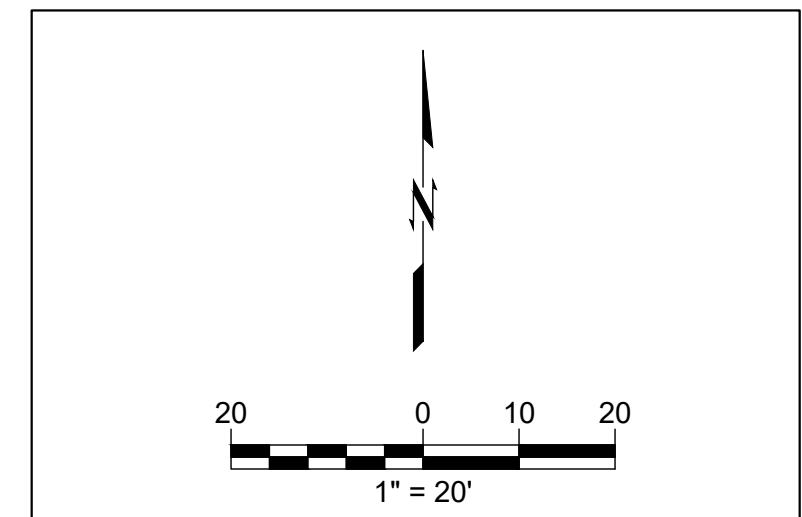
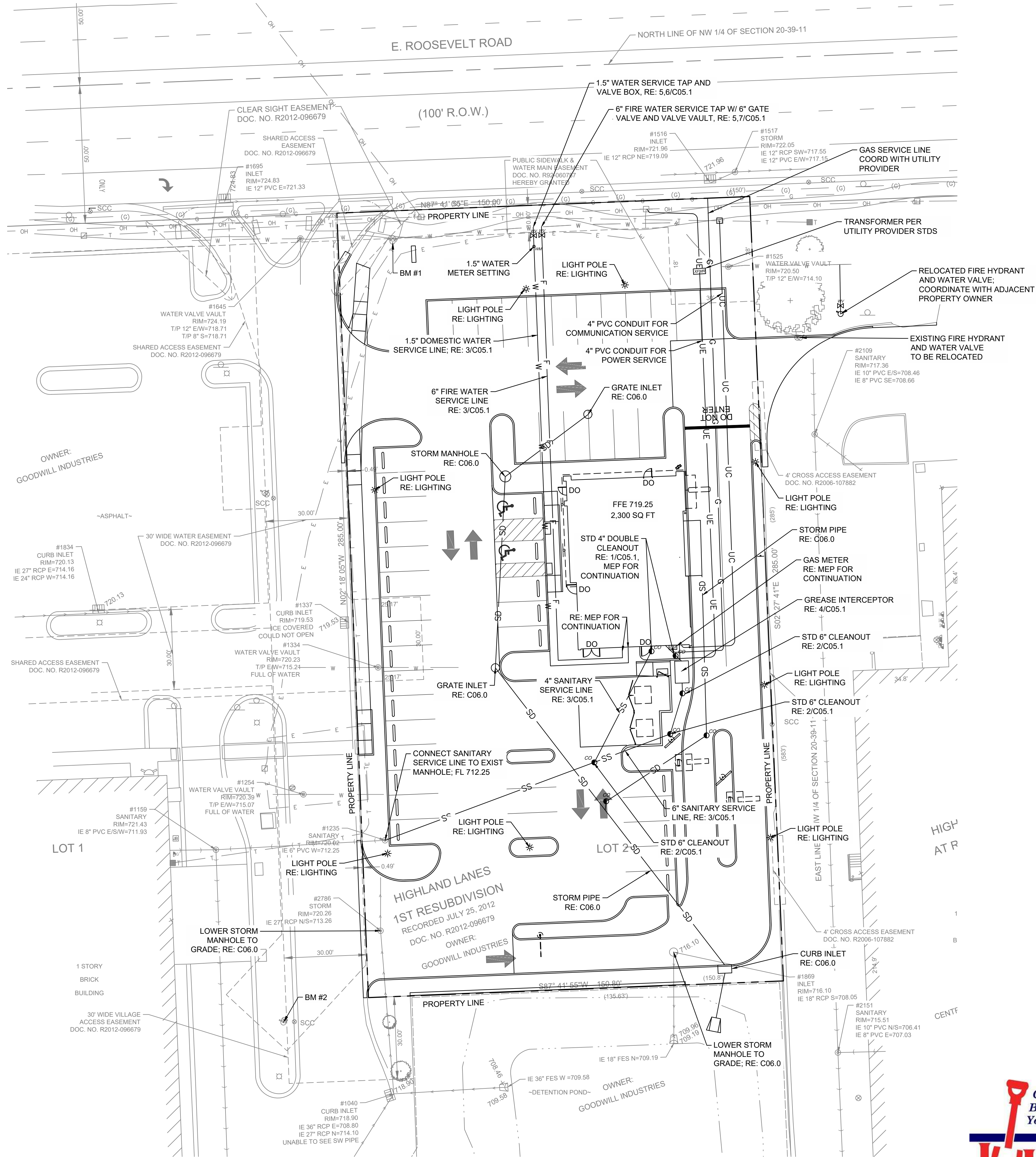


#### GENERAL UTILITY NOTES

1. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
2. PRIOR TO CONSTRUCTION, LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY CONTRACTOR WITH THE PROPER UTILITY COMPANY PROVIDING SERVICE.
3. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS BEFORE CONNECTING TO ANY EXISTING LINE IN ACCORDANCE WITH LOCAL REQUIREMENTS.
4. CONTRACTOR IS TO COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
5. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
6. ALL WATER PIPING SHALL BE INSTALLED WITH A MINIMUM OF FIVE AND ONE-HALF (5 1/2) FEET OF COVER AND MAXIMUM OF EIGHT (8) FEET OF COVER, UNLESS NOTED OTHERWISE.
7. UTILITY TRENCH DETAIL RE: 3/C05.1; FOR STORM, RE: 7/C06.1
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.

**BENCHMARK 1**  
SOUTHEAST TAG BOLT OF  
FIRE HYDRANT  
ELEV=725.48  
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E=1891805.943

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SOUTHWEST TAG BOLT OF  
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DRAWN BY: JAL  
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#### UTILITY PLAN

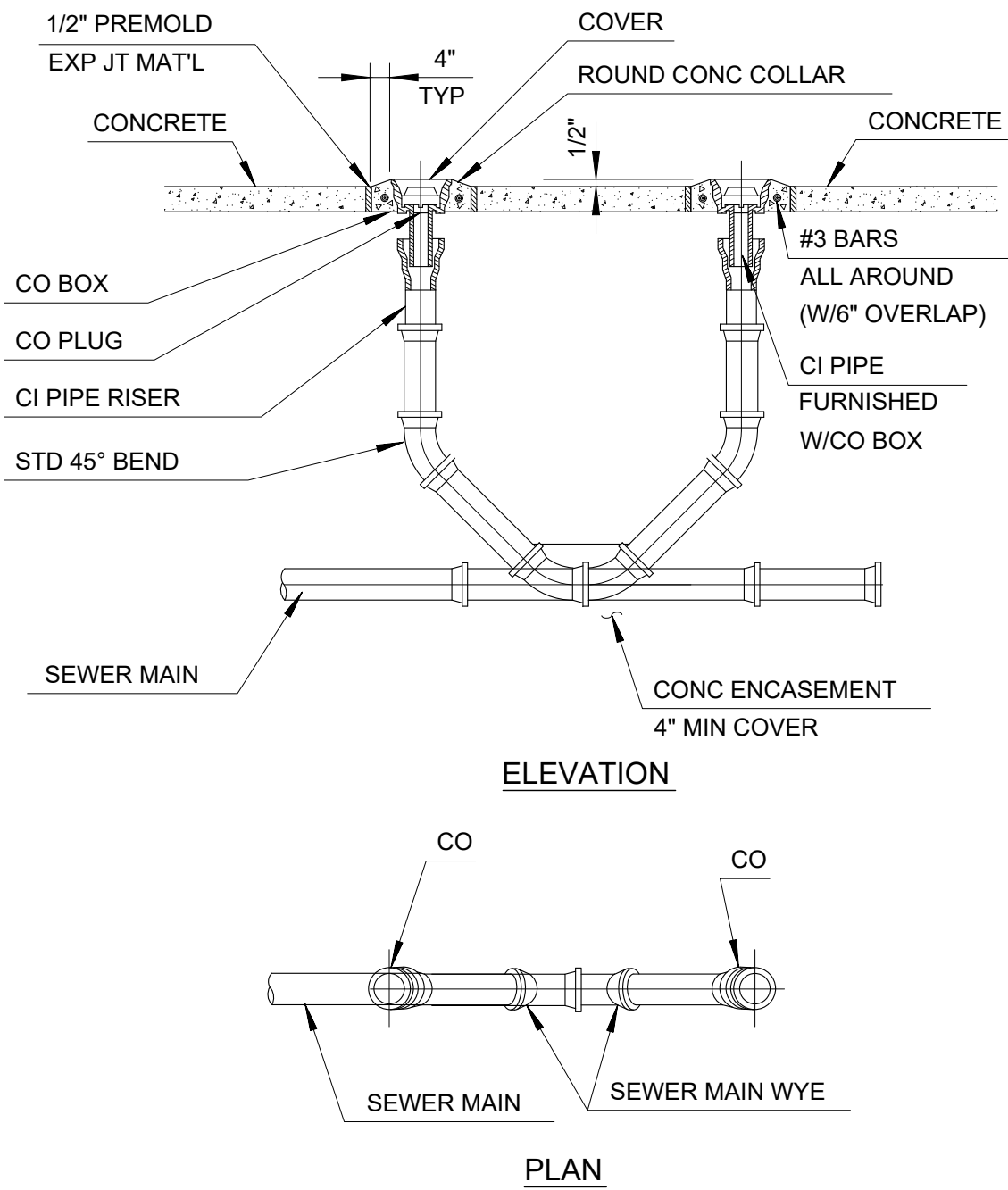
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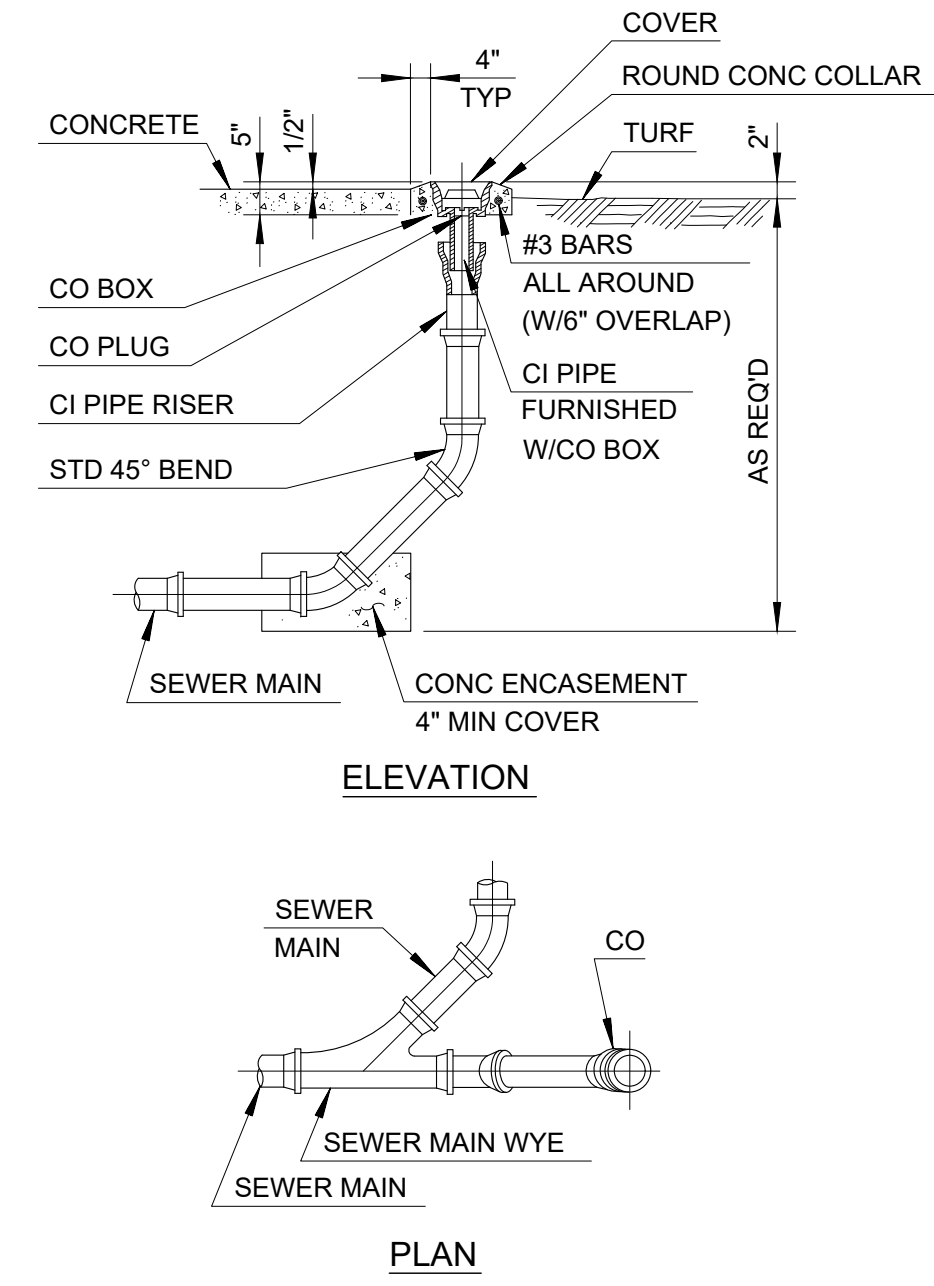
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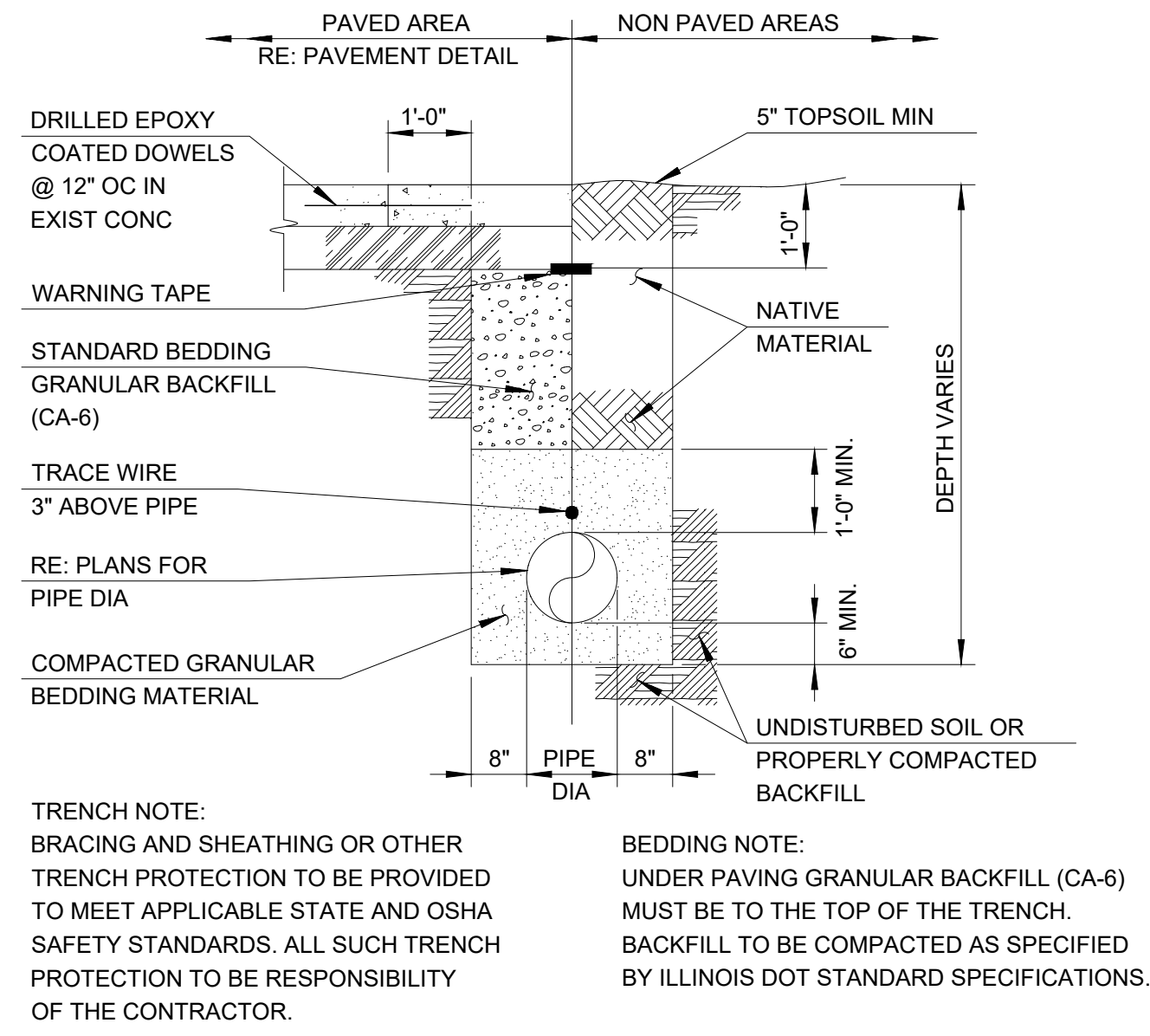
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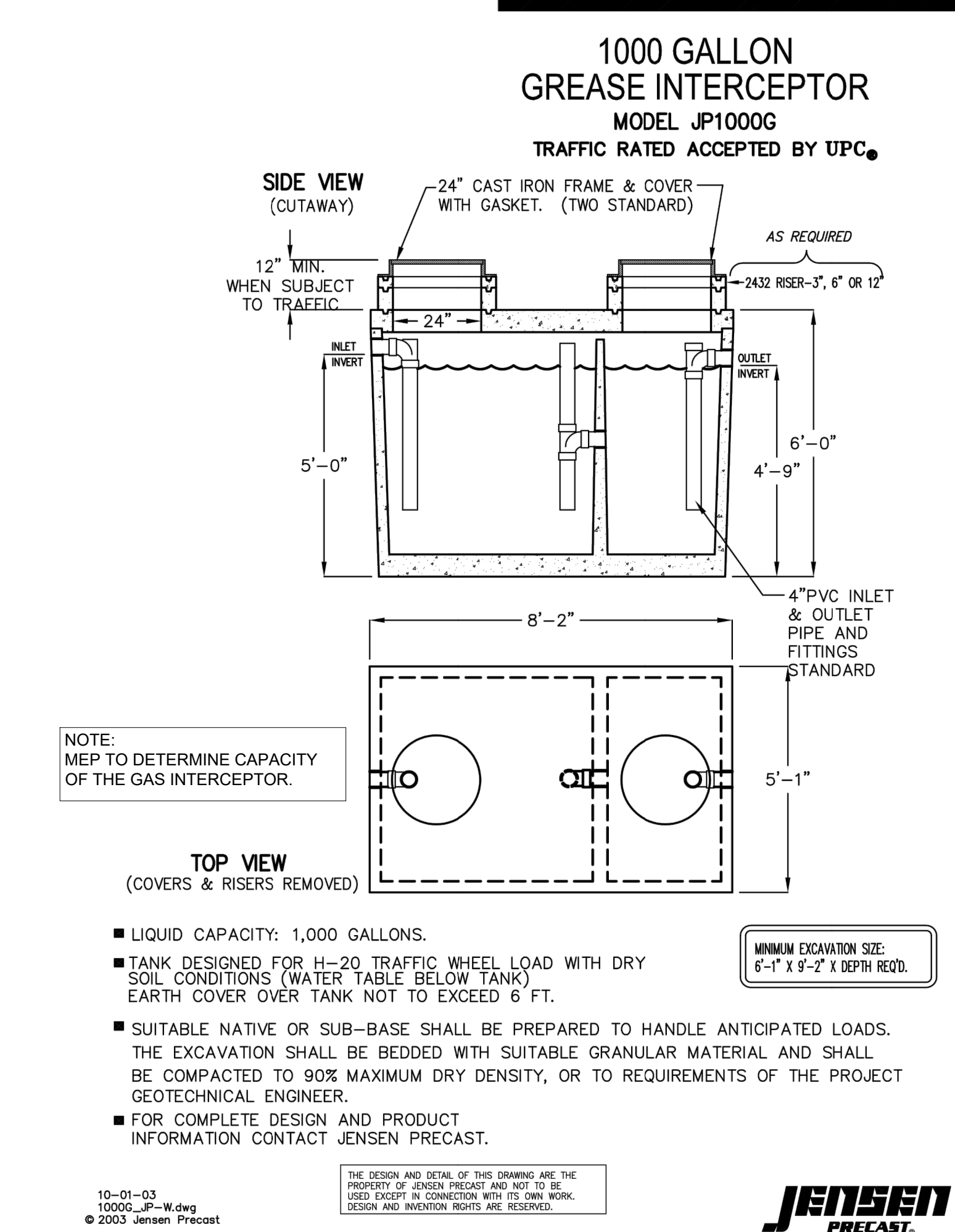
## 2 CLEANOUT

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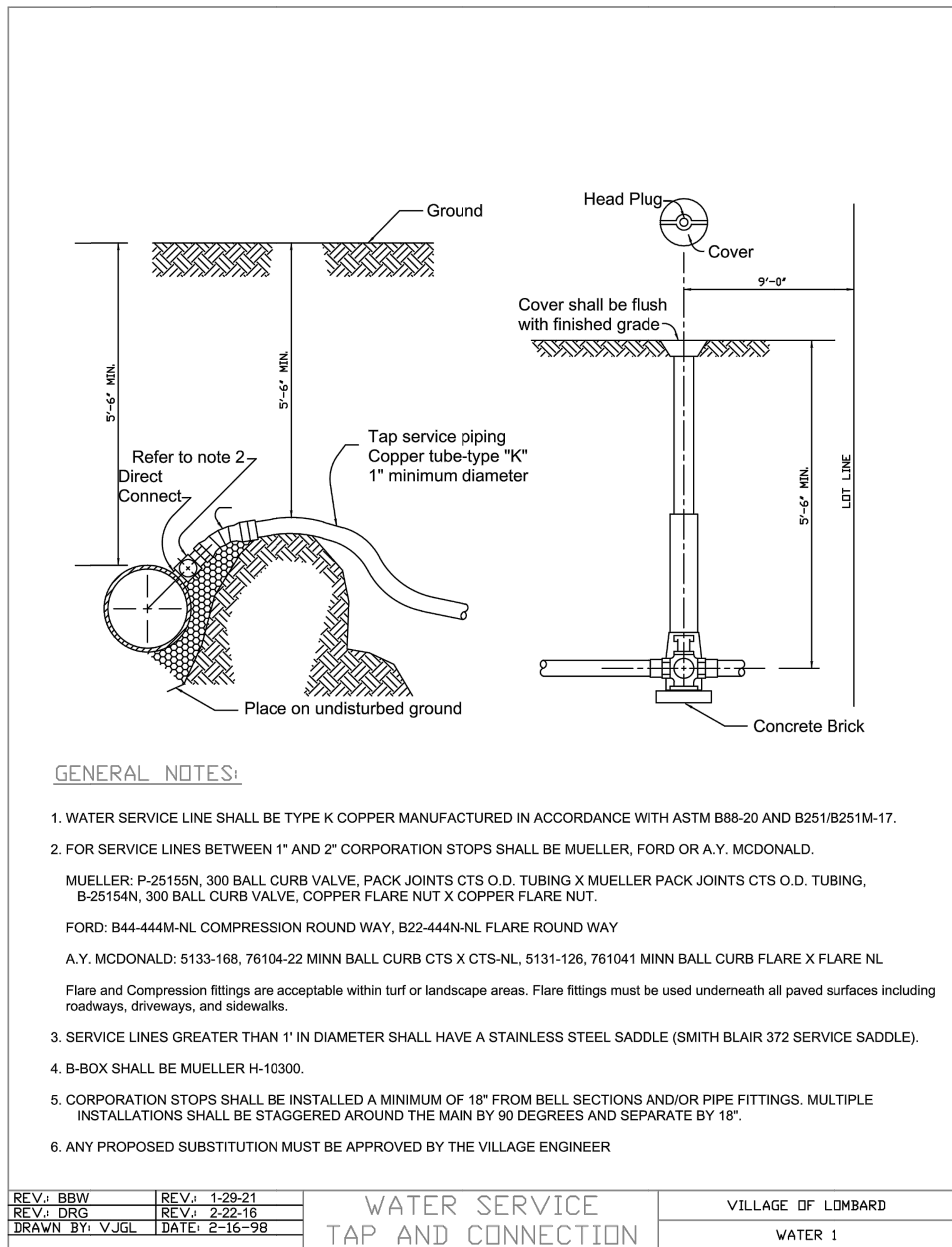
## 3 PIPE TRENCH-ALL PIPES EXCEPT STORM SEWER

