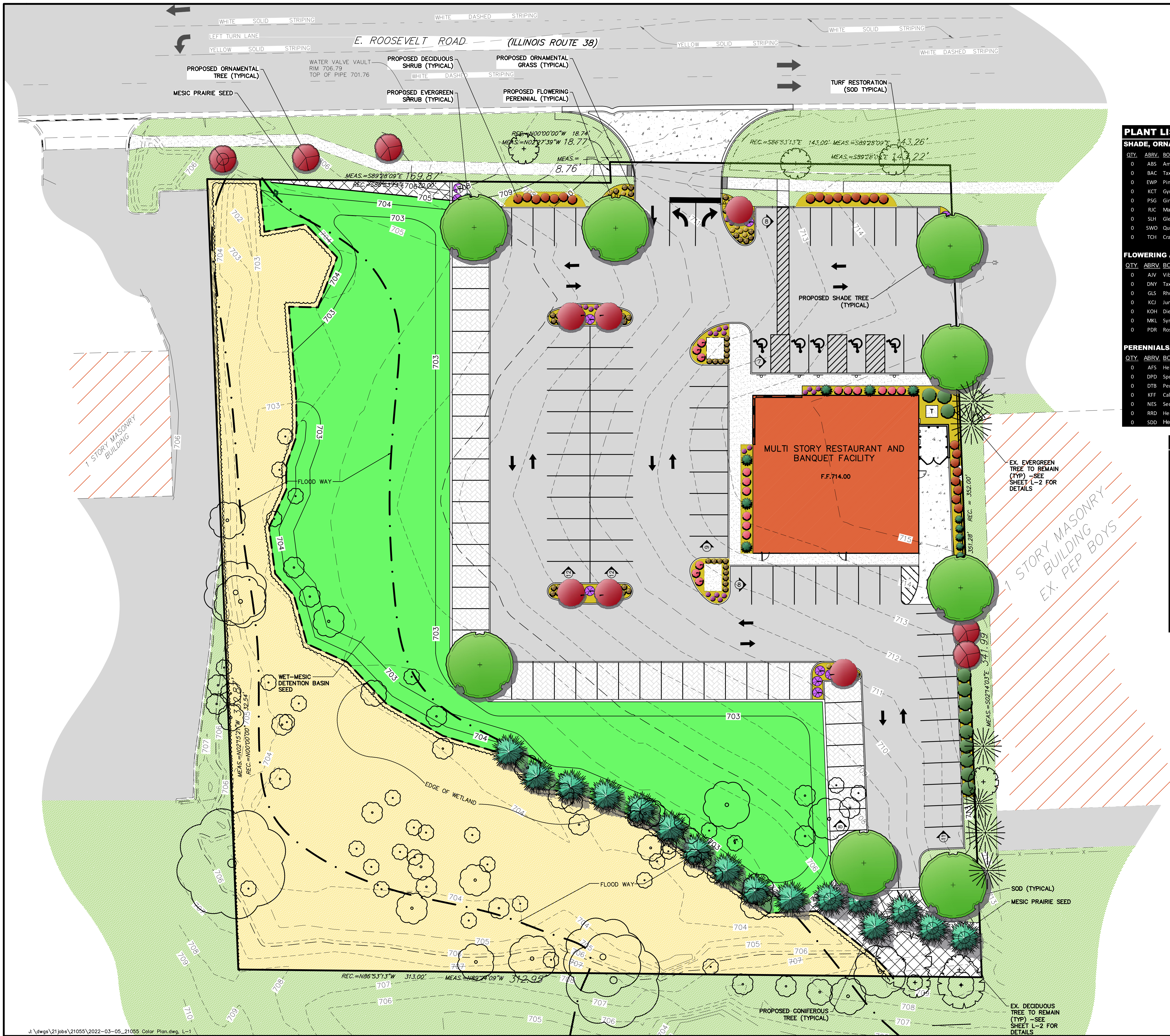


GITY	ABRV	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
0	AFS	<i>Heliopsis helianthoides</i> 'Tuscan Sun'	Tuscan Sun False Sunflower	1 Gal.	12"
0	DPD	<i>Sporobolus heterolepis</i> 'Tara'	Dwarf Prairie Droopseed	1 Gal.	12"
0	DTD	<i>Penstemon digitalis</i> 'Dark Towers'	Dark Towers Beardtongue	1 Gal.	12"
0	KFF	<i>Calamagrostis x acutiflora</i> Karl Foerster'	Karl Foerster Feather Reed Grass	3 Gal.	12"
0	NES	<i>Sedum spectabile</i> 'Neon'	Neon Sedum	1 Gal.	12"
0	RSD	<i>Hemerocallis</i> 'Rosy Returns'	