SCALE: NTS



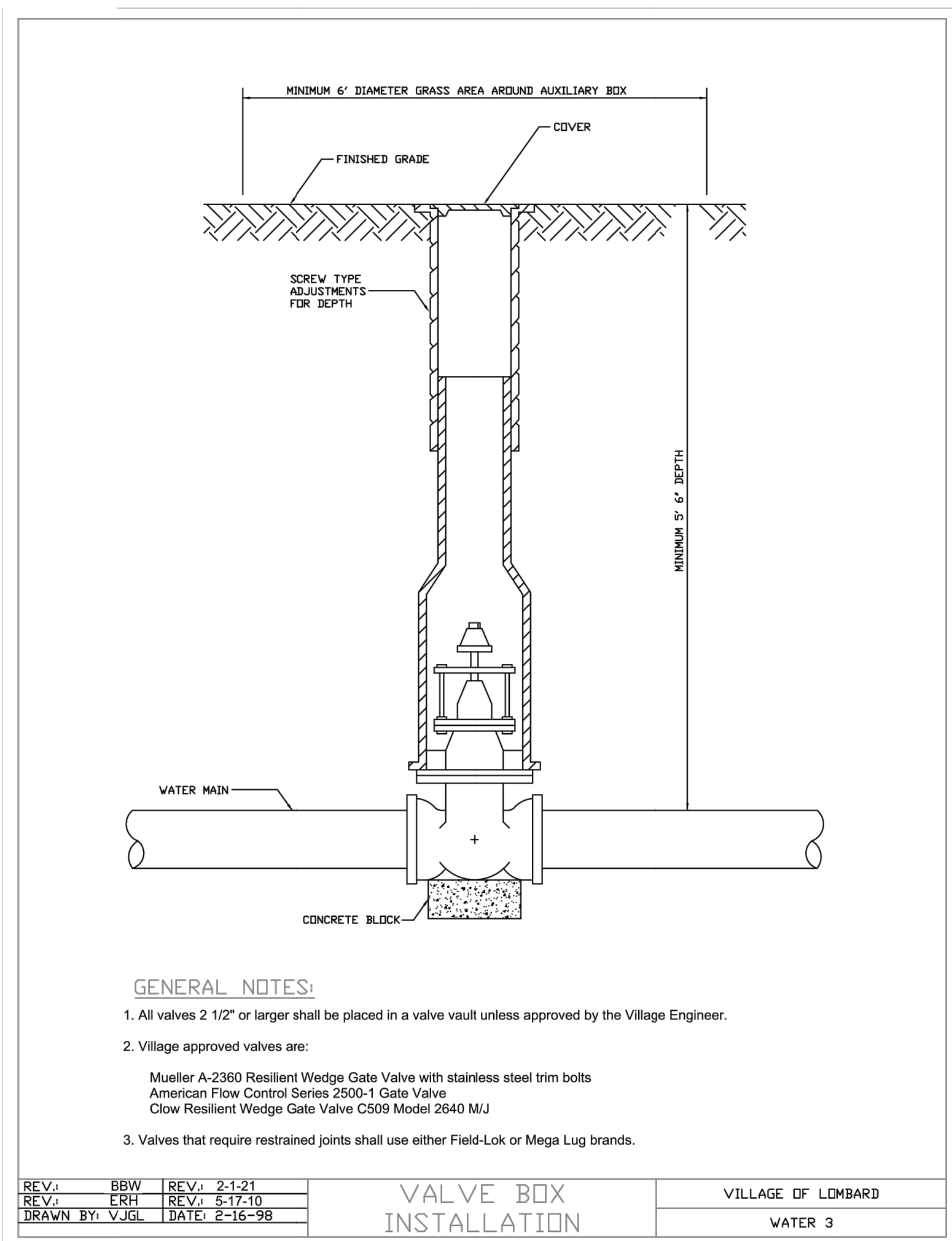
## 4 GREASE INTERCEPTOR

SCALE: NTS



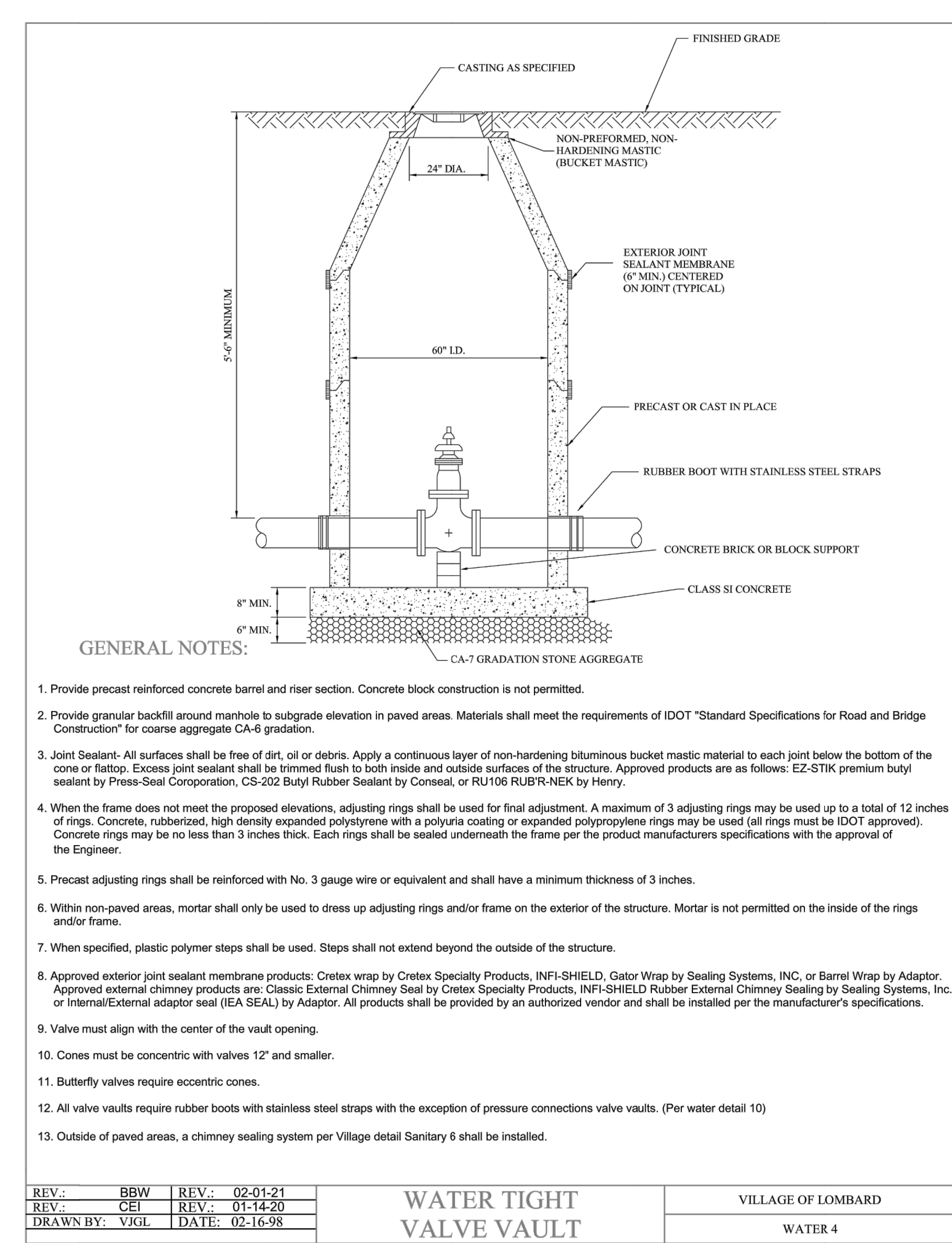
## 5 LOMBARD WATER SERVICE TAP AND CONNECTION

SCALE: NTS



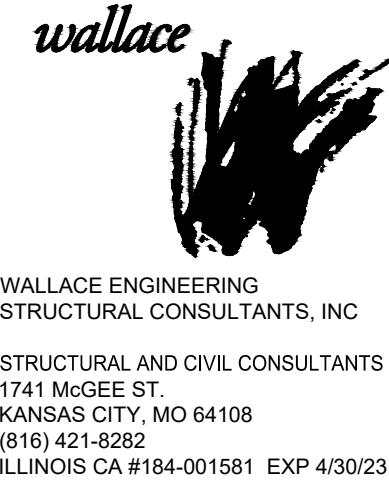
## 6 LOMBARD WATER VALVE BOX INSTALLATION

SCALE: NTS



## 7 LOMBARD WATER TIGHT VALVE VAULT

SCALE: NTS



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| OWNER REV        | 08-09-21 |
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| OWNER REV        | 11-15-21 |

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CHECKED BY: MCA

PANDA PROJECT #: XXX  
PANDA STORE #: S8-20-D7159  
ARCH PROJECT #: 21044.004

**khckloverarchitect**  
8813 PENROSE LANE, SUITE 400  
LENEVA, KS 66219  
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## PANDA EXPRESS

TRUE WARM & WELCOME  
ROOSEVELT & HIGHLAND  
LOMBARD, IL 97217

## UTILITY DETAILS I

C05.1

TRUE WARM & WELCOME 2300 R5



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#### GRADING & DRAINAGE NOTES

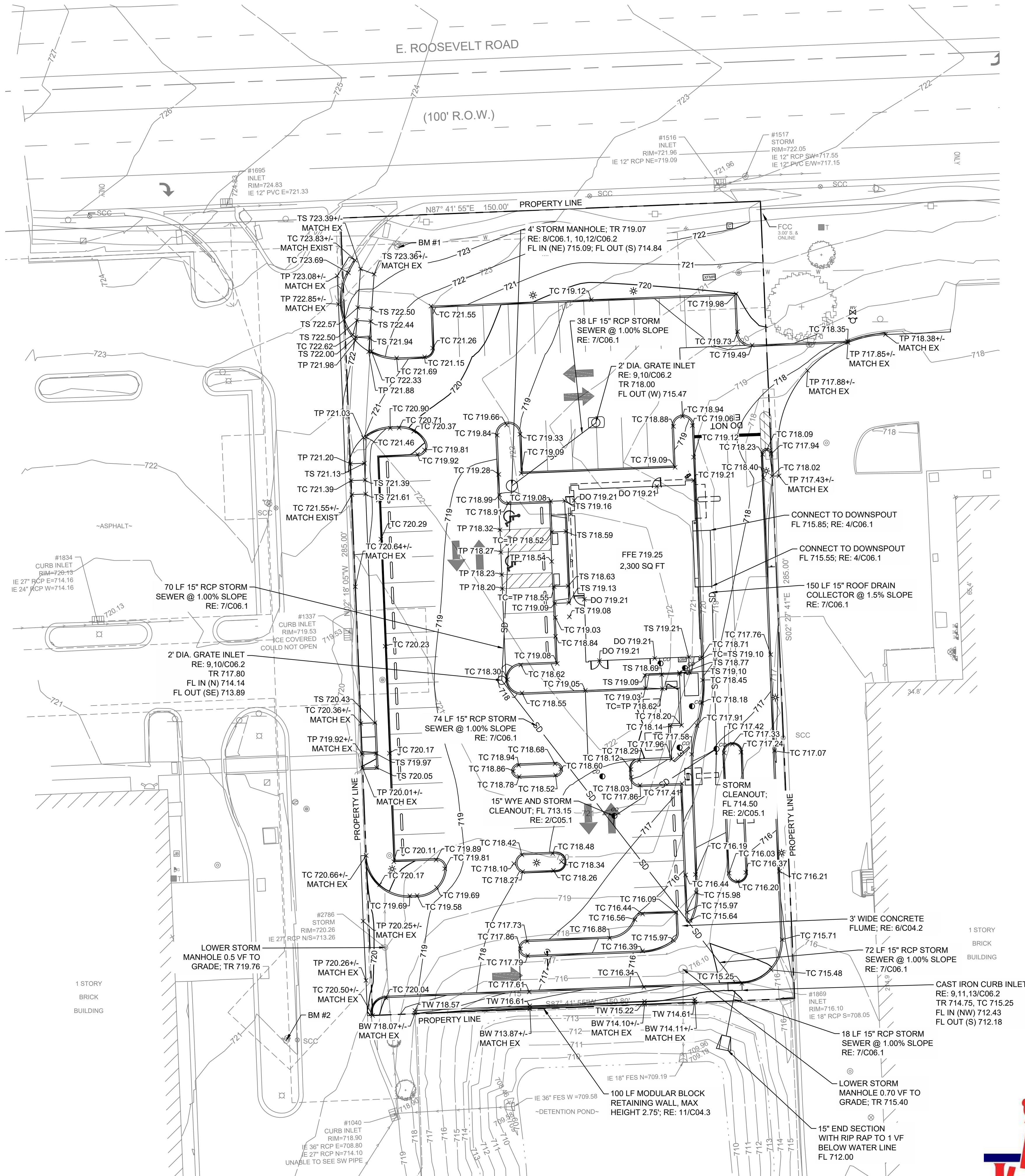
- SEE LANDSCAPE PLAN (L01.04.01.1) FOR REQUIRED TREES AND GROUND COVER.
- SLOPE OF SURFACE GRADE SHALL BE A MINIMUM OF 1.00%.
- MAXIMUM CUT OF FILL SLOPES IS 3H:1V.
- THE CONTRACTOR SHALL PROVIDE CLEAN, SUITABLE MATERIAL FOR REQUIRED FILL, SHOULD A SUFFICIENT QUANTITY OF SUITABLE MATERIAL NOT BE AVAILABLE FROM THE REQUIRED EXCAVATION ON THE SITE.
- ALL FILL SHOULD BE PLACED IN THIN, HORIZONTAL LOOSE LIFTS (MAXIMUM 6-INCH) AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). THE UPPER 8 INCHES OF SOILS BENEATH PAVEMENT AND SLAB-ON-GRADE SHOULD BE COMPACTED TO AT LEAST 100%. COMPACTION MUST BE CERTIFIED BY AN ILLINOIS REGISTERED PROFESSIONAL SOILS ENGINEER PRIOR TO THE INSTALLATION OF PAVEMENTS, CURBS, SIDEWALKS OR FOOTINGS OF ANY TYPE.
- CONTRACTOR SHALL ENSURE THAT EXISTING DETENTION POND AND DETENTION OUTLET STRUCTURES ARE OPERATIONAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MAINTAIN DETENTION POND AND OUTLET STRUCTURES THROUGHOUT CONSTRUCTION AND UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- SEE SHEET C01.0 FOR GENERAL NOTES.

#### HYDROLOGY STATEMENT

ONSITE STORMWATER RUN-OFF WILL BE COLLECTED VIA PROPOSED CURB INLETS AND GRATE INLET. A PROPOSED STORM PIPE SYSTEM WILL CONVEY THE STORMWATER TO THE EXISTING MASTER DETENTION POND. BASED ON THE MASTER DETENTION POND SIZING AND OVERALL HYDROLOGY REPORT PERFORMED BY THE DEVELOPMENT ENGINEER, THE MASTER DETENTION POND IS SIZED TO ADEQUATELY DETAIN RUNOFF FROM THE SUBJECT SITE.

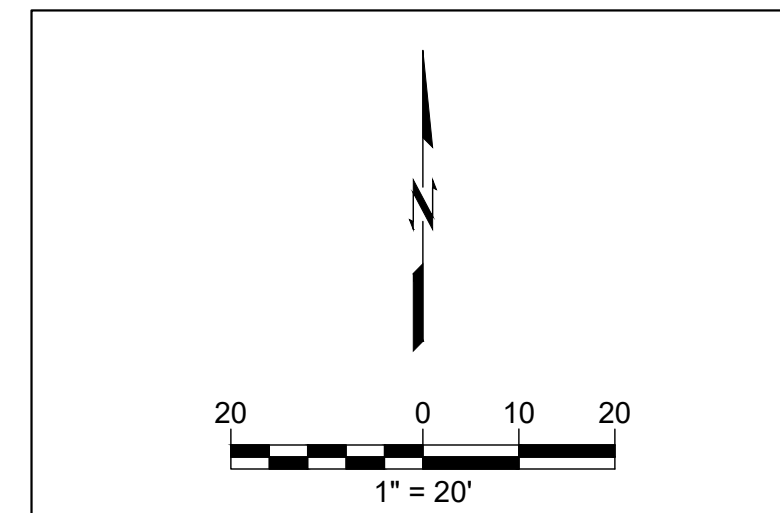
**BENCHMARK 1**  
SOUTHEAST TAG BOLT OF  
FIRE HYDRANT  
ELEV=725.48  
N=1072898.909  
E=1891805.943

**BENCHMARK 2**  
SOUTHWEST TAG BOLT OF  
FIRE HYDRANT  
ELEV=723.20  
N=1072859.298  
E=1891522.461



#### GRADING & DRAINAGE LEGEND

|           |                    |
|-----------|--------------------|
| ---       | EX MINOR CONTOUR   |
| ---990--- | EX MAJOR CONTOUR   |
| ---       | PROP MINOR CONTOUR |
| ---980--- | PROP MAJOR CONTOUR |
| ---       | LIMITS OF GRADING  |
| ---       | DRAINAGE ARROW     |
| BW        | BOTTOM OF WALL     |
| FG        | FINISHED GRADE     |
| TC        | TOP OF CURB        |
| TP        | TOP OF PAVEMENT    |
| TS        | TOP OF SIDEWALK    |
| TW        | TOP OF WALL        |
| DO        | DOOR OPENING       |
| OHD       | OVERHEAD DOOR      |



#### CAUTION

NOTICE TO CONTRACTOR  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES



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91770  
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PANDA PROJECT #: XXX  
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ARCH PROJECT #: 21044.004



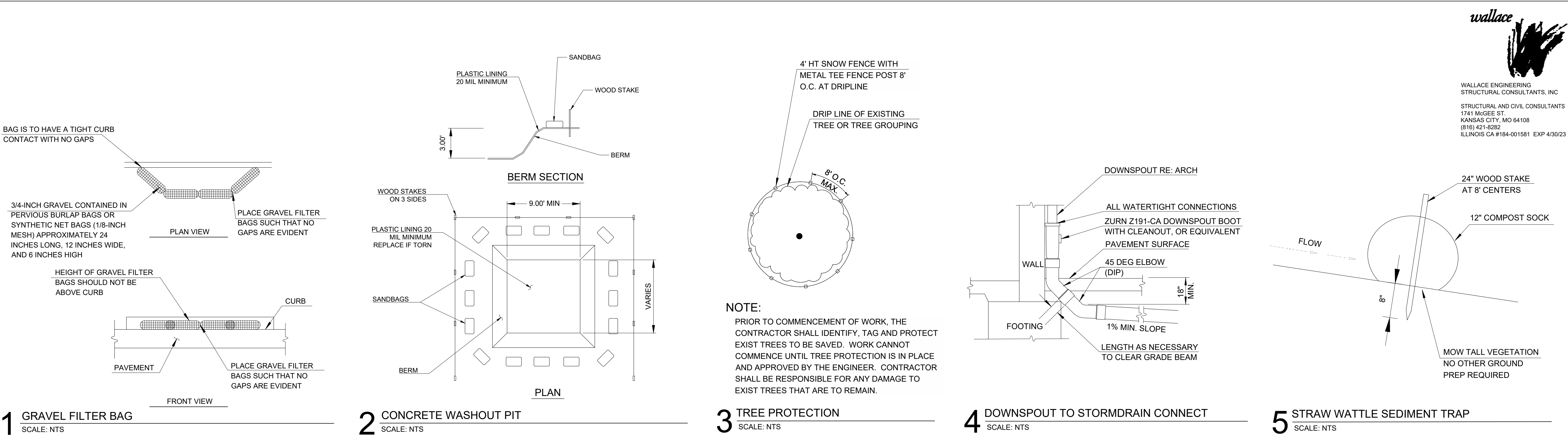
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#### GRADING AND DRAINAGE PLAN C06.0



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STRUCTURAL AND CIVIL CONSULTANTS  
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ILLINOIS CA #184-001581 EXP 4/30/23

**PANDA EXPRESS**  
CHINESE KITCHEN

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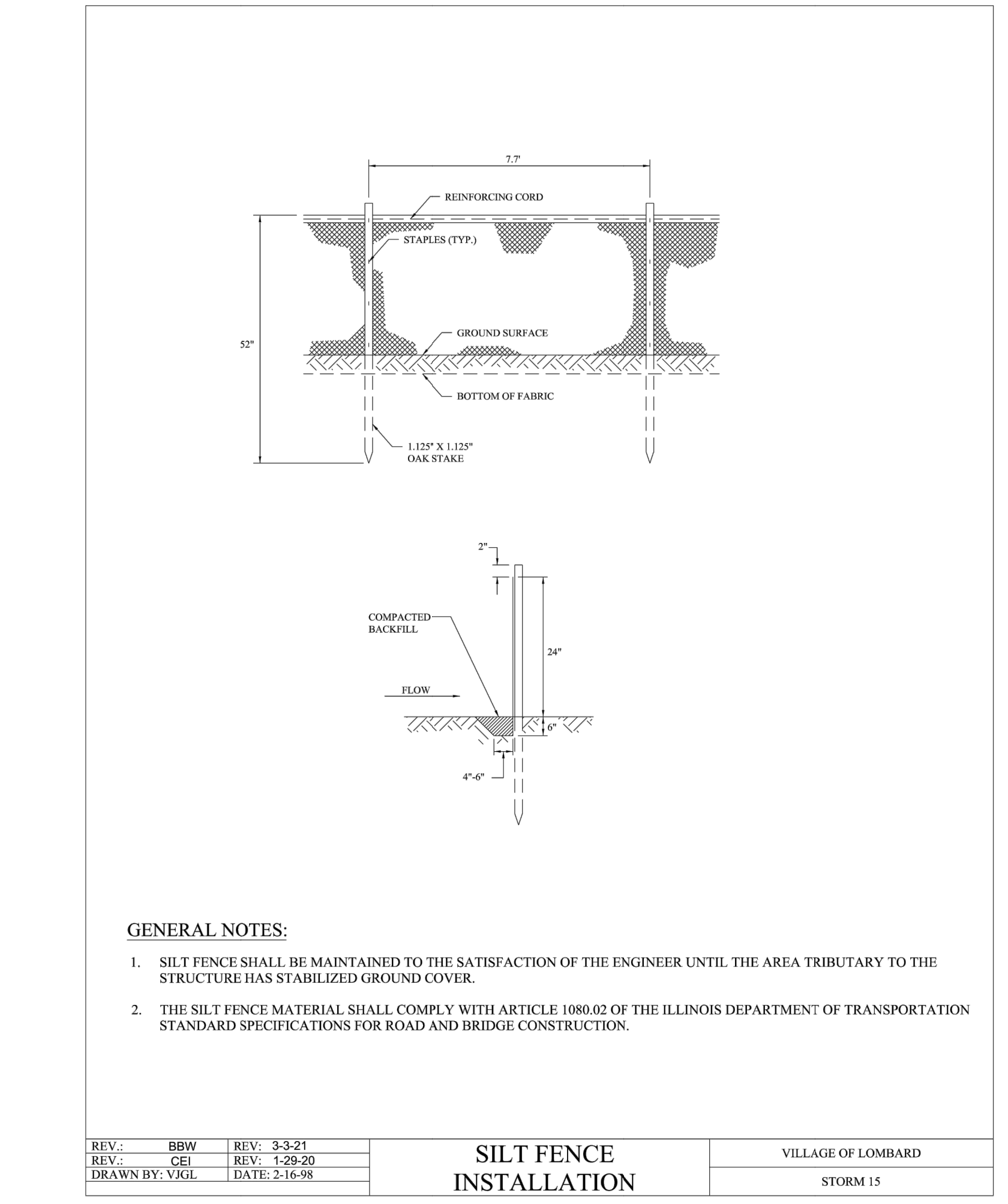
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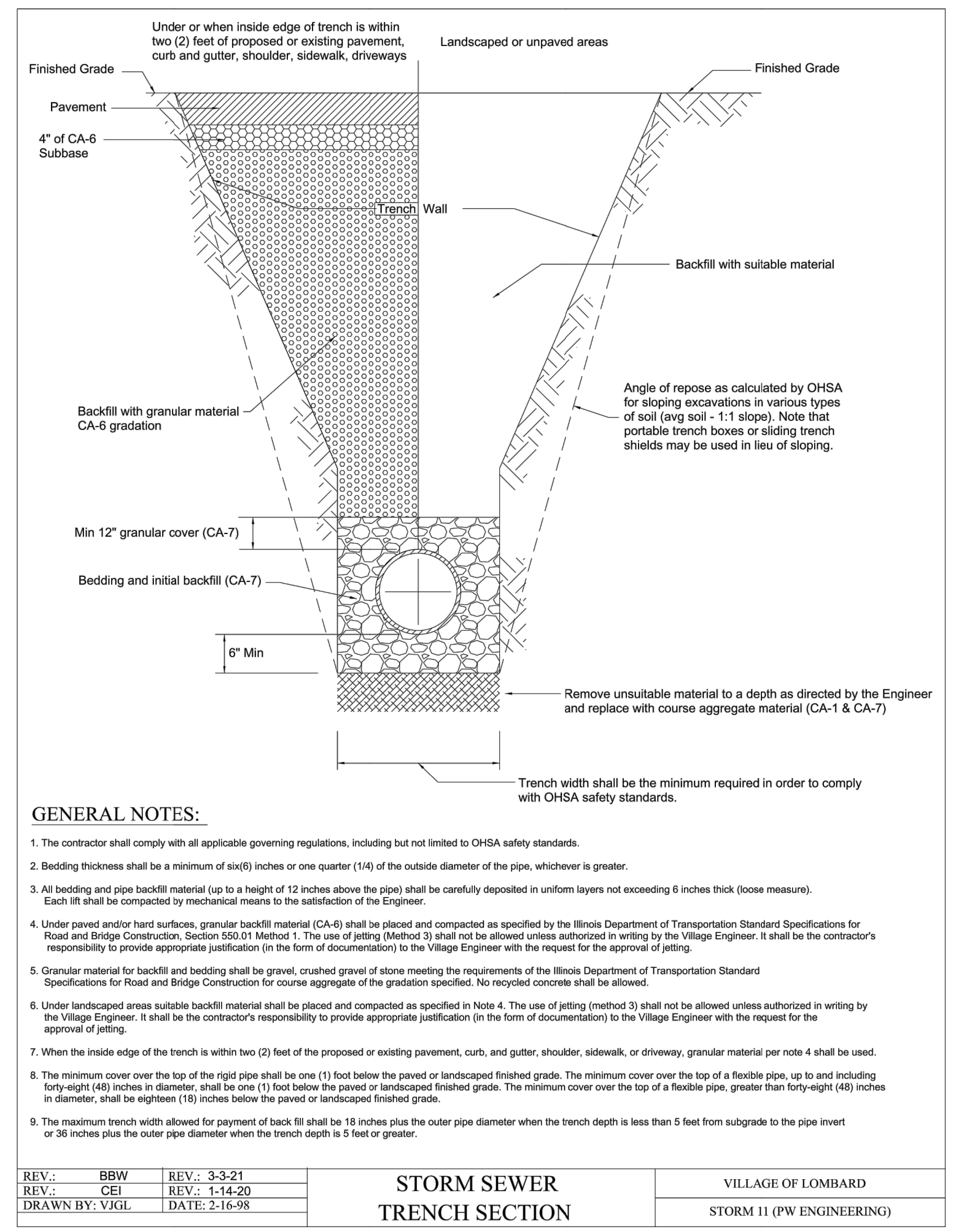
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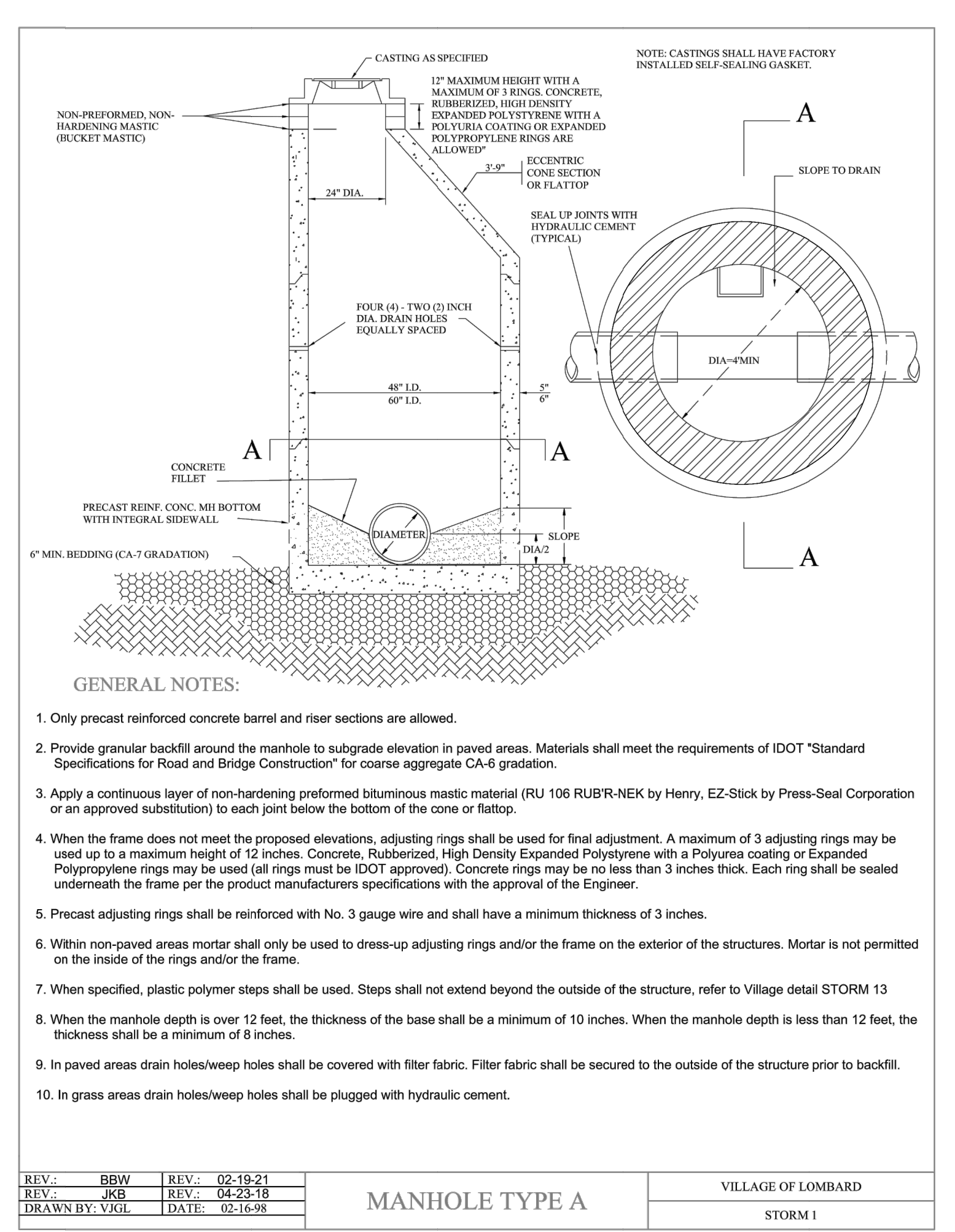
PANDA PROJECT #: XXX  
PANDA STORE #: S8-20-D7159  
ARCH PROJECT #: 21044.004



**6 LOMBARD SILT FENCE**  
SCALE: NTS



**7 LOMBARD STORM SEWER TRENCH SECTION**  
SCALE: NTS



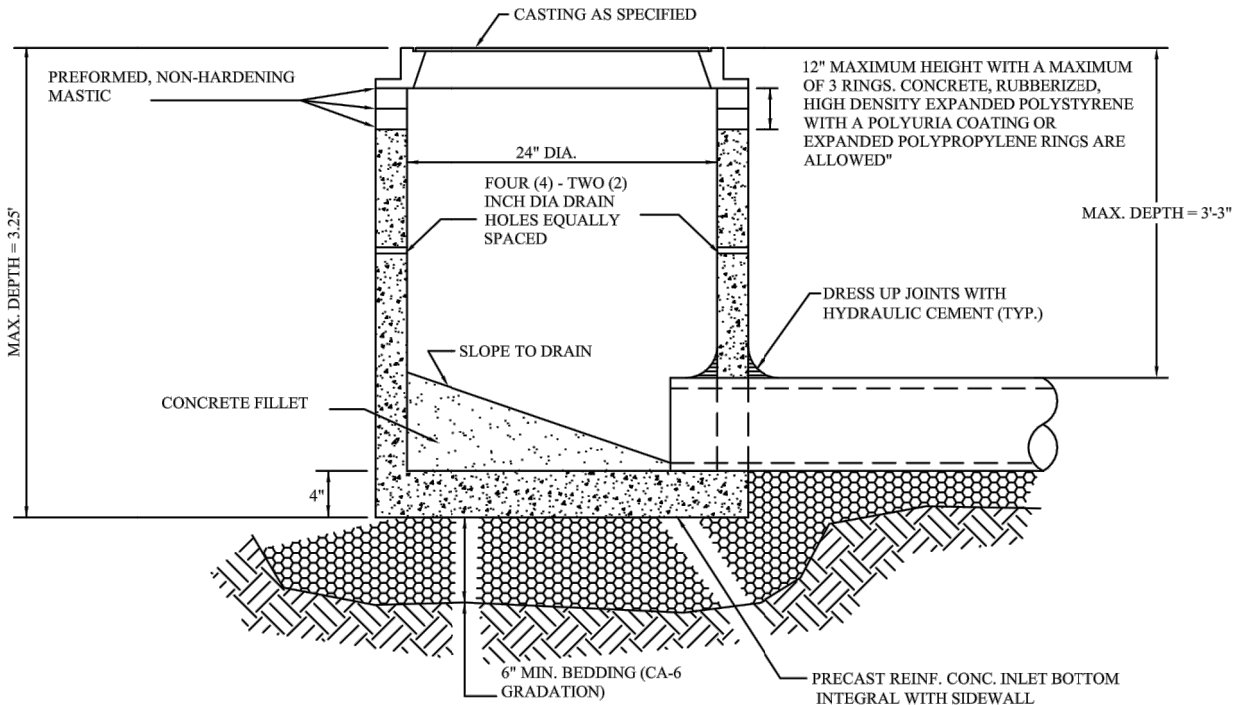
**8 LOMBARD MANHOLE TYPE A**  
SCALE: NTS

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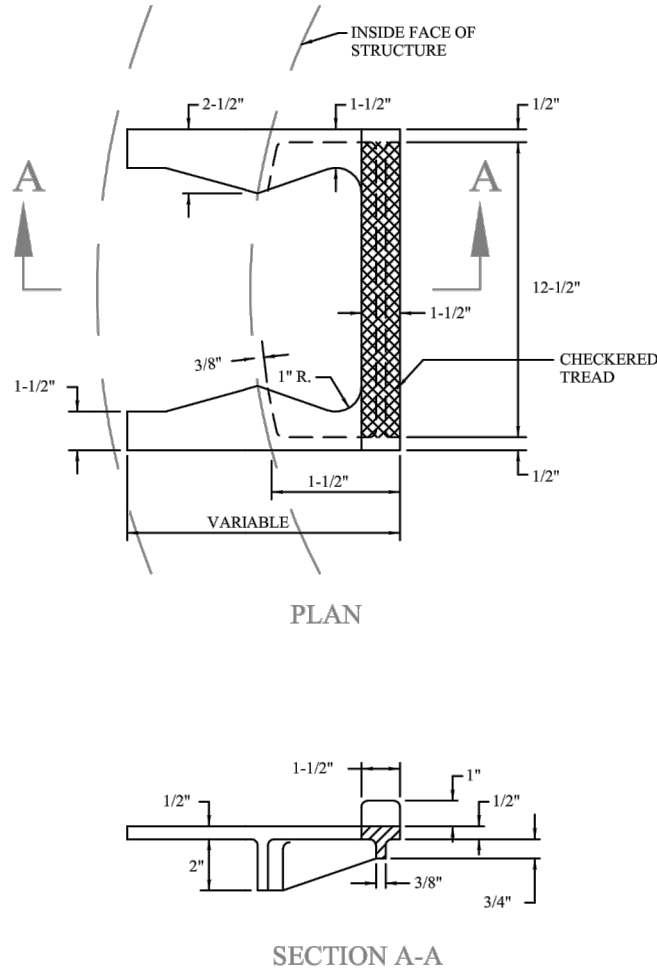
GENERAL NOTES:

1. Only precast reinforced concrete barrel and riser sections are allowed.
2. Provide granular backfill around the inlet to subgrade elevations in paved areas. Material shall meet the requirements of IDOT "Standard Specifications for Road and Bridge Construction" for coarse aggregate CA-6 gradation.
3. When the frame does not meet the proposed elevation, adjusting rings shall be used for final adjustment. A maximum of three (3) adjusting rings may be used up to a maximum height of twelve (12) inches. Concrete, rubberized, high density expanded polystyrene with a polyurea coating or expanded polypropylene rings may be used (all rings must be IDOT approved). Concrete rings may be no less than three (3) inches thick. Each ring shall be sealed underneath the frame per the product manufacturers specifications with the approval of the engineer.
4. Precast adjusting rings shall be reinforced with a No. 3 gauge wire and shall have a minimum thickness of three (3) inches.
5. Mortar shall not be used to dress up adjusting rings and/or frame.
6. In paved areas, drain holes/weep holes shall be covered with filter fabric. The filter fabric shall be secured to the outside of the structure prior to backfilling.
7. In grassed areas, drain holes/weep holes shall be plugged with hydraulic cement.
8. If an IDOT type 8 grate casting is specified no mastic shall be allowed between the frame and the top ring or structure. A minimum of one rubber ring 1/4 inch thickness shall be placed between the frame and the top ring or structure. All excess material extending beyond the edge of the grate shall be trimmed flush.

|                |                |              |                    |
|----------------|----------------|--------------|--------------------|
| REV.: BBW      | REV.: 02-28-21 | INLET TYPE A | VILLAGE OF LOMBARD |
| REV.: JKB      | REV.: 04-23-18 |              |                    |
| DRAWN BY: VJGL | DATE: 02-16-98 |              |                    |
|                |                |              | STORM 2            |

9 LOMBARD INLET TYPE A

SCALE: NTS



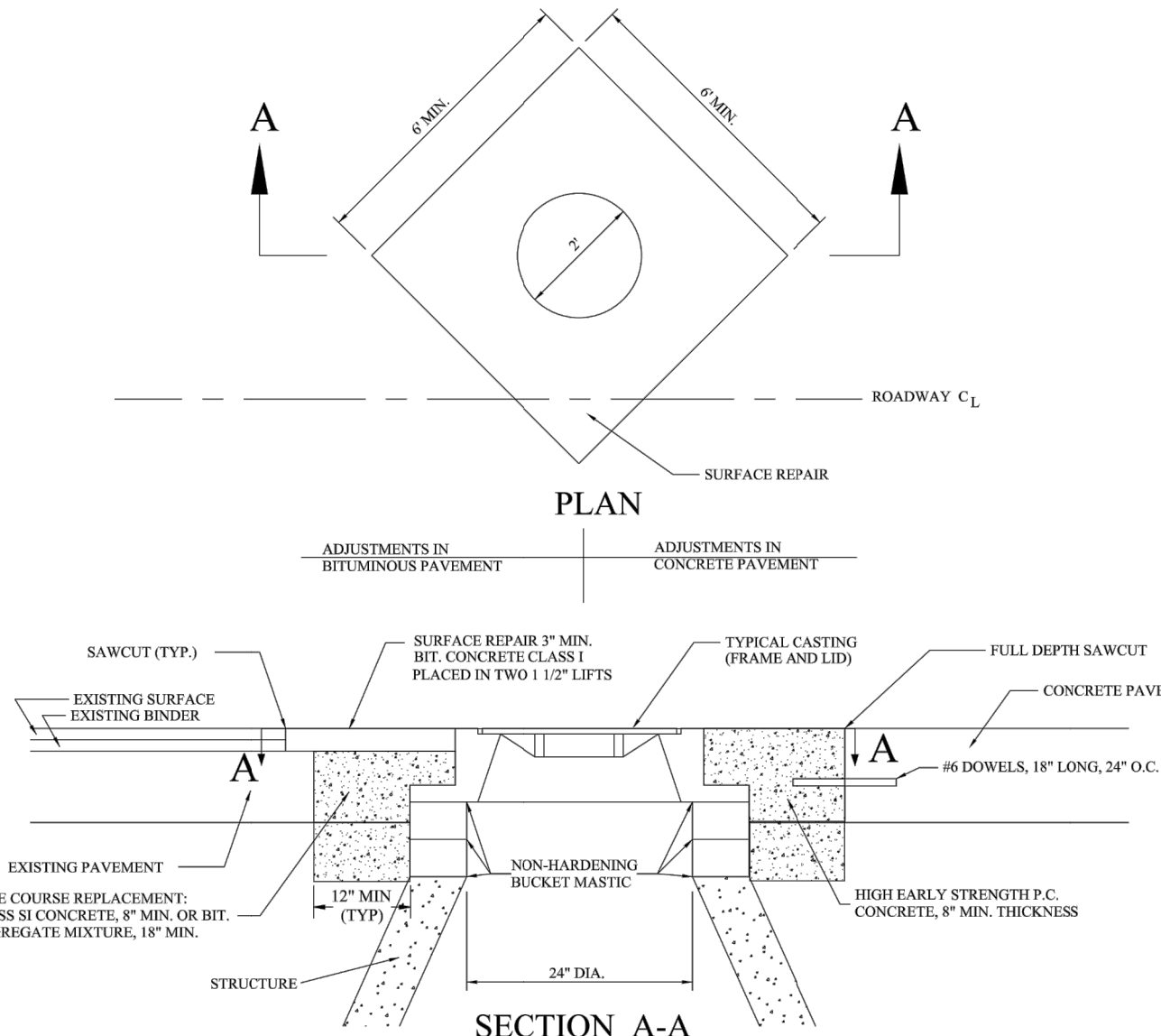
GENERAL NOTES:

1. Steps shall only be installed when specified.
2. When specified manhole steps shall be evenly spaced with a maximum vertical spacing of 16 inches between steps. The bottom step shall be a maximum of two (2) feet from the bottom of the structure. Each step shall be securely anchored in place in a vertical alignment meeting OHSA standards and shall conform to the manufacturers recommended procedures.
3. Steps shall be Copolymer Polypropylene Plastic and conform to ASTM C-478, ASTM D-4101, ASTM A-615, and AASHTO M-199.
4. A minimum of twenty (20) inches of clearance must be maintained between the wall of the structure and the edge of the step.
5. Approved products are as follows:  
-MA Industries Inc. Parts PS1-PF, PS2-PF  
-American Step Company, Inc. Part ML-10-TDS-NCR
6. Any proposed substitutions from the approved products shall be submitted in writing to the Village Engineer for approval.

|                |                |              |                    |
|----------------|----------------|--------------|--------------------|
| REV.: BBW      | REV.: 3-3-21   | MANHOLE STEP | VILLAGE OF LOMBARD |
| REV.: JKB      | REV.: 04-23-18 |              |                    |
| DRAWN BY: VJGL | DATE: 02-16-98 |              |                    |
|                |                |              | STORM 13           |

12 LOMBARD STORM MANHOLE STEP

SCALE: NTS



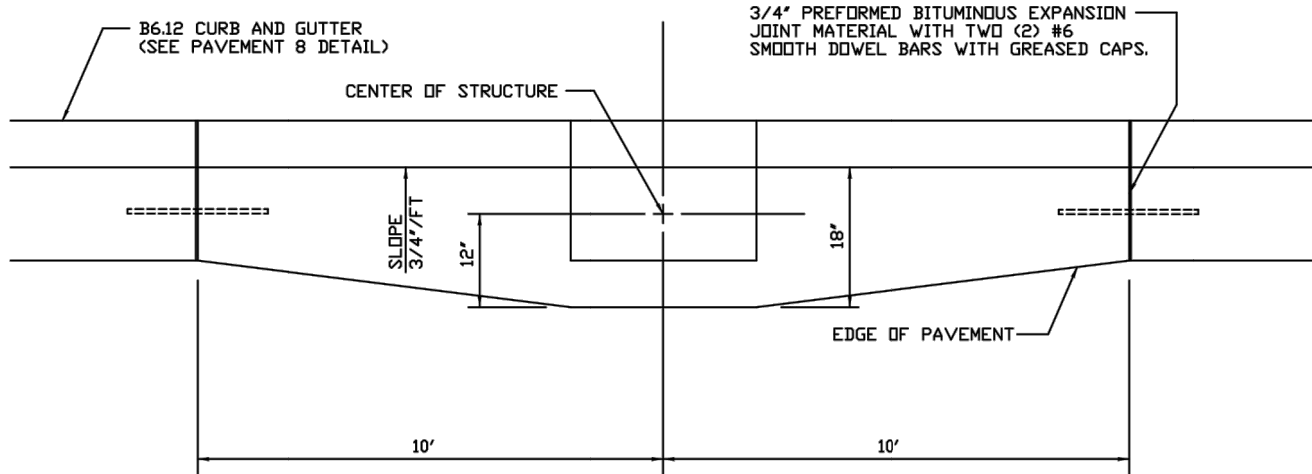
GENERAL NOTES:

1. PROVIDE CA-6 BACKFILL AROUND MANHOLE TO SUBGRADE ELEVATION.
2. WHEN THE FRAME DOES NOT MEET THE PROPOSED ELEVATION, ADJUSTING RINGS SHALL BE USED FOR FINAL ADJUSTMENT. A MAXIMUM OF 3 ADJUSTING RINGS MAY BE USED TO A MAXIMUM HEIGHT OF 12 INCHES. CONCRETE, RUBBERIZED, HIGH DENSITY EXPANDED POLYSTYRENE WITH A POLYUREA COATING OR EXPANDED POLYPROPYLENE RINGS MAY USED (ALL RINGS MUST BE IDOT APPROVED). CONCRETE RINGS MAY BE NO LESS THAN 3 INCHES THICK. EACH RING SHALL BE SEALED UNDERNEATH THE FRAME PER THE PRODUCT MANUFACTURERS SPECIFICATIONS WITH THE APPROVAL OF THE ENGINEER.
3. PRECAST ADJUSTING RINGS SHALL BE REINFORCED WITH NO. 3 GAUGE WIRE OR EQUIVALENT AND SHALL HAVE A MINIMUM THICKNESS OF 3 INCHES.
4. WHEN ADJUSTMENTS ARE LOCATED IN TRAVEL LANES, THEY SHALL BE PROTECTED BY A BARRICADE WITH 2 FLASHING LIGHTS, 2 BARRICADES EACH WITH A SINGLE FLASHING LIGHT OR COVERED BY A 1 INCH STEEL PLATE PROVIDED AND MAINTAINED BY THE CONTRACTOR UNTIL THE SURFACE RESTORATION IS COMPLETE.
5. WHEN ADJUSTMENTS TEMPORARILY RAISE A CASTING ABOVE THE ELEVATION OF THE PAVEMENT SURFACE, IN AREAS SUBJECTED TO VEHICULAR TRAFFIC, A BITUMINOUS RAMP SHALL BE TRANSITIONED A DISTANCE OF 1 FOOT HORIZONTAL FOR EACH INCH OF VERTICAL DISTANCE ABOVE THE EXISTING PAVEMENT. SUCH RAMPS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF THE SURFACE RESTORATION.
6. FOR BOTH CONCRETE AND ASPHALT ROADS, THE BASE COURSE REPLACEMENT (CONCRETE COLLAR) SHALL BE EXTENDED DOWN TO THE TOP OF THE CONE SECTION.

|                |                |   |                    |
|----------------|----------------|---|--------------------|
| REV.: BBW      | REV.: 3-2-21   | CASTING ADJUSTMENTS FOR STRUCTURES IN PAVED AREAS | VILLAGE OF LOMBARD |
| REV.: JKB      | REV.: 1-14-20  |   |                    |
| DRAWN BY: VJGL | DATE: 02-16-98 |   |                    |
|                |                |   | STORM 7            |

10 LOMBARD CASTING ADJUSTMENTS FOR STRUCTURES IN PAVED AREAS

SCALE: NTS



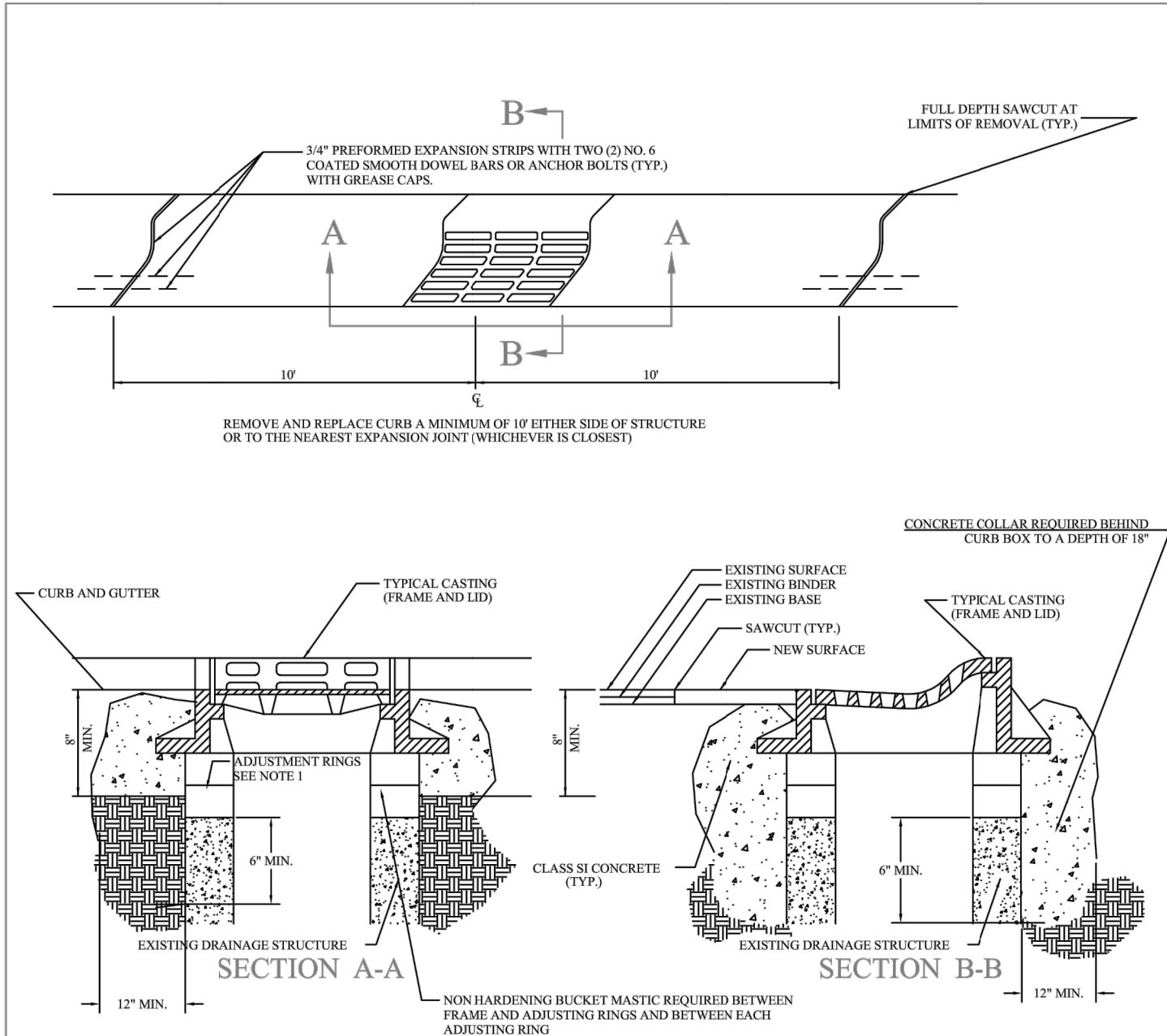
GENERAL NOTES:

1. Storm sewer casting shall be IDOT Type 3 (with front flange) Neenah R-3277-A, EJ 7220Z1, or a Village Engineer approved substitution.

|                |               |                                   |                    |
|----------------|---------------|-----------------------------------|--------------------|
| REV.: BBW      | REV.: 3-17-21 | STORM SEWER INLET CURB AND GUTTER | VILLAGE OF LOMBARD |
| REV.: JKB      | REV.: 4-10-17 |                                   |                    |
| DRAWN BY: VJGL | DATE: 2-16-98 |                                   |                    |
|                |               |                                   | PAVEMENT 9         |

13 LOMBARD STORM SEWER INLET CURB AND GUTTER

SCALE: NTS



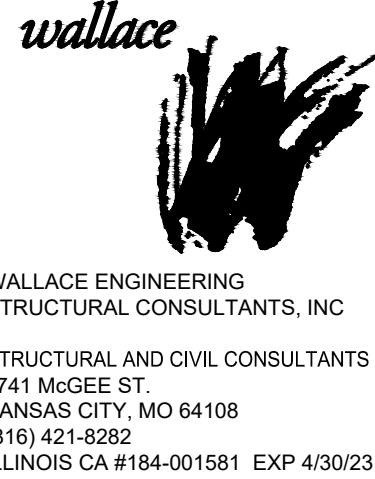
GENERAL NOTES:

1. WHEN THE FRAME DOES NOT MEET THE PROPOSED ELEVATION, ADJUSTING RINGS SHALL BE USED FOR FINAL ADJUSTMENT. A MAXIMUM OF 3 ADJUSTING RINGS MAY BE USED TO A MAXIMUM HEIGHT OF 12 INCHES. CONCRETE, RUBBERIZED, HIGH DENSITY EXPANDED POLYSTYRENE WITH A POLYUREA COATING OR EXPANDED POLYPROPYLENE RINGS MAY USED (ALL RINGS MUST BE IDOT APPROVED). CONCRETE RINGS MAY BE NO LESS THAN 3 INCHES THICK. EACH RING SHALL BE SEALED UNDERNEATH THE FRAME PER THE PRODUCT MANUFACTURERS SPECIFICATIONS WITH THE APPROVAL OF THE ENGINEER.
2. PRECAST ADJUSTING RINGS SHALL BE REINFORCED WITH NO. 3 GAUGE WIRE OR EQUIVALENT AND SHALL HAVE A MINIMUM THICKNESS OF 3 INCHES.
3. A CONCRETE COLLAR PLACED TO A MINIMUM DEPTH OF 12 INCHES BEHIND THE CURB BOX AND MINIMUM OF 18 INCHES BELOW GRADE IS REQUIRED
4. MORTAR SHALL NOT BE USED TO DRESS UP ADJUSTING RINGS.
5. ALL REMOVABLE CASTINGS SHALL BE ORIENTED SO THE OPENING IN THE GRATE PROVIDES THE MAXIMUM HYDRAULIC EFFICIENCY.

|                |                |   |                    |
|----------------|----------------|---|--------------------|
| REV.: JKB      | REV.: 04-23-18 | CASTING ADJUSTMENTS FOR STRUCTURES IN THE CURB LINE | VILLAGE OF LOMBARD |
| REV.: JKB      | REV.: 12-06-05 |   |                    |
| REV.: JKB      | REV.: 05-16-99 |   |                    |
| DRAWN BY: VJGL | DATE: 02-16-98 |   | STORM 8            |

11 LOMBARD CASTING ADJUSTMENTS FOR STRUCTURES IN THE CURB LINE

SCALE: NTS



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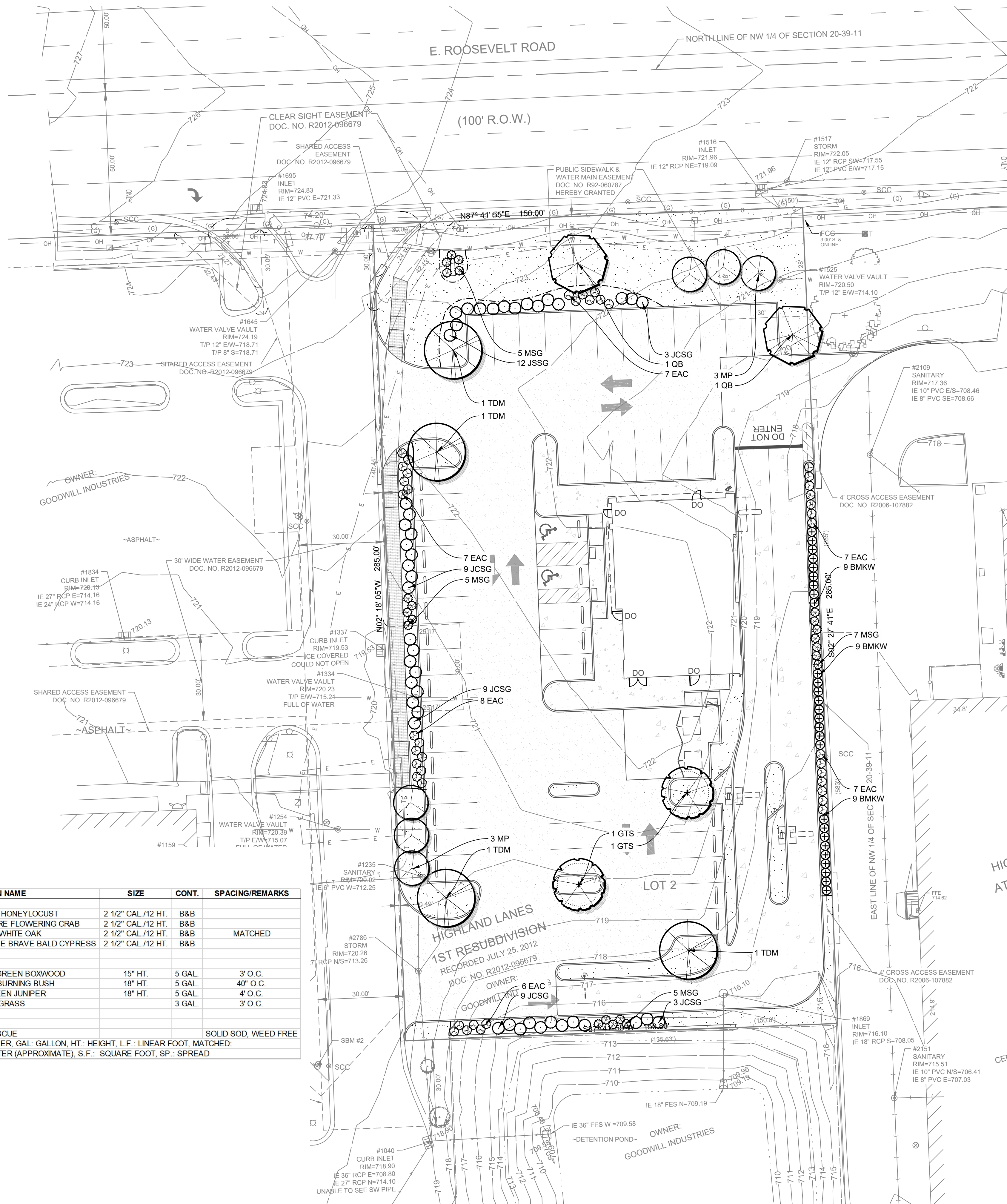
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LOMBARD, IL 97217

ESPC DETAILS II

C06.2

TRUE WARM & WELCOME 2300 R5





JURISDICTION REQUIREMENTS:

|   |      |          |
|---|------|----------|
| <b>RIGHT-OF-WAY LANDSCAPING</b>         |      |          |
| RIGHT-OF-WAY FRONTAGE:                  |      | 150'     |
| REQUIRED: 1 TREE PER 40'                |      | 4 TREES  |
| PROVIDED:                               |      | 4 TREES  |
| <b>INTERIOR PARKING LOT LANDSCAPING</b> |      |          |
| PARKING LOT AREA:                       |      | 1,106 SF |
| AREA                                    |      |          |
| LANDSCAPE AREA REQUIRED:                | 5%   | 1,106 SF |
| LANDSCAPE AREA PROVIDED:                | 7.8% | 1,716 SF |
| TREES                                   |      |          |
| REQUIRED: 1 TREE PER 120 SF             |      | 9 TREES  |
| PROVIDED:                               |      | 9 TREES  |

### PERIMETER PARKING LOT LANDSCAPING

TERMINAL REPAIRING LOT CARPOUSING

NON-RESIDENTIAL ACROSS RIGHT-OF-WAY

EVERGREEN OR DENSE DECIDUOUS SHRUBS ACROSS 50%  
PROVIDED: SEE PLAN

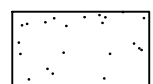
REAR AND INTERIOR SIDE YARDS

REQUIRED LANDSCAPING: 50%  
PROVIDED: SEE PLAN

## PLANT SCHEDULE

|      | QTY | BOTANICAL NAME  | COMMON NAME                | SIZE               | CONT.  | SPACING/REMARKS      |
|------|-----|---|----------------------------|--------------------|--------|----------------------|
|      |     | <b>TREES</b>  |                            |                    |        |                      |
| GTS  | 2   | GLEDISTSA TRIACANTHOSA INERMISCV. 'SKYCOLE'   | SKYLINE HONEYLOCUST        | 2 1/2" CAL/ 12 HT. | B&B    |                      |
| MP   | 6   | MALLUS 'PRAIRIEFIRE'  | PRAIRIEFIRE FLOWERING CRAB | 2 1/2" CAL/ 12 HT. | B&B    |                      |
| QB   | 2   | QUERCUS BICOLOR   | SWAMP WHITE OAK            | 2 1/2" CAL/ 12 HT. | B&B    | MATCHED              |
| TDW  | 4   | TAXODIUM DISTICTUM 'MICKELSON'  | SHAWNEE BRAVE BALD CYPRESS | 2 1/2" CAL/ 12 HT. | B&B    |                      |
|      |     | <b>SHRUBS</b>   |                            |                    |        |                      |
| BMKW | 27  | BUXUS MICROPHYLLA KOREANA'WINTERGREEN'  | WINTERGREEN BOXWOOD        | 15" HT.            | 5 GAL. | 3' O.C.              |
| EAC  | 42  | EUONYMUS ALATUS'COMPACTA'   | DWARF BURNING BUSH         | 18" HT.            | 5 GAL. | 40" O.C.             |
| JCSG | 45  | JUNIPERUS CHINENSIS 'SEA GREEN'   | SEA GREEN JUNIPER          | 18" HT.            | 5 GAL. | 4' O.C.              |
| MCG  | 22  | MISCANTHUS SINENSIS 'GRAECILLUMUS'  | MAIDEN GRASS               |                    | 3 GAL. | 3' O.C.              |
|      |     | <b>SOD AND ACCESSORIES</b>  |                            |                    |        |                      |
| -    | -   | FESTUCA ARUNDINACEA   | TALL FESCUE                |                    |        | SOLID SOD, WEED FREE |
|      |     | ABBREVIATIONS: B&B: SHALED AND BURLAPED, CAL: CALIPER, GAL: GALLON, HT.: HEIGHT, L.F.: LINEAR FOOT, MATCHED:<br>WITHIN 5% OF SIZE AND SHAPE, STK: STAKED, O.C.: ON CENTER (APPROXIMATE), S.F.: SQUARE FOOT, SP.: SPREAD |                            |                    |        |                      |

## LANDSCAPE LEGEND

LANDSCAPE AREA  
(FESCUE SOD WHERE DISTURBED)

BED EDGE



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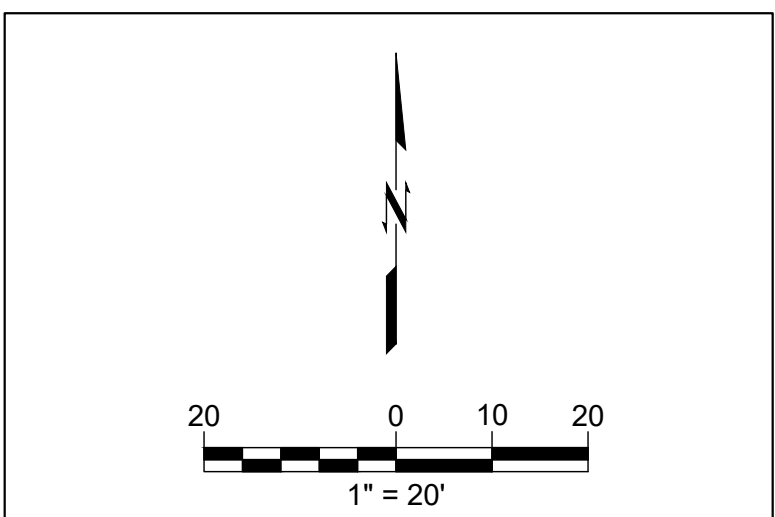
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| 90% SET          | 06-07-2 |
| PC PRELIM REVIEW | 06-14-2 |
| OWNER REV        | 08-09-2 |
| OWNER REV        | 09-13-2 |
| OWNER REV        | 09-30-2 |
| OWNER REV        | 10-11-2 |
| OWNER REV        | 11-15-2 |

DRAWN BY: JAL  
CHECKED BY: MCA

PANDA PROJECT #: XXX

ARCH PROJECT #: 21044.004

ARCH PROJECT #: 21044.004



CONTRACTOR SHALL PROTECT ALL ITEMS  
OUTSIDE LIMITS OF CONSTRUCTION UNLESS  
OTHERWISE NOTED IN THE CONSTRUCTION PLANS  
OR SPECIFICATIONS

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATION AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY



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# PANDA EXPRESS

TRUE WARM & WELCOME  
ROOSEVELT & HIGHLAND  
LOMBARD, IL 97217

## LANDSCAPE PLAN

# L01.0

TRUE WARM & WELCOME 2300 R5





\\kc-cad-server\civil\Projects\2150020 panda express - lombard, il\Draw\PRODUCTION\2150020 Landscape Plan.dwg      PLOT:11/15/2021 2:59:45 PM      ORIG SIZE: 24"x36"

GENERAL NOTES

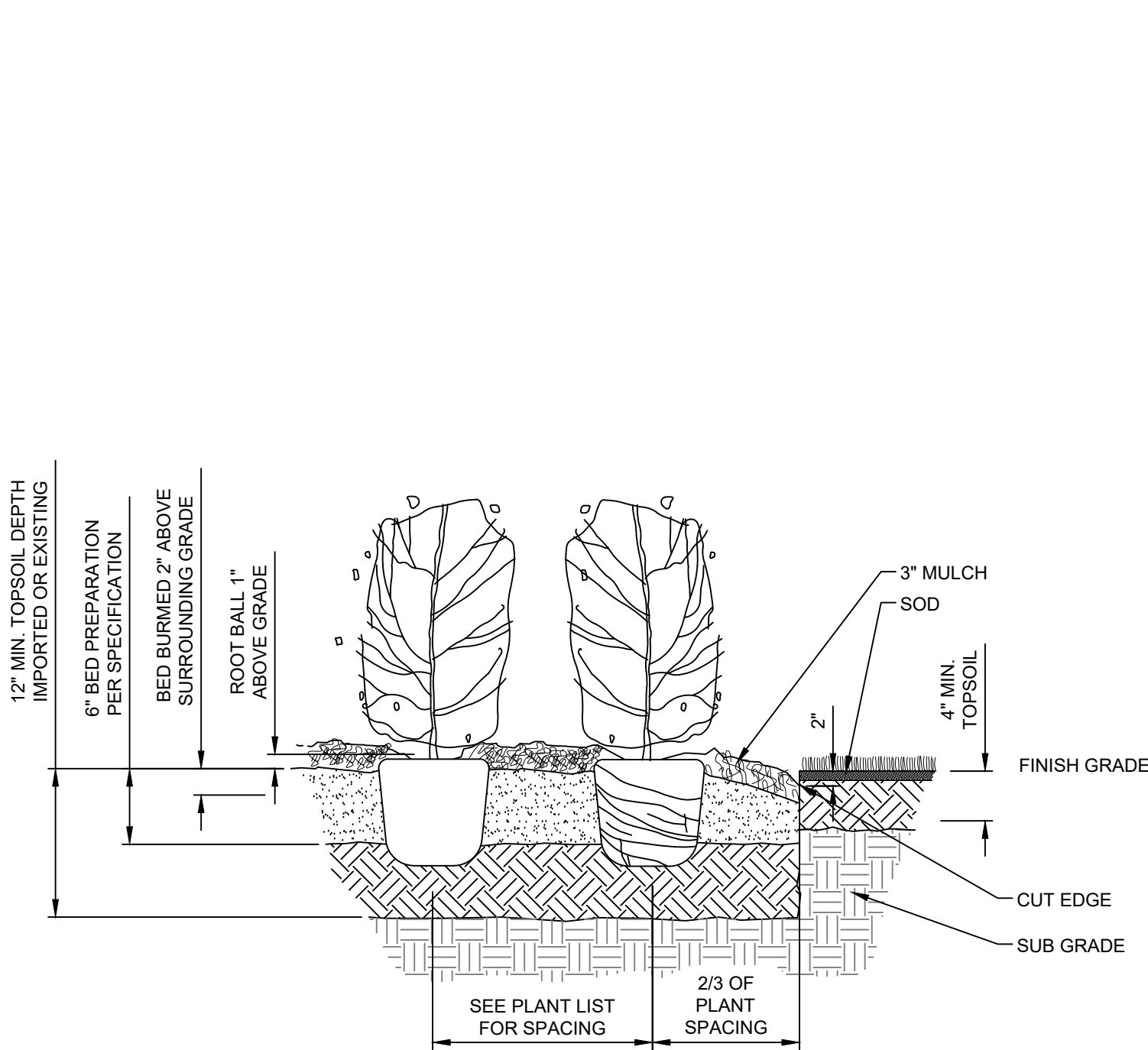
1. ALL PLANTS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR THE FULL TWELVE MONTH PERIOD AFTER SUBSTANTIAL COMPLETION. REPLACEMENTS SHALL BE GUARANTEED AN ADDITIONAL TWELVE MONTHS. THE CONTRACTOR SHALL REPLACE ANY PLANTS WHICH ARE DEAD OR ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION. THE COST OF SUCH REPLACEMENTS SHALL BE BORNE BY THE CONTRACTOR.
2. CONTRACTOR TO MAINTAIN LANDSCAPING MATERIALS AND SOD FOR A PERIOD OF NOT LESS THAN 30 DAYS AFTER ACCEPTANCE OF PROJECT BY OWNERS REPRESENTATIVE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND UTILITY LINES (TELEPHONE, GAS, WATER, ELECTRIC, CABLE TV, ETC.) PRIOR TO THE START OF ANY WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL QUANTITIES OF MATERIALS FROM THE PLANTING PLAN. WHEN DISCREPANCIES OCCUR BETWEEN THE PLAN AND THE MATERIALS LIST,THE PLANTING PLAN SUPERSEDES THE MATERIALS LIST IN ALL CASES.

PLANTING NOTES

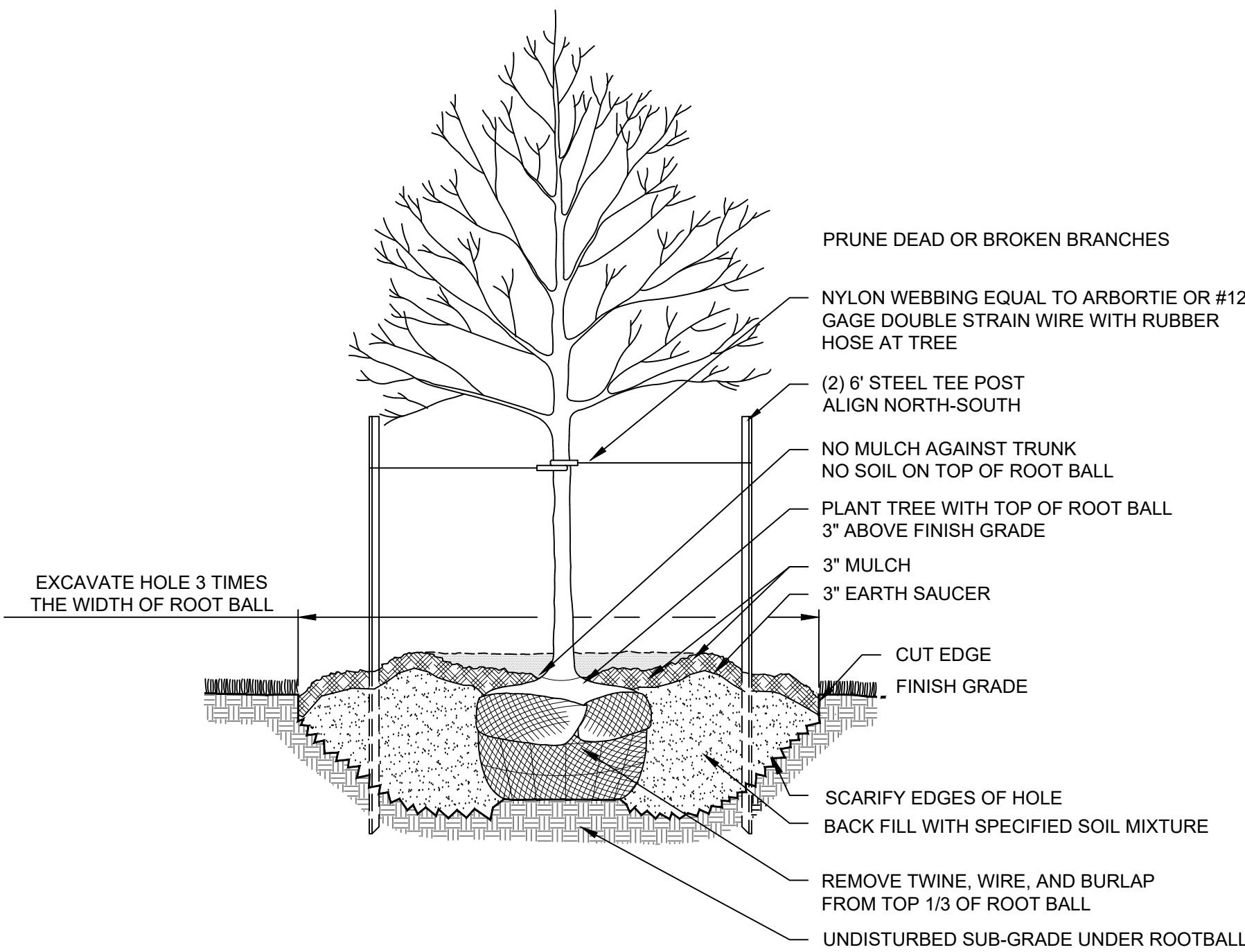
1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 - CURRENT EDITION.
2. PLANTING SHALL BE LOCATED WHERE IT IS SHOWN ON THE PLAN EXCEPT WHERE OVERHEAD OR BELOW GROUND OBSTRUCTIONS ARE ENCOUNTERED. SHOULD OBSTRUCTIONS BE FOUND, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE LANDSCAPE ARCHITECT WHO WILL RELOCATE THE PLANT MATERIAL.
3. ALL PLANTING BEDS SHALL BE PREPARED IN THE FOLLOWING MANNER: REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS PRIOR TO BEGINNING SOIL PREPARATION. IF BERMUDA GRASS IS PRESENT IT SHALL BE ERADICATED BY APPROVED MEANS. SPREAD 2" OF COMPOST (BACK TO EARTH SOIL CONDITIONER), 1" OF PINE BARK MULCH, AND OSMOCOTE FERTILIZER (1 LB. PER 100 SQ. FT.) INCORPORATE TO A DEPTH OF 6".
4. ALL PLANTING BEDS AND TREE WELLS SHALL RECEIVE A MINIMUM OF 3" OF CEDAR MULCH.
5. ALL TREES SHALL BE PLANTED 2" ABOVE FINISH GRADE.
6. TWINE AND BURLAP SHALL BE CUT AND REMOVED FROM THE UPPER 1/3 OF THE ROOT BALL ON ALL TREES AND SHRUBS.
7. FINISH GRADES OF ALL PLANTING BEDS SHALL PROVIDE POSITIVE DRAINAGE OUT OF PLANTED AREA.
8. AREAS WITHIN THE PROPERTY LINES, THE R.O.W. PARALLEL TO THE PROPERTY LINES, AND ALL OTHER LAWN AREAS DISTURBED BY THE CONSTRUCTION PROCESS THAT ARE NOT DESIGNATED TO RECEIVE OTHER PLANTING, PAVING OR BUILDINGS ARE TO BE SODDED WITH SOLID SOD BERMUDA GRASS.
9. ALL AREAS RECEIVING SOD SHALL RECEIVE A MINIMUM 4" OF TOPSOIL. SOD SHALL BE STRONGLY ROOTED, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES, AND SHALL BE NOT LESS THAN 2 YEARS OLD. APPLY A 10-20-10 FERTILIZER AT A RATE OF TEN(10) POUNDS PER 1,000 SQUARE FEET TO ALL LAWN AREAS PRIOR TO SODDING.
10. ALL PLANTING AREAS ADJACENT TO LAWN AREAS TO BE BORDERED BY 4" X 3/16" STEEL EDGING BY RYERSON.
11. BACK FILL ALL TREE PITS WITH A SOIL MIXTURE CONSISTING OF 1 PART TOP SOIL AND 1 PART COMPOST AND 1/2 POUND OSMOCOTE FERTILIZER PER TREE.
12. ALL PLANTS SHALL BE TRUE OF SPECIES AND VARIETY AND SHALL CONFORM TO MEASUREMENTS (CALIPER, SIZE, AND TRUNK HEIGHT) AS SPECIFIED ON THE DRAWING.
13. SIX WEEKS AFTER THE INSTALLATION OF SOD, A GRANULAR APPLICATION OF BARRICADE PRE-EMERGENT WEED CONTROL SHALL BE APPLIED AT A RATE OF 10 POUNDS PER 1,000 S.F. AND THEREAFTER, ANNUAL APPLICATIONS SHALL BE APPLIED DURING THE SECOND WEEK OF FEBRUARY.
14. SIX WEEKS AFTER THE INSTALLATION OF THE LANDSCAPE MATERIALS, THE FIRST OF TWO ANNUAL LIQUID APPLICATIONS OF PENDULUM PRE-EMERGENT WEED CONTROL SHALL BE APPLIED TO THE MULCH SURFACE IN ALL SHRUB AND GROUND COVER AREAS.
15. STAKING AND GUYING TO BE REMOVED BY THE LANDSCAPE CONTRACTOR NINE MONTHS AFTER PLANTING.

IRRIGATION NOTES

1. WATER SHALL BE PROVIDED IN ALL PLANTING BEDS AND SOD AREAS BY AN ELECTRONIC UNDERGROUND IRRIGATION SYSTEM.
2. IRRIGATION CONTROL ZONES SHALL BE SEPARATED TO PERMIT IRRIGATION OF SIMILAR PLANT MATERIALS, SUN EXPOSURE, LAND SLOPE AND SOIL/LANDSCAPE CONDITIONS. SYSTEM SHALL BE DESIGNED SUCH THAT ALL IRRIGATION HEADS SHALL APPLY WATER TO A GIVEN AREA AT THE SAME RATE YIELDING MATCHED AND UNIFORM PRECIPITATION RATES AND UNIFORM COVERAGE. SHRUB AND LAWN AREAS ARE TO BE IN ZONED SEPARATELY.
3. SPRAY HEADS SHALL BE SPACED NO FURTHER THAN FOR HEAD TO HEAD COVERAGE BASED ON THE SPRINKLER HEAD PERFORMANCE PUBLISHED BY THE MANUFACTURER. ROTARY HEADS SHALL BE SPACED NO FURTHER THAN 85 PERCENT AND 90 PERCENT FOR 3/4" INLET AND 1" INLET ROTARIES RESPECTIVELY AT THE DESIGN PRESSURE.
4. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE LANDSCAPE WATERING PROGRAM WITH THE OWNERS REPRESENTATIVE.
5. INSTALL SEPARATE IRRIGATION METER, BACK FLOW PREVENTION DEVICE AND PROTECTIVE HOUSING WITH HEAT TAPE. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE. IRRIGATION CONTRACTOR SHALL FOLLOW THE SPECIFIED RECOMMENDATIONS OF THE EQUIPMENT MANUFACTURERS TO INSURE PROPER INSTALLATION OF IRRIGATION SYSTEM.
6. PROVIDE ELECTRICAL POWER TO BACK FLOW PREVENTER FOR HEATING DEVICE.
7. SUBMIT IRRIGATION DESIGN DRAWINGS FOR REVIEW. COORDINATE EXACT LOCATION OF CONTROLS WITH OWNER'S REPRESENTATIVE.



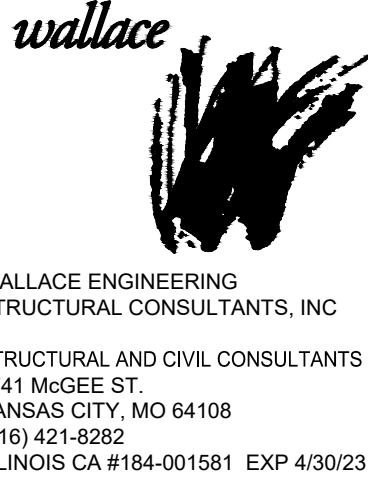
2 SHRUB PLANTING DETAIL  
SCALE: NTS



1 TREE PLANTING DETAIL  
SCALE: NTS



CAUTION  
NOTICE TO CONTRACTOR  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES



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CHECKED BY: MCA

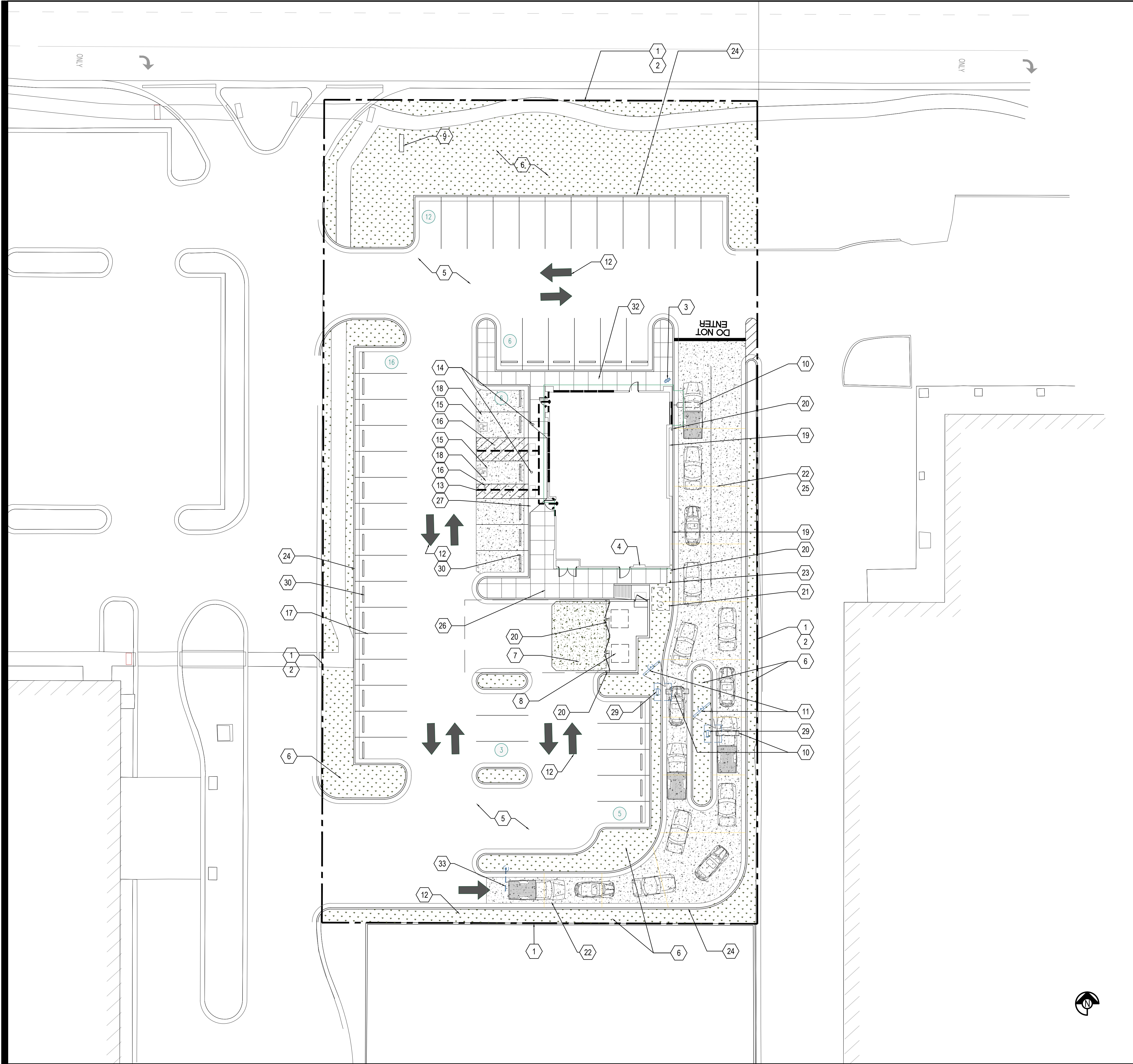
PANDA PROJECT #: XXX  
PANDA STORE #: S8-20-D7159  
ARCH PROJECT #: 21044.004

khckloverarchitect  
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PANDA EXPRESS  
TRUE WARM & WELCOME  
ROOSEVELT & HIGHLAND  
LOMBARD, IL 97217

LANDSCAPE NOTES  
AND DETAILS  
L01.1





|   |   |
|---|---|
| <b>DEMOLITION NOTE:</b><br>G.C. TO REMOVE ALL EXISTING ABOVE/UNDER GROUND STRUCTURAL WALLS, FOUNDATION, ASPHALT, CONC. CURBS AND DEBRIS PRIOR TO NEW CONSTRUCTION.  |   |
| <b>GENERAL NOTE:</b><br>1. G.C. TO VERIFY AND PROVIDE ALL UNDERGROUND WIRING AND CONDUIT (INSTALLED BY LOCAL UTILITY COMPANY) FROM TRANSFORMER TO ELECTRICAL MAIN SWITCHGEAR, DRIVE THRU- MENU BOARD, BY G.C.. VERIFY WITH PANDA PM.<br>2. WATER METER FOR IRRIGATION SHALL BE A SEPARATE METER THAN MAIN WATER METER. G.C. TO REFERENCE CIVIL UTILITY PLAN FOR SIZE AND LOCATION.<br>3. PROVIDE & INSTALL CAGE AND COVER FOR THE BACK-FLOW PREVENTER AT 4" CONCRETE CURB IN LANDSCAPE AREA, GORILLA CAGE, MANUFACTURED BY HOUSTON IRRIGATION SERVICES SPRING, TEXAS (281-705-9701). PROVIDE INSULATED COVER, 'AQUA SHIELD' MODEL # BFP1-S FOR COLDER REGIONS OF US. COORDINATE WITH PANDA PM. REFER TO DETAIL 11/A-407<br>4. FOR HORIZONTAL CONTROL PLAN REFER TO CIVIL DRAWINGS |   |
| 1   | LIMIT OF CONSTRUCTION   |
| 2   | PROPERTY LINE   |
| 3   | "THANK YOU/DONOT ENTER" SIGN  |
| 4   | NEW SWITCHGEAR  |
| 5   | PAVING - SEE CIVIL PLAN   |
| 6   | IRRIGATED LANDSCAPING, REFER TO LANDSCAPE DRAWINGS  |
| 7   | HEAVY DUTY CONCRETE APRON FOR DUMPSTER ENCLOSURE. REFERENCE CIVIL DRAWINGS FOR SPECIFICATIONS   |
| 8   | TRASH ENCLOSURE, CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY.  |
| 9   | GC TO COORDINATE LOCATION OF SIGN WITH SIGN CO.   |
| 10  | DRIVE THRU LANE SENSOR LOOP. INSTALL/POSITION SO LOOP IS CENTERED ON ACTIVE PANEL OF DRIVE THROUGH WINDOW. SEE DETAIL   |
| 11  | DRIVE THROUGH MENU BOARD-INSTALLED BY SIGN COMPANY. VERIFY WITH PANDA PM (SEE GENERAL NOTE ABOVE)   |
| 12  | DIRECTIONAL ARROW   |
| 13  | ACCESSIBLE PATH OF TRAVEL ----->  |
| 14  | ACCESSIBLE PARKING POLE SIGN  |
| 15  | INTERNATIONAL ACCESSIBILITY SYMBOL @ PARKING SPACE  |
| 16  | ACCESSIBLE PARKING SPACE AND LOADING ZONE PAINT LOADING ZONE W/ 4" WIDE STRIPES @3'-0" O.C.   |
| 17  | PAINT 4" WIDE SOLID PARKING STRIPING W/ TWO (2) COATS HIGHWAY WHITE PAINT   |
| 18  | DESIGNATED HANDICAP PARKING SPACE   |
| 19  | ROOF DRAIN AND OVERFLOW DRAIN FROM ROOF TO EXIT TO DAYLIGHT THRU FACE OF WALL. COLD CLIMATES WILL REQUIRE CONNECTION TO STORM SEWER. ARCHITECT TO VERIFY WITH LOCAL JURISDICTION.         |
| 20  | STEEL PIPE BOLLARD. BOLLARDS TO BE PAINTED SAFETY YELLOW PRIOR TO APPLICATION OF LDPE SLEEVE.   |
| 21  | UNDERGROUND GREASE INTERCEPTOR - LOCATION TO BE DETERMINED  |
| 22  | CONC. DRIVEWAY  |
| 23  | EDGE OF SIDEWALK AT PLANTER   |
| 24  | CONCRETE CURB AT LANDSCAPE AREA   |
| 25  | EXPANSION JOINT @ 20'-0" O.C. MAX.  |
| 26  | TOOLED JOINTS @ 5'-0"x5'-0" O.C.<br>EXPANSION JOINT @ 20'-0" O.C.   |
| 27  | ACCESSIBLE RAMP   |
| 28  | NOT USED  |
| 29  | ORDER CONFIRMATION BOARD  |
| 30  | RUBBER WHEEL STOP, REF. CIVIL DRAWINGS  |
| 31  | NOT USED  |
| 32  | SEALED CONC SIDEWALK. (AQUA MIX SEALER'S CHOICE GOLD). CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. |
| 33  | CLEARANCE BAR/BASE INSTALLED BY SIGN VENDOR.  |
| 34  | NOT USED  |
| <b>KEY NOTES</b>  |   |
| Scale= NTS  |   |
| <b>A-100</b>  |   |
| <b>A</b>  |   |
| TRUE WARM & WELCOME 2300 R5   |   |



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| DRAWN BY: -                  |  |
| PANDA PROJECT #: S8-22-D7142 |  |
| PANDA STORE #: -             |  |
| ARCH PROJECT #: 21044.004    |  |

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351 E ROOSEVELT ROAD  
LOMBARD, IL 60148

**A-100**  
SITE PLAN  
ARCHITECTURAL

TRUE WARM & WELCOME 2300 R5

2ND PLANNING COMMISSION SET 11-15-21



EXTERIOR FINISH SCHEDULE

INSTALLED AND FURNISHED BY: G.C. UNLESS NOTED OTHERWISE

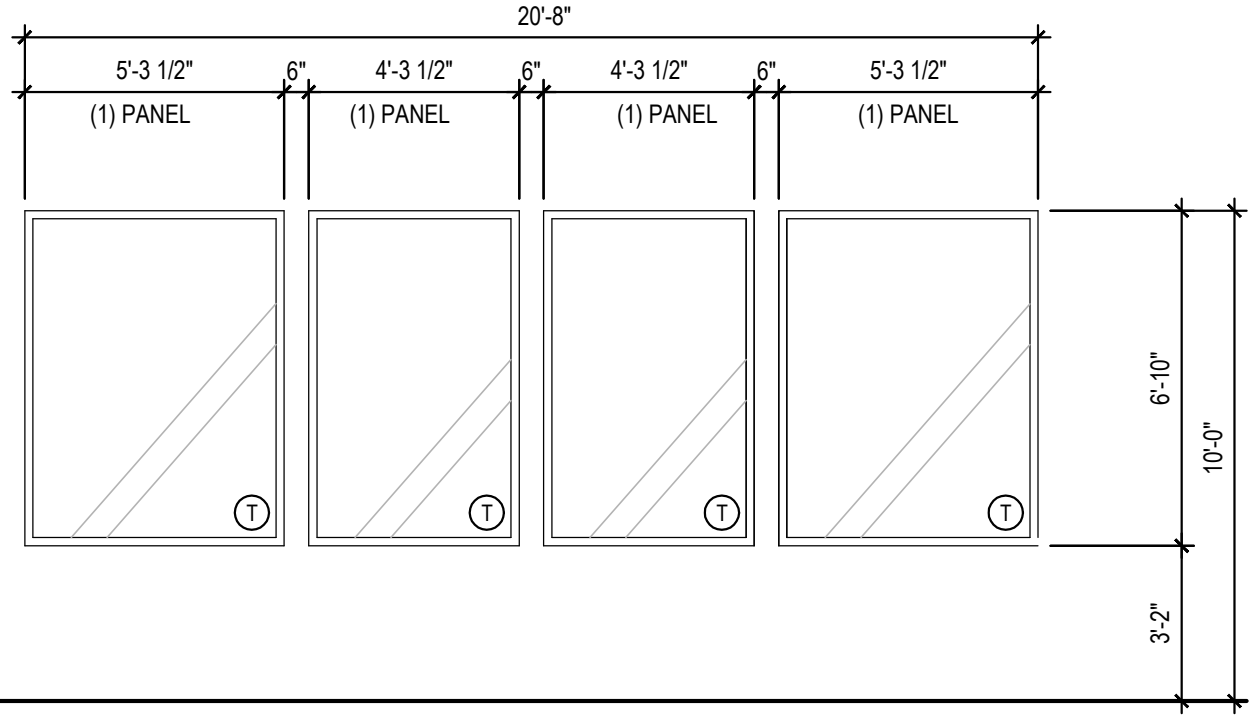
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| NO       | MANUFACTURER            | MFG#                    | COLOR                    | FINISH  | NOTES  |
|----------|-------------------------|-------------------------|--------------------------|---|--|
| (EIFS-1) | STO                     | STOTHERM ESSENCE SYSTEM | SW 6252 ICE CUBE         | FINE  | BUILDING BODY  |
| (EIFS-2) | STO                     | STOTHERM ESSENCE SYSTEM | SW 7067 CITYSCAPE        | FINE  | BUILDING BODY  |
| (EIFS-3) | STO                     | STOTHERM ESSENCE SYSTEM | SW 7069 IRON ORE         | FINE  | EIFS ACCENT BAND   |
| (ST-1S)  | CORONADO STONE PRODUCTS | 900 SERIES              | #2 GREY                  | -   | STONE CAP (3/8" VERTICAL JOINT - MORTAR TO MATCH STONE CAP)  |
| (ST-1)   | CORONADO STONE PRODUCTS | CORONADO HONEY LEDGE    | ROCKY MTN. RUNDLE        | -   | ENTRY PORTAL & WAINSCOT<br>CONTACT: LISA KILGORE: 864-962-1221<br>PROVIDE 3/8" MORTAR JOINTS.<br>MFG.: ARGOS, COLOR: PUTTY |
| (CD-1)   | FIBERON                 | HORIZON                 | IPE                      | 60% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE) | COMPOSITE DECKING - CONTACT: ERIC ATKINS @ 770-910-0930 EMAIL: Eric.Atkins@fiberondecking.com                              |
| (CD-2)   | FIBERON                 | HORIZON                 | TUDOR BROWN              | 40% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE) | COMPOSITE DECKING - CONTACT: ERIC ATKINS @ 770-910-0930 EMAIL: Eric.Atkins@fiberondecking.com                              |
| (MTL-1)  | EXCEPTIONAL METALS      | -                       | "PANDA EXPRESS IRON ORE" | CAP FLASHING                                    |  |

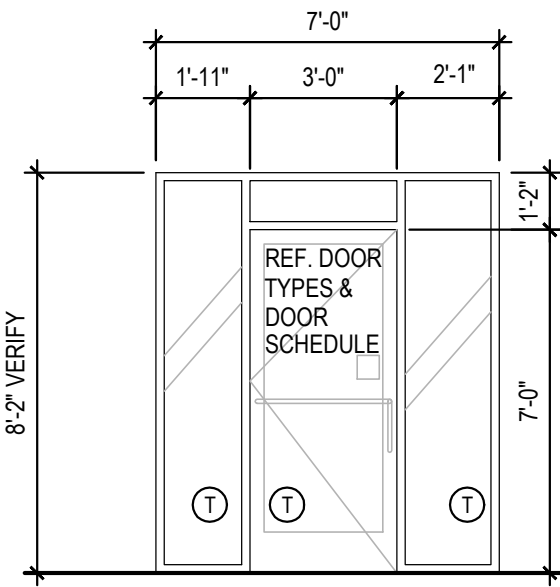
WINDOW SCHEDULE

INSTALLED AND FURNISHED BY: G.C. UNLESS NOTED OTHERWISE

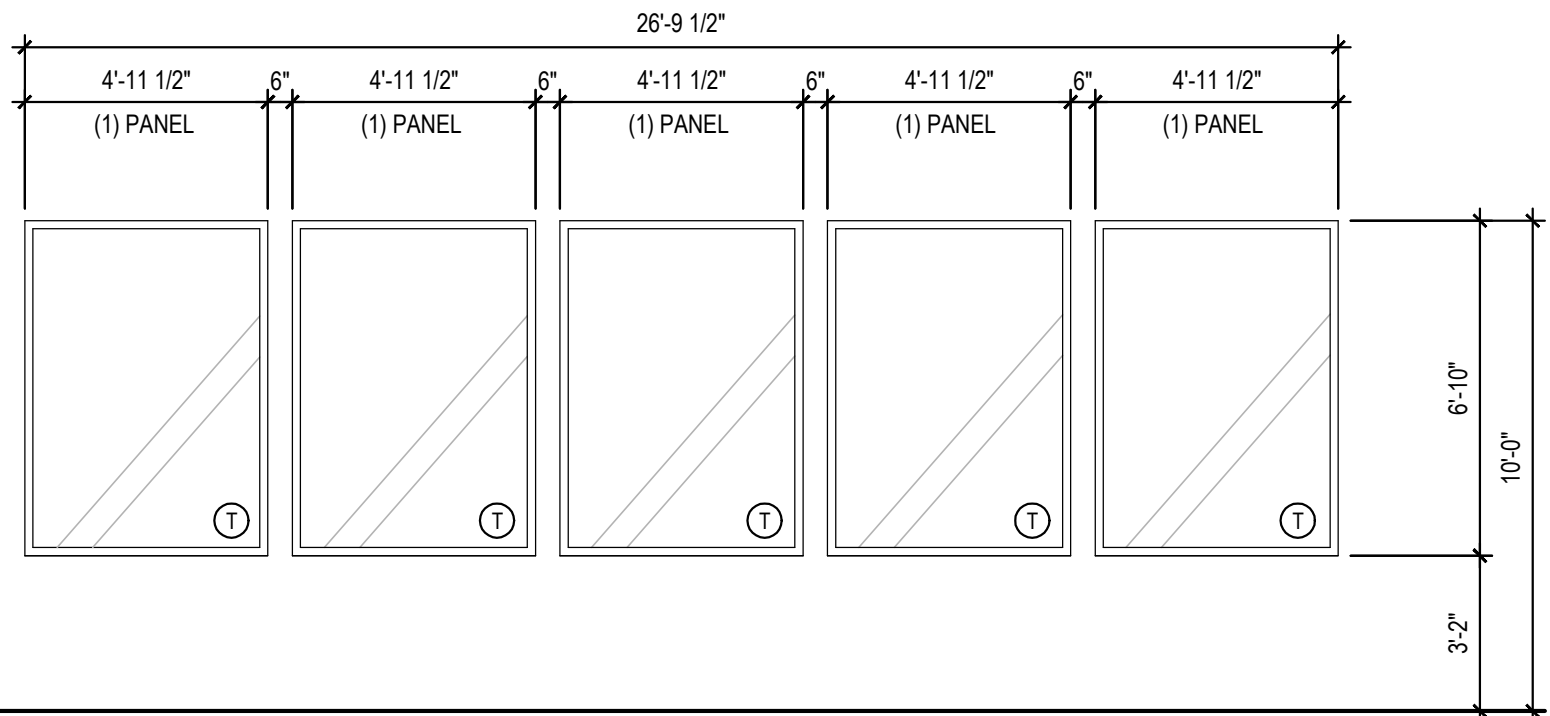
| SYM | WIDTH                | HEIGHT | GLASS              | FRAME                           | REMARKS   | NOTES   |
|-----|----------------------|--------|--------------------|---------------------------------|---|---|
| (A) | 20'-8" LIN. FEET     | 6'-10" | 1" INSULATED GLASS | DARK BRONZE ALUMINUM STOREFRONT | 1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME REFER WINDOW TYPES FOR INDIVIDUAL SIZES   | 1. INSULATING GLASS VITRO ARCHITECTURAL GLAZING SOLARBAN 60 LOW E. WINTER U=0.29 SHGC: 0.25 VIS TRANS: 35%  |
| (B) | 26'-9 1/2" LIN. FEET | 6'-10" | 1" INSULATED GLASS | DARK BRONZE ALUMINUM STOREFRONT | 1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME REFER WINDOW TYPES FOR INDIVIDUAL SIZES   | 2. DOORS: FULL GLAZED DOORS W/10" KICK BASE, ANODIZED ALUM FINISH. REFER HARDWARE SCHEDULE.   |
| (C) | 7'-0"                | 8'-2"  | 1" INSULATED GLASS | DARK BRONZE ALUMINUM STOREFRONT | 1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME   | 3. WINDOW DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. G.C. TO VERIFY ACTUAL WINDOW DIMENSIONS PRIOR TO FABRICATION INSTALLATION.  |
| (D) | 5'-11"               | 10'-0" | 1" INSULATED GLASS | DARK BRONZE ALUMINUM STOREFRONT | 1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME   | 4. GLASS FACADE AND ENTRY DOORS TO BE DESIGNED, DETAILED, FACTORY FABRICATED AND SITE ASSEMBLED AND ERECTED.  |
| (E) | 6'-11"               | 59'-5" | TEMPERED GLASS     | DARK BRONZE ANODIZED ALUMINUM   | QUIK-SERV (NON-HEATED AIR CURTAIN OR HEATED AIR CURTAIN), ROUGH OPENING 83" X 60" SEE ADDITIONAL NOTE # 5. CONTACT: WADE ARNOLD, 800-388-8307 | 5. MANUFACTURER: QUIK-SERV, MODEL SST-480E WITH THRU-BEAM PHOTO-ELECTRIC BAR. REGIONAL APPLICATION WITH CF-25 NON HEATED AIR CURTAIN OR CHF-25 HEATED AIR CURTAIN. TYPE OF AIR CURTAIN LISTED ON WINDOW SCHEDULE. |
| (F) | 7'-3"                | 10'-0" | SINGLE PANE GLASS  | DARK BRONZE ANODIZED ALUMINUM   | SINGLE PANE VESTIBULE GLAZING   | 6. WINDOW SYSTEM SHALL COMPLY WITH APPLICABLE SECTION AND CHAPTER OF BUILDING CODE.   |
| (G) | 7'-10"               | 10'-0" | SINGLE PANE GLASS  | DARK BRONZE ANODIZED ALUMINUM   | SINGLE PANE VESTIBULE GLAZING   | (T) TEMPERED GLASS  |



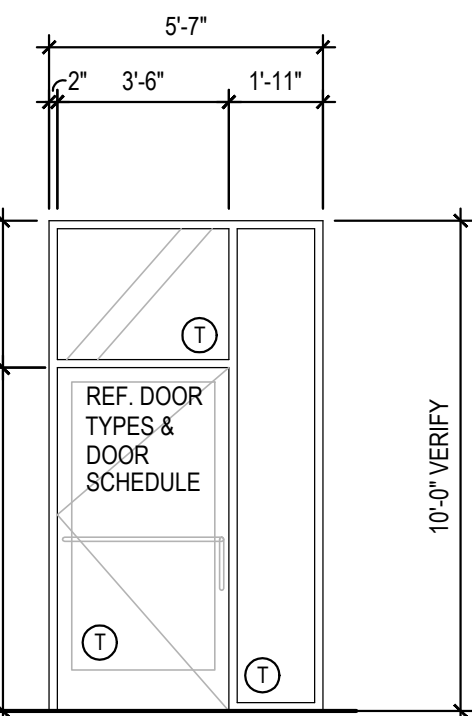
(A)



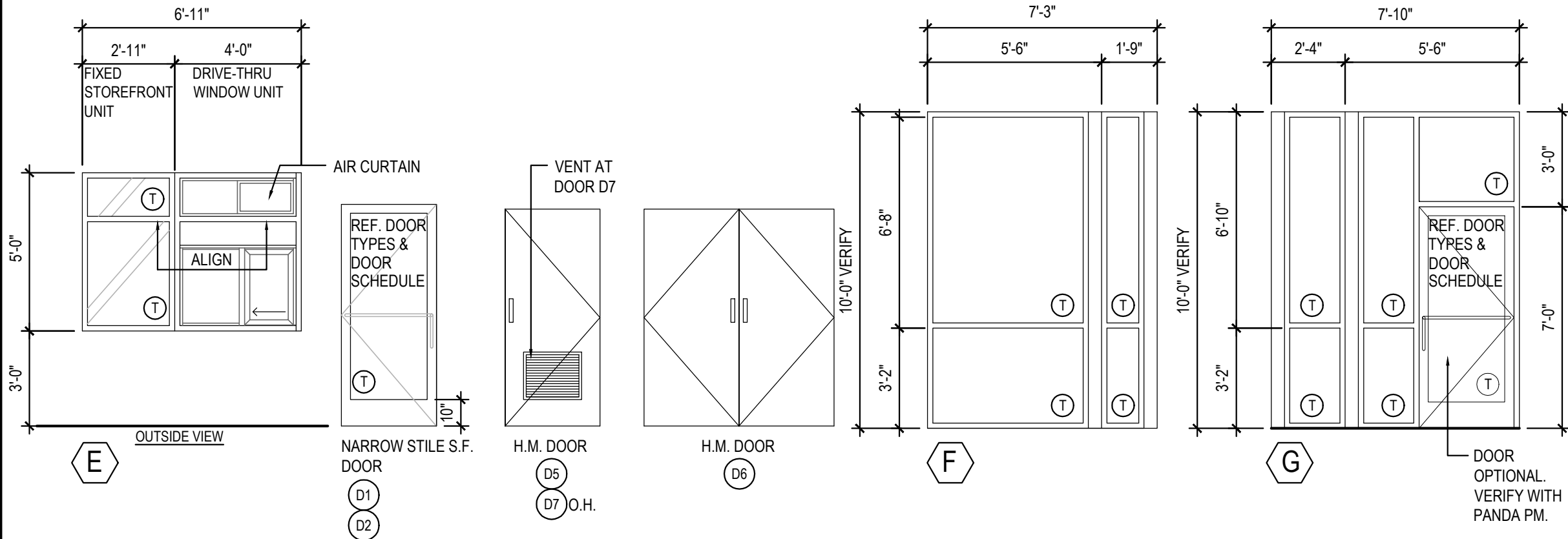
(C)



(B)



(D)



(E)

(F)

(G)

WINDOW AND DOOR ELEVATIONS

3

Scale= NTS A-200



SOUTH ELEVATION

2

Scale= 1/4" = 1'-0" A-200



NORTH ELEVATION

1

Scale= 1/4" = 1'-0" A-200



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PANDA STORE #: -

ARCH PROJECT #: 21044.004



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PANDA EXPRESS

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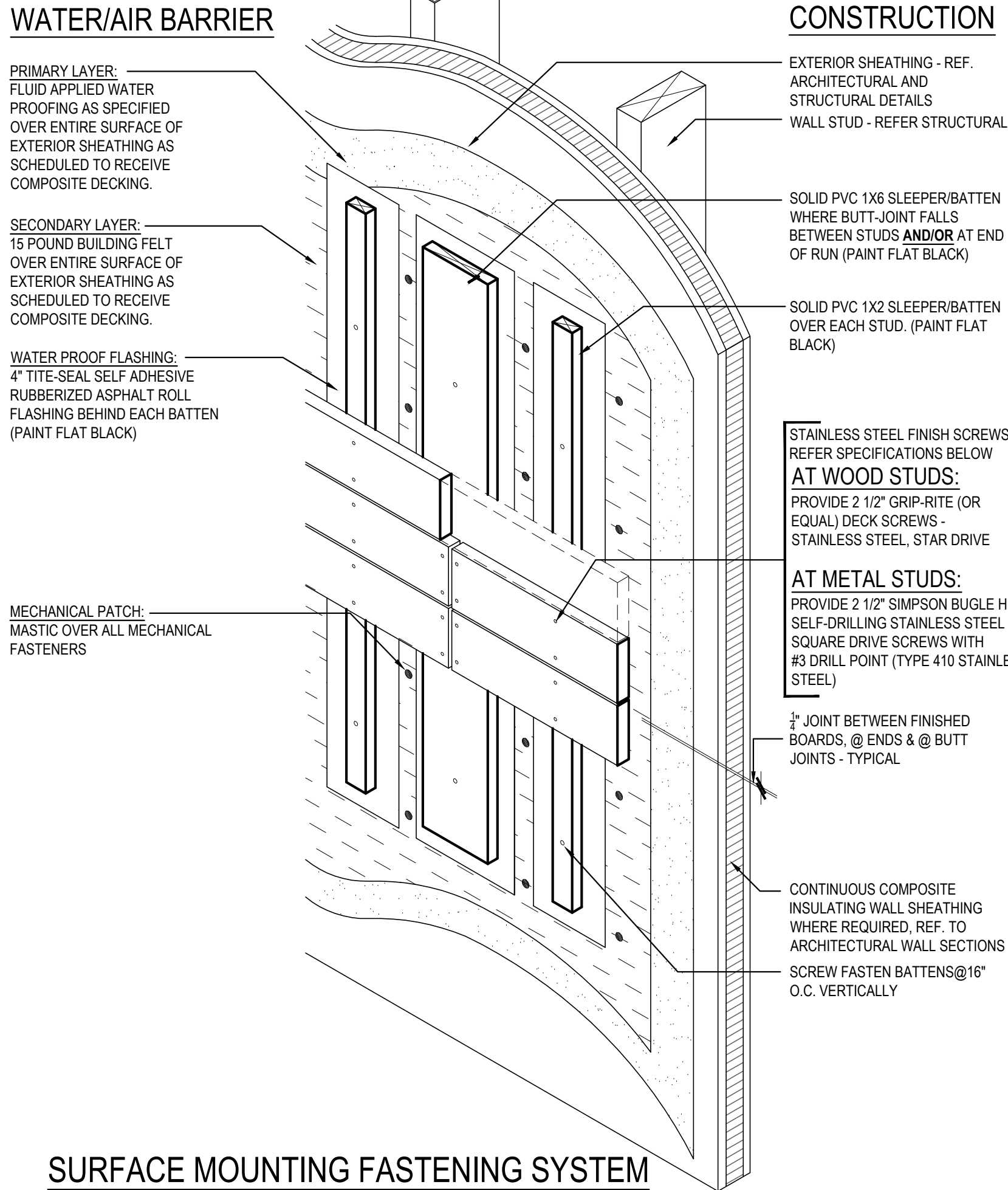
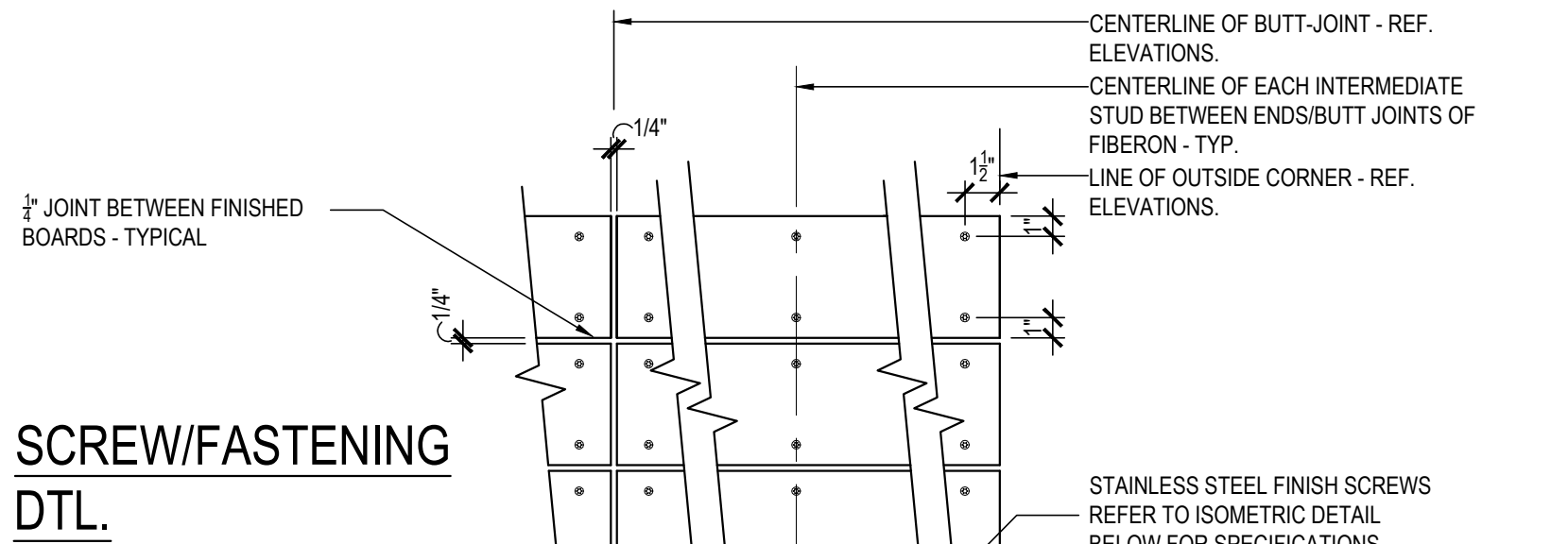
A-200

EXTERIOR  
ELEVATIONS

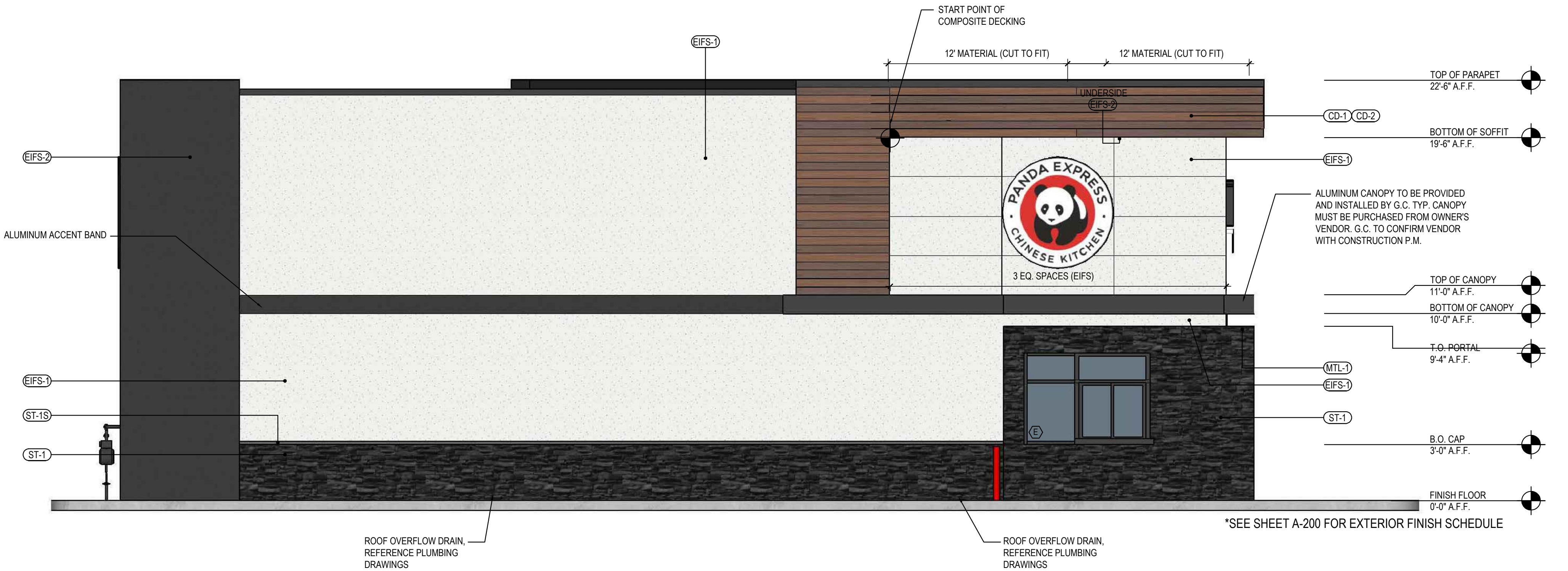
TRUE WARM & WELCOME 2300 R5

2ND PLANNING COMMISSION SET 11-15-21





COMPOSITE DECK FASTENING & WATER PROOFING 3  
Scale= 1 1/2" = 1'-0" A-201



EAST ELEVATION 1  
Scale= 1/4" = 1'-0" A-201



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DRAWN BY: -  
PANDA PROJECT #: S8-22-D7142  
PANDA STORE #: -  
ARCH PROJECT #: 21044.004

hckloverarchitect  
8813 Penrose Lane, Suite 400,  
Lenexa, KS 66219  
ph: 913.649.8181 • fx: 913.649.1275

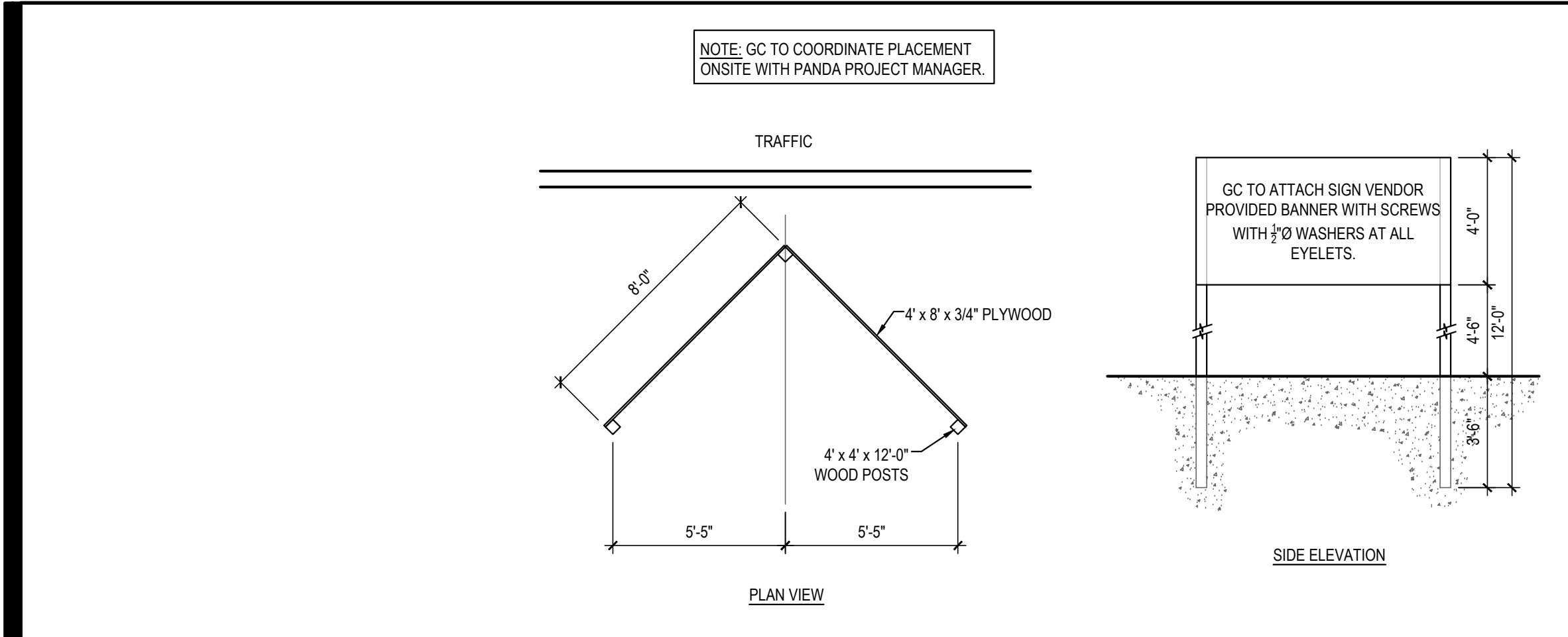
PANDA EXPRESS  
TRUE WARM & WELCOME  
351 E ROOSEVELT ROAD  
LOMBARD, IL 60148

A-201  
EXTERIOR  
ELEVATIONS

TRUE WARM & WELCOME 2300 RS

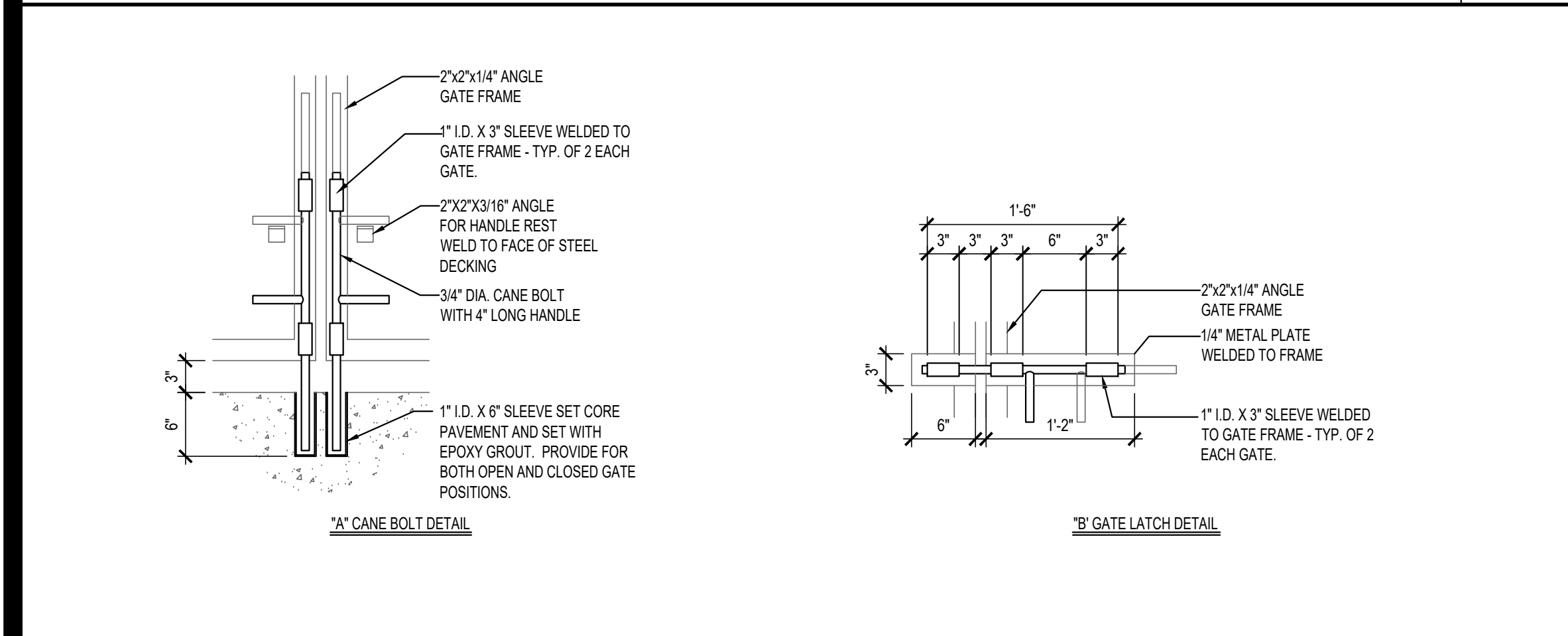
2ND PLANNING COMMISSION SET 11-15-21





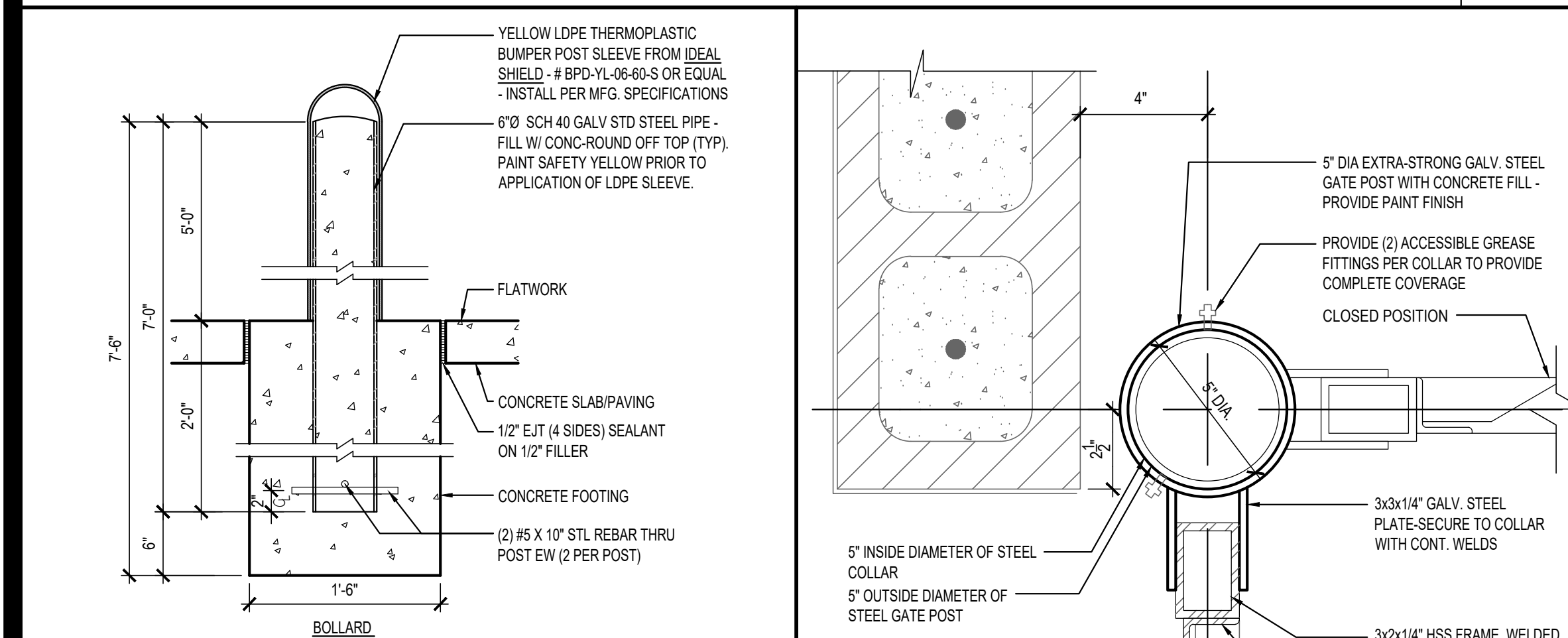
"COMING SOON" SIGN DETAIL

Scale= 1/4" = 1'-0"



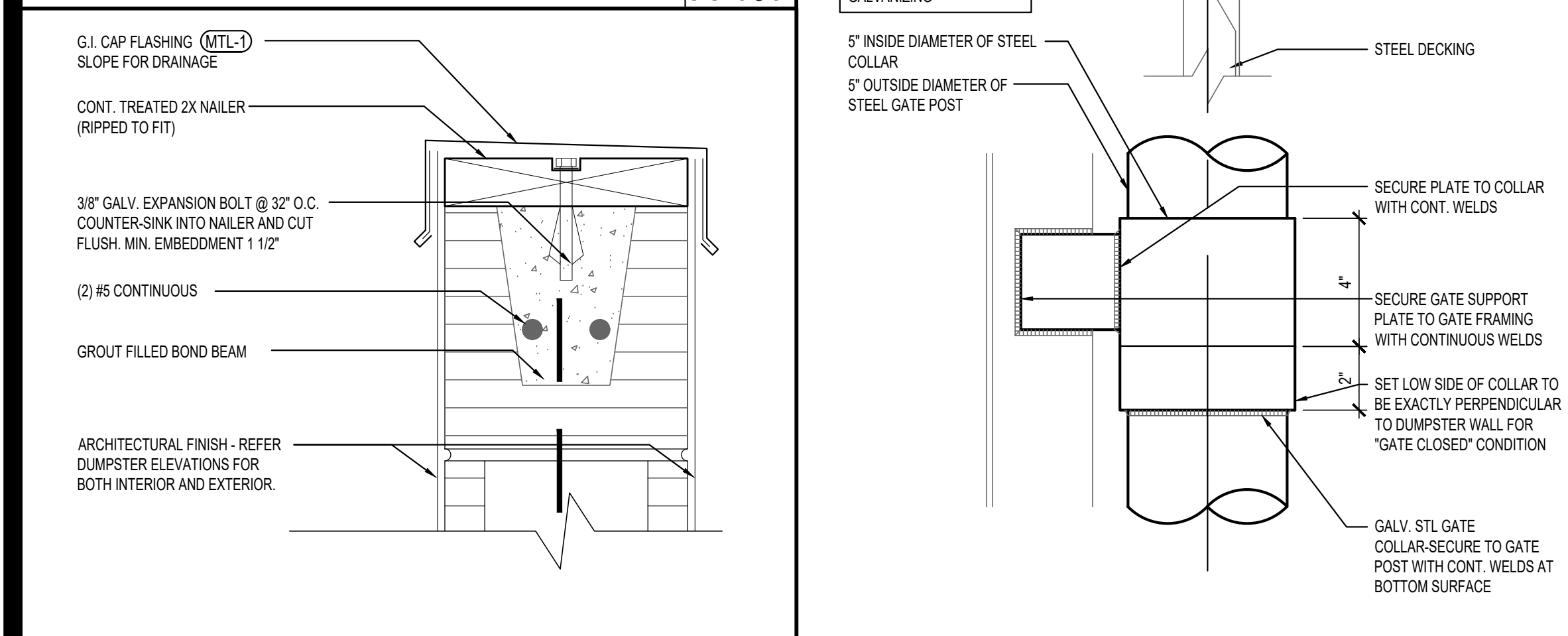
DUMPSTER GATE LATCH DETAILS

Scale= NTS



BOLLARD / POST BASE

Scale= 1" = 1'-0"



DUMPSTER CAP DETAIL

Scale= 3" = 1'-0"



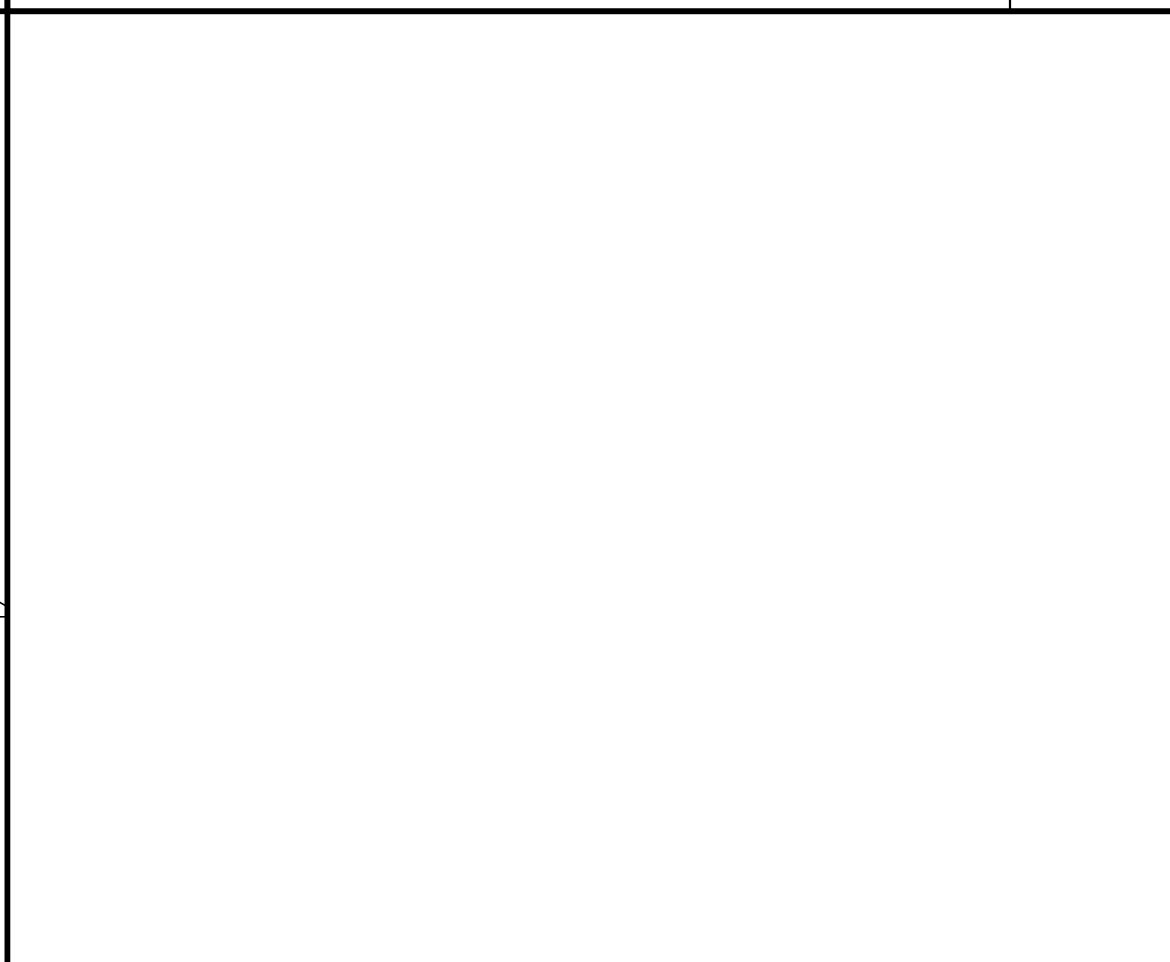
"COMING SOON" SIGN DETAIL

Scale= 1/4" = 1'-0"



NOT USED

Scale= NTS



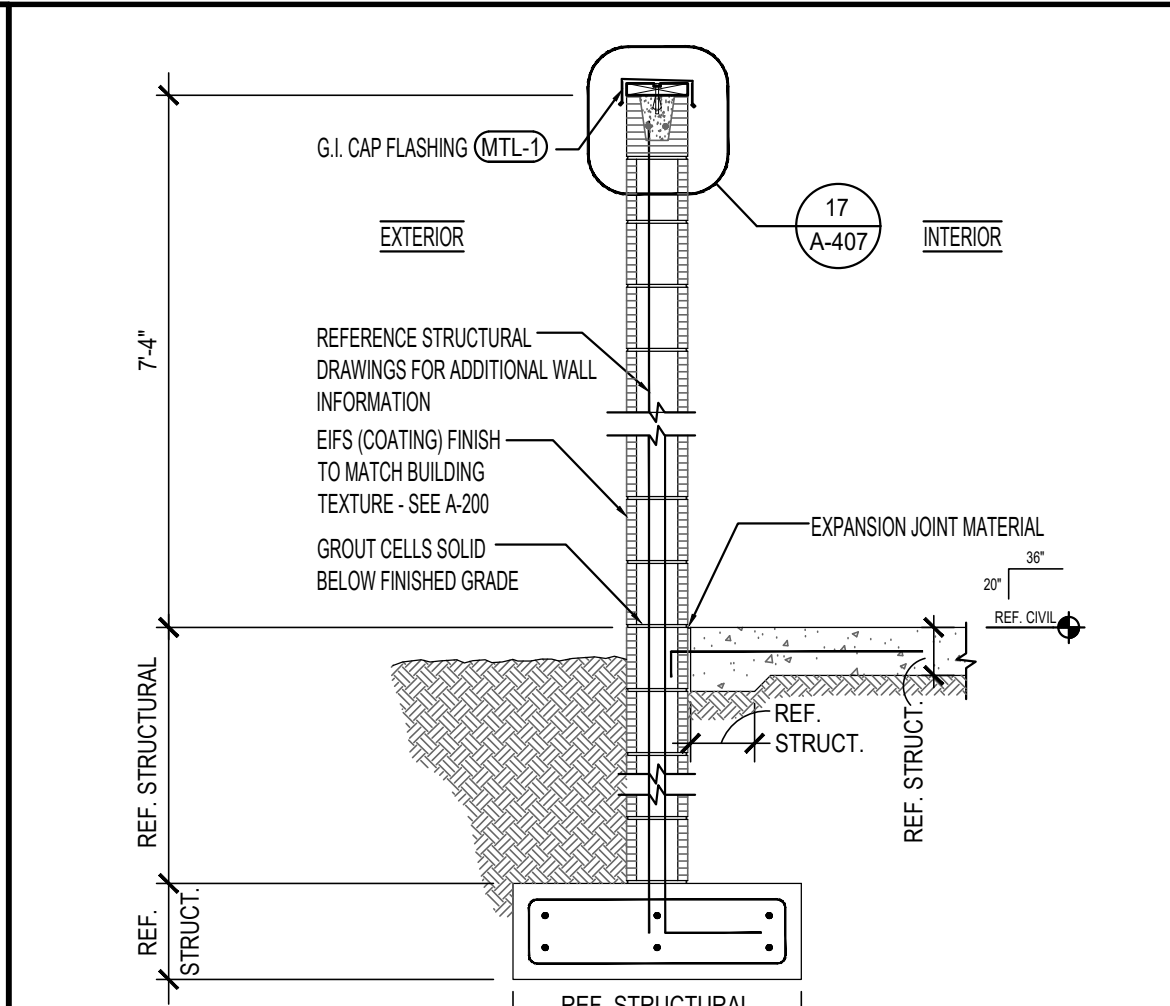
NOT USED

Scale=



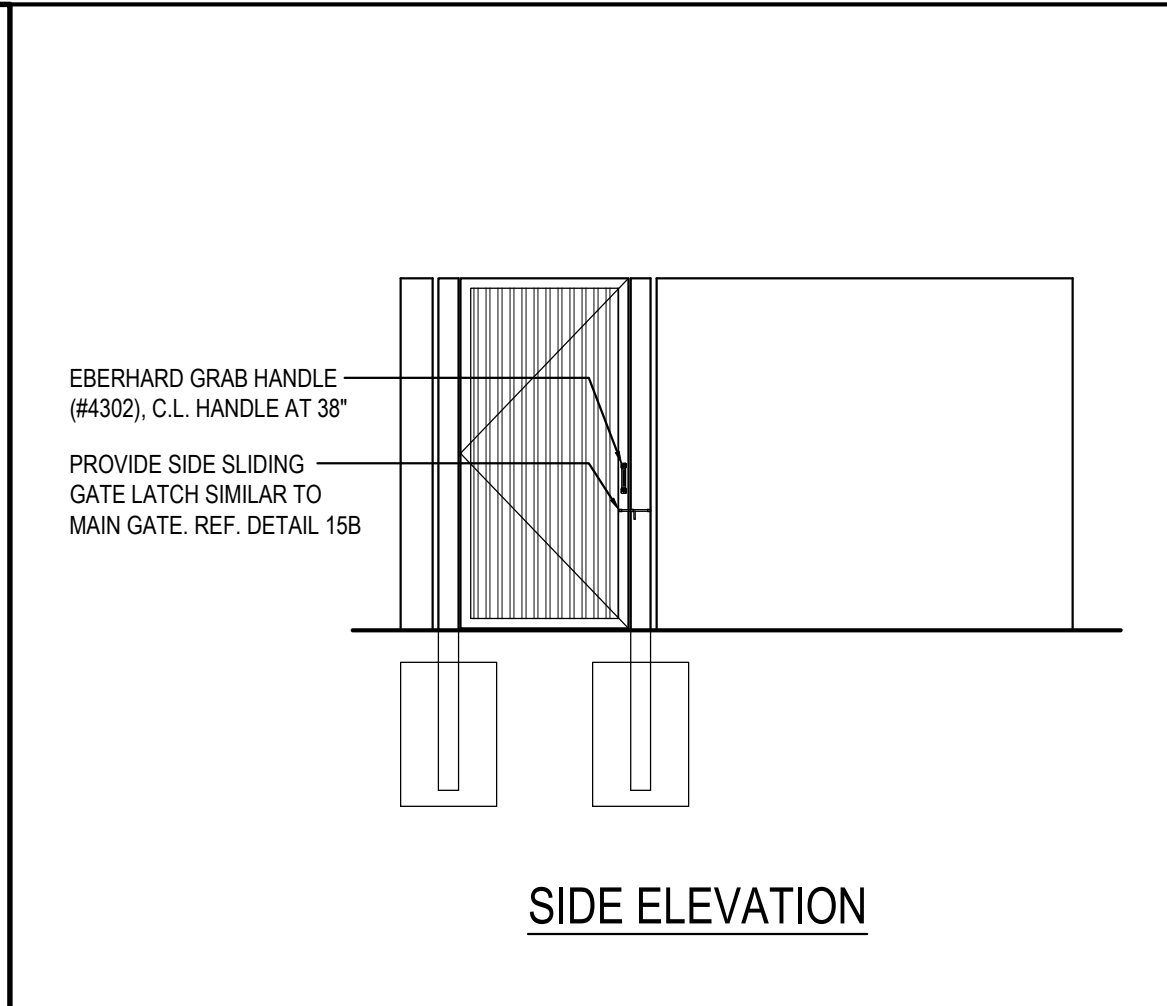
NOT USED

Scale=



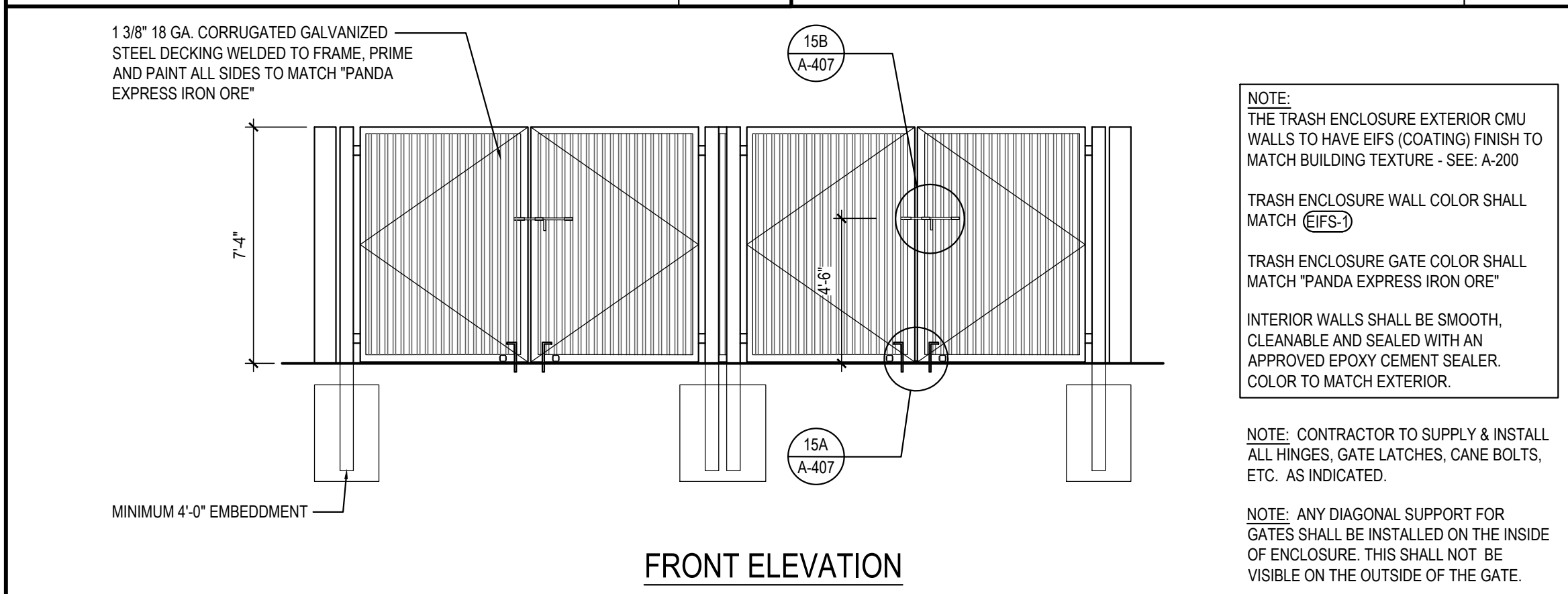
TRASH ENCLOSURE WALL SECTION

Scale= 1/2" = 1'-0"



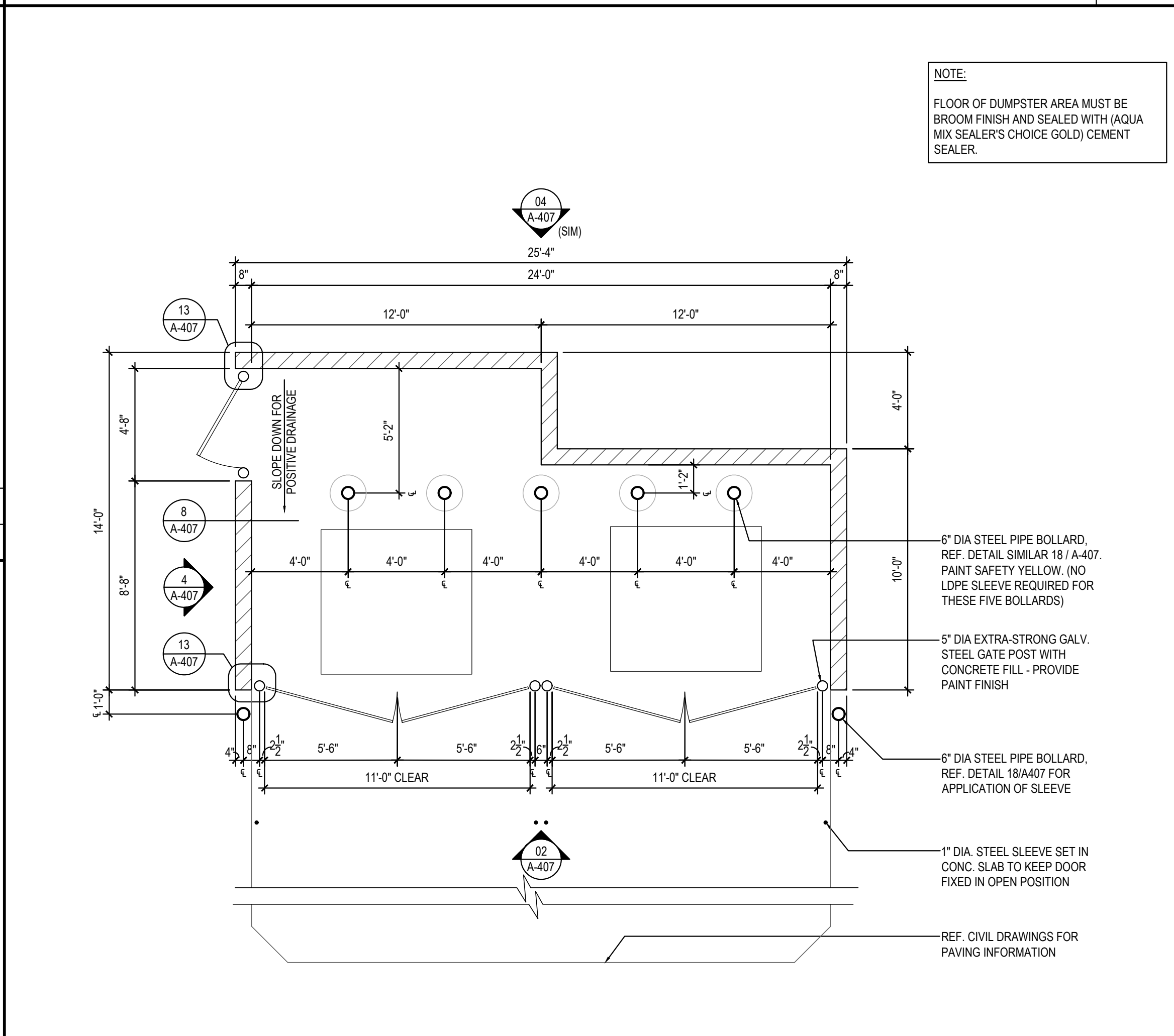
SIDE ELEVATION

Scale= 1/4" = 1'-0"



FRONT ELEVATION

Scale= 1/4" = 1'-0"



TRASH ENCLOSURE

Scale= 1/4" = 1'-0"



PANDA EXPRESS, INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

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| DRAWN BY:        | -           |
| PANDA PROJECT #: | S8-22-D7142 |
| PANDA STORE #:   | -           |
| ARCH PROJECT #:  | 21044.004   |

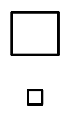
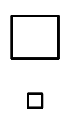
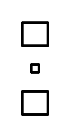
**Khckloverarchitect**  
8813 Penrose Lane, Suite 400,  
Lenexa, KS 66219  
ph: 913.649.8181 • fx: 913.649.1275

**PANDA EXPRESS**  
TRUE WARM & WELCOME  
351 E ROOSEVELT ROAD  
LOMBARD, IL 60148

**A-407**  
TRASH ENCLOSURE  
DETAILS

TRUE WARM & WELCOME 2300 R5



| Schedule  |       |          |                                 |                                       |                                     |                 |                  |                   |         |            |
|---|-------|----------|---------------------------------|---------------------------------------|-------------------------------------|-----------------|------------------|-------------------|---------|------------|
| Symbol  | Label | Quantity | Catalog Number                  | Description                           | Filename                            | Lumens Per Lamp | Lumen Multiplier | Light Loss Factor | Wattage | Efficiency |
|  | A     | 6        | SLM-LED-1 8L-SIL-FT-40-70CRI-IL | CONTACT RYAN ZINSELMEIER-314-531-2600 | SLM-LED-1 8L-SIL-FT-40-70CRI-IL.ies | 12046           | 1                | 1                 | 148.5   | 100%       |
|  | B     | 1        | SLM-LED-1 8L-SIL-3-40-70CRI-IL  | CONTACT RYAN ZINSELMEIER-314-531-2600 | SLM-LED-1 8L-SIL-3-40-70CRI-IL.ies  | 13767           | 1                | 1                 | 148.5   | 100%       |
|  | D     | 1        | SLM-LED-1 8L-SIL-FT-40-70CRI-IL | CONTACT RYAN ZINSELMEIER-314-531-2600 | SLM-LED-1 8L-SIL-FT-40-70CRI-IL.ies | 12046           | 1                | 1                 | 297     | 100%       |

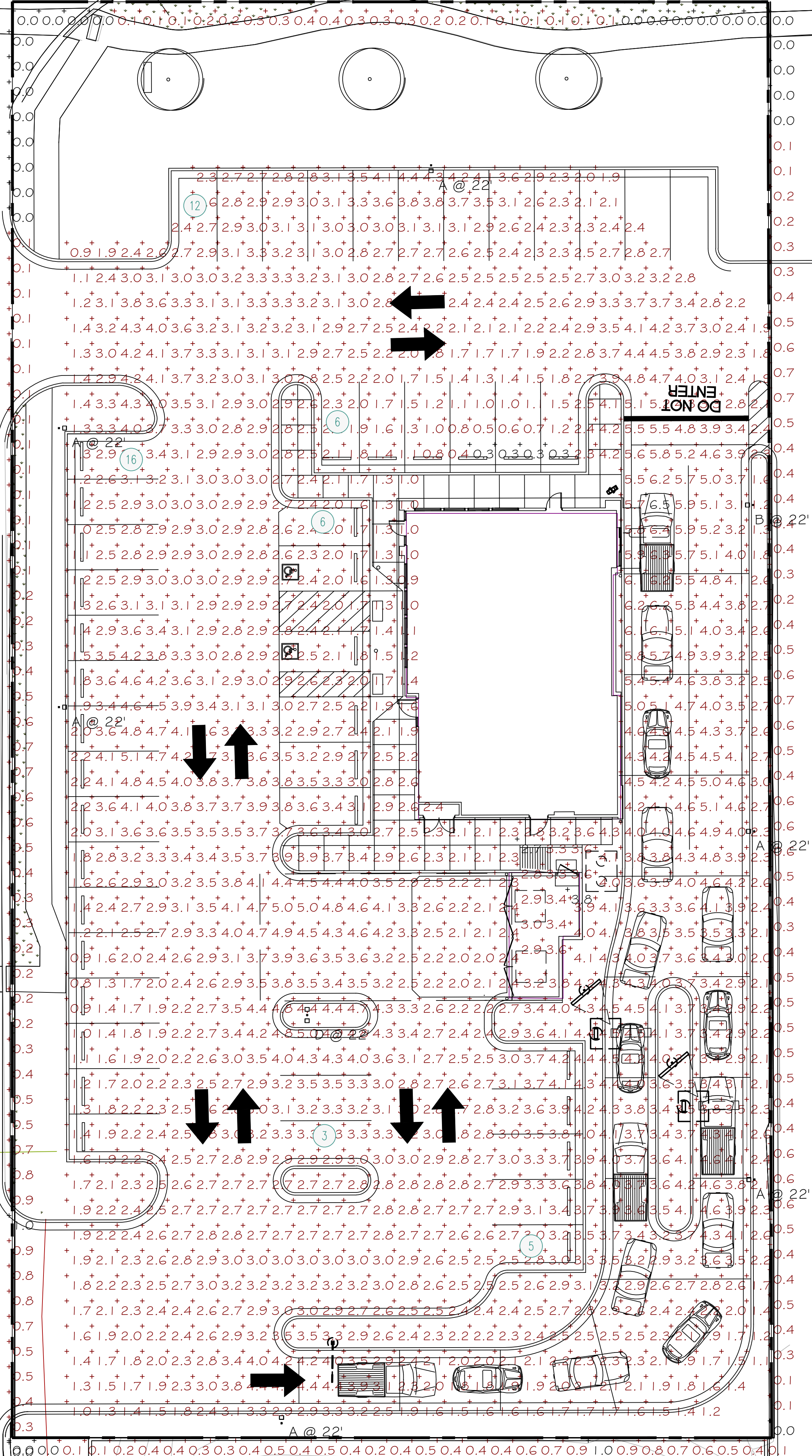
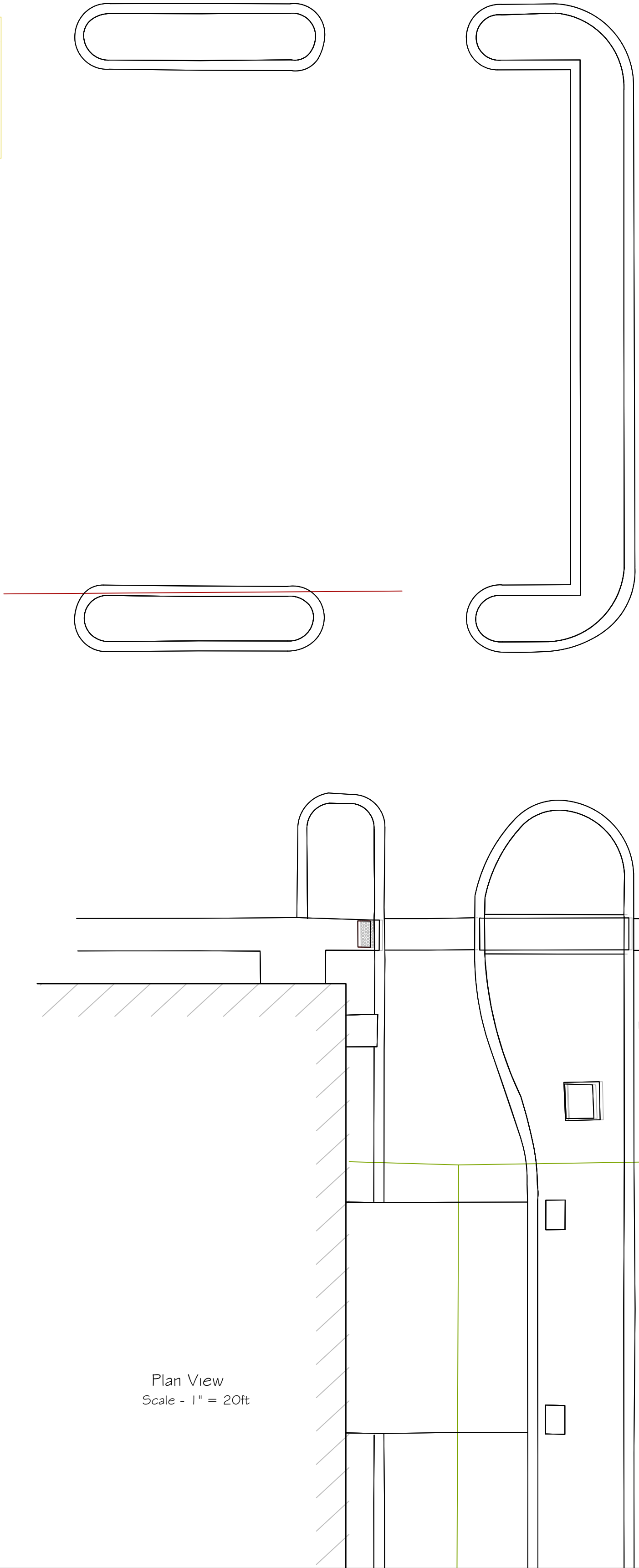
| Statistics                  |        |        |        |        |         |         |
|-----------------------------|--------|--------|--------|--------|---------|---------|
| Description                 | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
| CALC SUMMARY- PROPERTY      | +      | 0.3 fc | 1.0 fc | 0.0 fc | N/A     | N/A     |
| TRASH ENCLOSURE             | +      | 3.3 fc | 3.8 fc | 2.7 fc | 1.4:1   | 1.2:1   |
| CALC SUMMARY- PAVED SURFACE | +      | 3.0 fc | 6.5 fc | 0.3 fc | 21.7:1  | 10.0:1  |

Note

1. MOUNTING HEIGHT OF 22' (20'POLE)

2. CALCULATIONS TAKEN AT GROUND LEVEL

3.CONTACT VILLA LIGHTING- RYAN ZINSELMEIER- RYAN.ZINSELMEIER@VILLALIGHTING.COM- 314-531-2600



Designer  
R. ZINSELMEIER  
Date  
9/22/2021  
Scale  
NOTED  
Drawing No.  
Summary





Proposed Sign Package  
Lombard, IL  
351 E Roosevelt Rd.

05.21.2021

Revisions:  
08.02.21 | S3 - Centered sign horizontally  
08.20.21 | Added new site plan & elevations  
09.13.21 | Added new site plan

C69815



## Code Summary

| SIGN | LOCATION                | TYPE                     | HEIGHT | WIDTH      | ALLOWED | PROPOSED | BALANCE |
|------|-------------------------|--------------------------|--------|------------|---------|----------|---------|
| S1   | SHORT<br>STOREFRONT     | STACKED RED<br>LETTERSET | 2'-6"  | 13'-5 1/2" | 100     | 53.19    | 46.81   |
| S2   | LONG<br>STOREFRONT      | LOCKUP<br>LOGO           | 5'-0"  | 5'-0"      | 46.81   | 25       | 21.81   |
| S3   | DRIVE THRU<br>ELEVATION | LOCKUP<br>LOGO           | 4'-6"  | 4'-6"      | 21.81   | 20.25    | 1.56    |
| S8   | STREET                  | PYLON                    | 20'-0" | 6'-6 3/8"  | 50      | 50       | 0       |

### Code Allowance

1sf per ft of st  
frontage; NTE  
100 sf total = 100  
sf total for wall  
signs

### Elevation

### Allowed

Long Storefront

100 sf total

Short Storefront

100 sf total

### Elevation

### Allowed

Drive Thru

100 sf total

Rear

XX

#### Revisions:

Revised S8 sf - KB - 6.14.21

X

X

X

X

X

X

File Location:  
Drive/Clients/

STND  
CSTM



Date: 05/21/2021

Designer: KB

PM: SN

City/State: Lombard IL

Address: 351 E Roosevelt Rd.

Drawing #

**C69815-1**

OE #

**140760**



## Site Plan

# PANDA

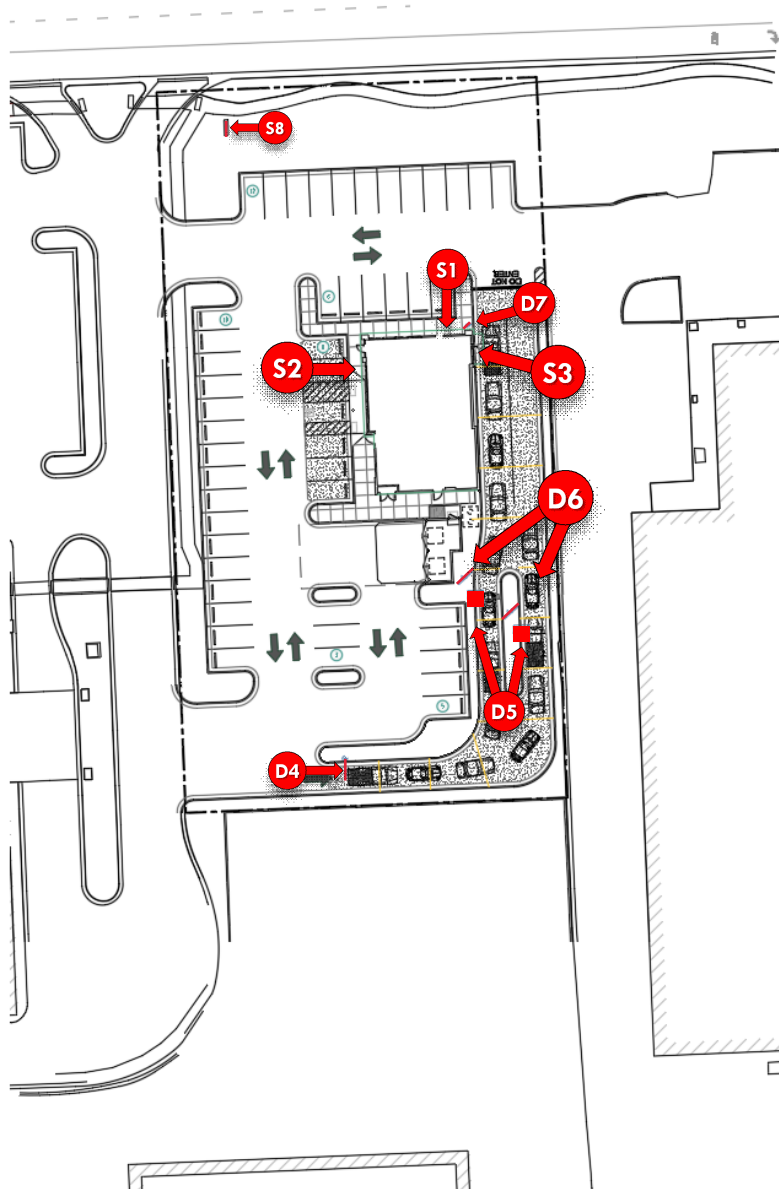
EXPRESS



**S1** 2'-6" stacked red letterset

**S2** 5' Lock Up Logo

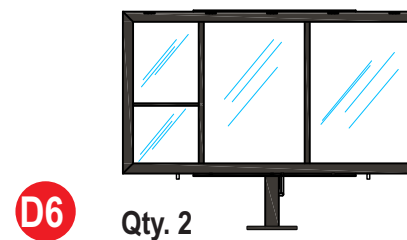
**S3** 4'-6" Lock Up Logo



**D4**

**D5**

Qty. 2



**D6**

Qty. 2



**D7**

3'-6"



**S8**

Pylon with 6'-6 3/8 cabinet

### Revisions:

|                              |   |
|------------------------------|---|
| New site plan - KB - 6.14.21 | X |
| New site plan - KB - 8.20.21 | X |
| New site plan - KB - 9.13.21 | X |

File Location: Drive/Clients/ STND CSTM

☐ AS ☐ CR ☐ EN

Date: 05/21/2021

Designer: KB PM: SN

City/State: Lombard IL

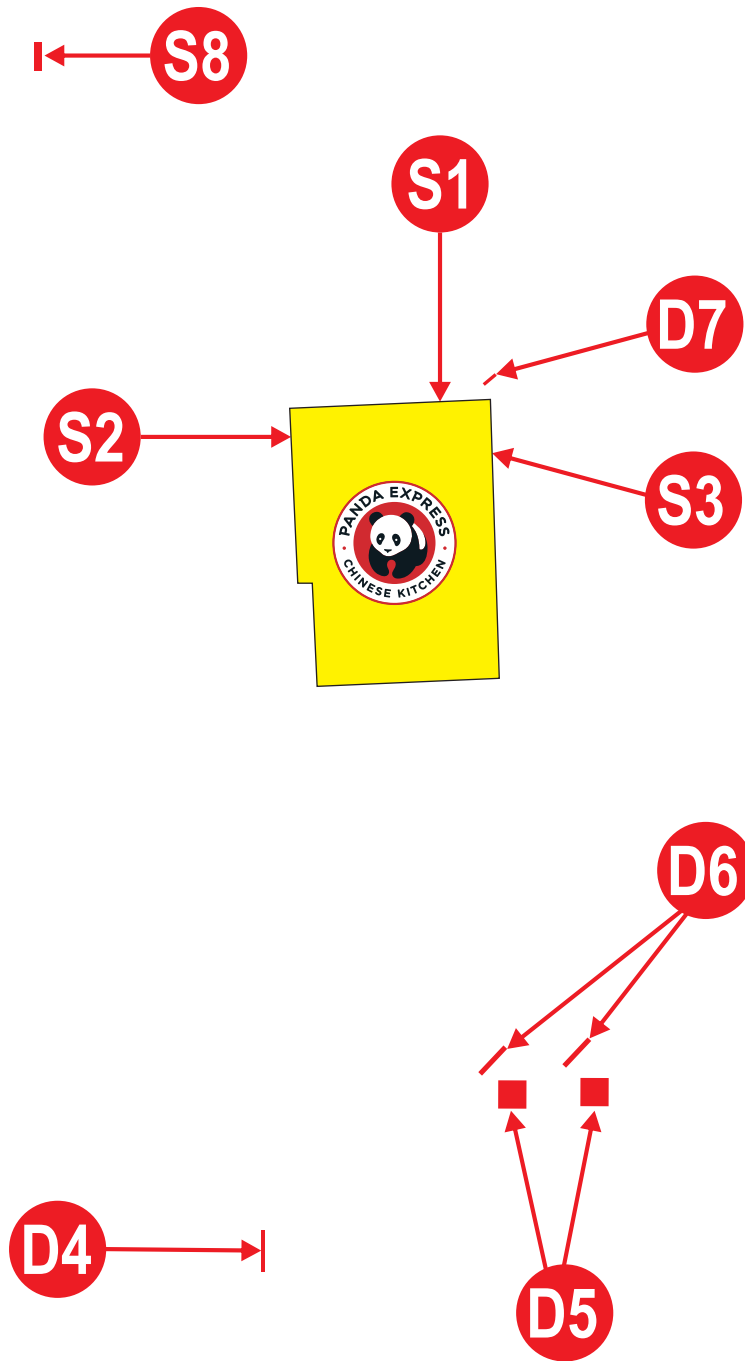
Address: 351 E Roosevelt Rd.

Drawing # **C69815-3**

OE # **140760**



# Site Plan



## Revisions:

|                              |   |
|------------------------------|---|
| New site plan - KB - 6.14.21 | X |
| New site plan - KB - 8.20.21 | X |
| New site plan - KB - 9.13.21 | X |

File Location: STND \_\_\_  
Drive/Clients/ CSTM \_\_\_

☐ AS ☐ CR ☐ EN

Date: 05/21/2021

Designer: KB PM: SN

City/State: Lombard IL

Address: 351 E Roosevelt Rd.

Drawing #

OE #

**C69815-3**

**140760**



# Elevations

Scale | 3/32" = 1'



Scale | 1/4" = 1'

| SIGN | LOCATION         | TYPE                  | HEIGHT | WIDTH      | ALLOWED | PROPOSED | BALANCE |
|------|------------------|-----------------------|--------|------------|---------|----------|---------|
| S1   | SHORT STOREFRONT | STACKED RED LETTERSET | 2'-6"  | 13'-5 1/2" | 100     | 53.19    | 46.81   |

## Revisions:

New elevation - KB - 8.20.21

X

X

X

X

X

X

File Location:  
Drive/Clients/

STND X  
CSTM   



AS



CR



EN

Date: 05/21/2021

Designer: KB

PM: SN

City/State: Lombard IL

Address: 351 E Roosevelt Rd.

Drawing #

**C69815-1**

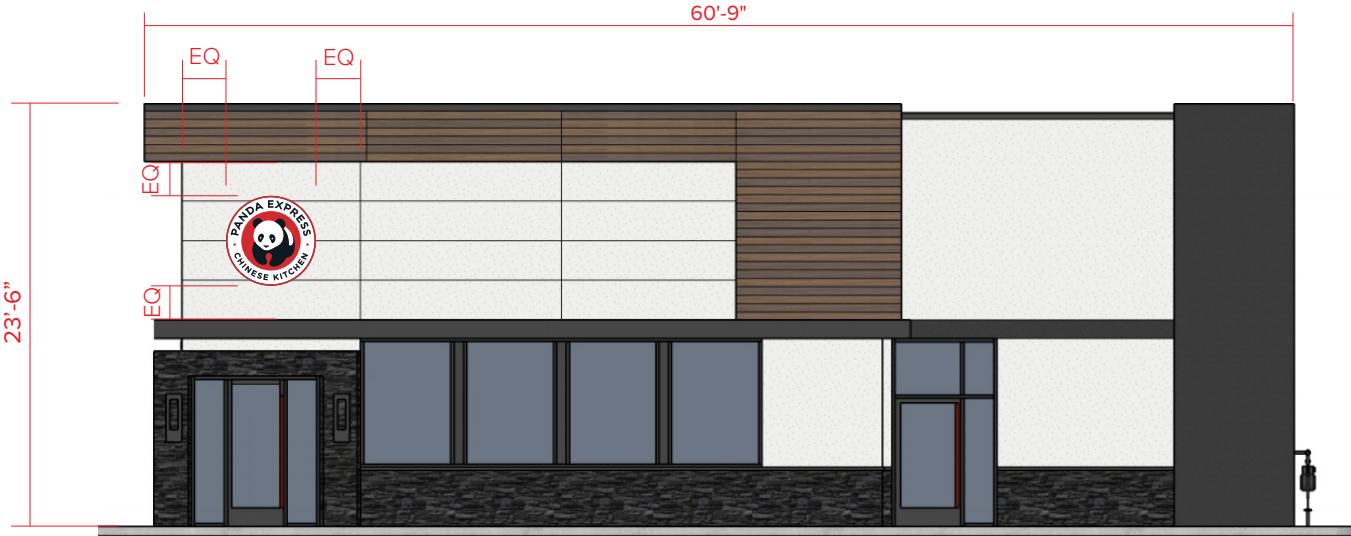
OE #

**140760**



# Elevations

Scale | 3/32" = 1'



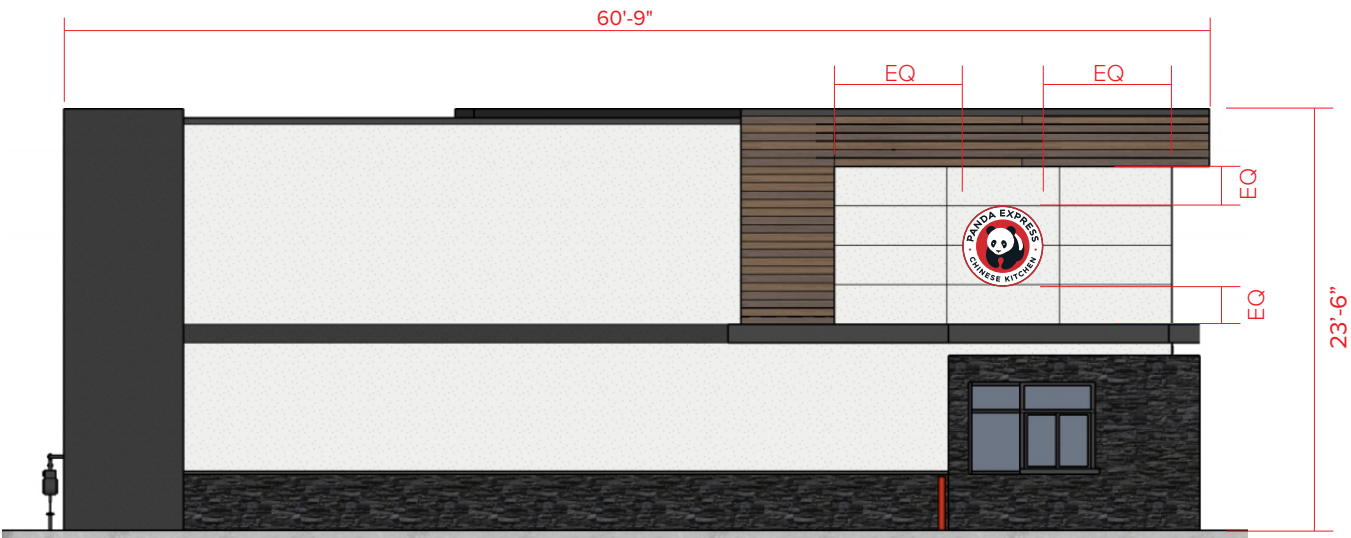
Scale | 1/4" = 1'

| SIGN | LOCATION           | TYPE           | HEIGHT | WIDTH | ALLOWED | PROPOSED | BALANCE |
|------|--------------------|----------------|--------|-------|---------|----------|---------|
| S2   | LONG<br>STOREFRONT | LOCKUP<br>LOGO | 5'-0"  | 5'-0" | 46.81   | 25       | 21.81   |



# Elevations




Scale | 3/32" = 1'



Scale | 1/4" = 1'

| SIGN | LOCATION             | TYPE        | HEIGHT | WIDTH | ALLOWED | PROPOSED | BALANCE |
|------|----------------------|-------------|--------|-------|---------|----------|---------|
| S3   | DRIVE THRU ELEVATION | LOCKUP LOGO | 4'-6"  | 4'-6" | 21.81   | 20.25    | 1.56    |

|  |   |
|--|---|
| <b>Revisions:</b>                        |   |
| Centered in sign band area - JD - 8.2.21 | X |
| New elevation - KB - 8.20.21             | X |
| X  | X |

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| File Location:   | STND <u>X</u>  |
| Drive/Clients/   | CSTM <u>  </u>   |
|  AS  |  CR |
|  EN |  |

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| Date: 05/21/2021 | City/State: Lombard IL       |
| Designer: KB     | Address: 351 E Roosevelt Rd. |
| PM: SN           |                              |

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| Drawing # | C69815-2 |
| OE #      | 140760   |

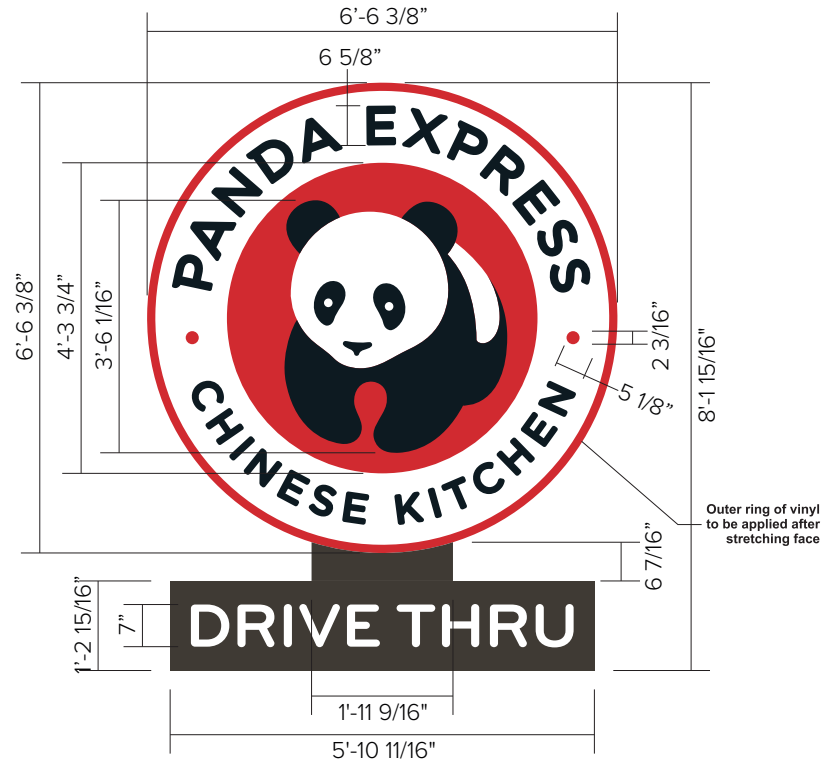


S8

**Illuminated Pylon Sign - Qty: 1**

Install new internally illuminated double-faced pylon sign. Refer to site plan for exact location.  
Custom cabinet size NTE 50 sf.

←  
to street

**COLOR SPECIFICATIONS****MAIN CABINET**

.080" Aluminum fabricated cabinet  
Color: to match Pantone Black 7C

Cladding painted to match  
Pantone Black 7C

**MAIN CABINET FACE**

White Panagraphics III  
flexible face material

3M Scotchcal #3630-33 Red  
Note: red vinyl ring on perimeter must  
be applied after face is stretched

3M #3630-22 Black

**"DRIVE THRU" CABINET**

.080" break-formed aluminum cabinet  
Routed and backed

**"DRIVE THRU" COPY**

Bayer Makrolon .177" #7328  
White LD Polycarbonate

**POLE COVER**

.080" Aluminum painted to  
match Pantone Black 7C

**Revisions:**

Custom size NTE 50 sf - KB - 6.14.21

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| X |  |
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☐ AS ☒ CR ☒ EN

Date: 05/21/2021

Designer: KB PM: SN

City/State: Lombard IL

Address: 351 E Roosevelt Rd.

Drawing #

OE #

**C69815-1**

**140760**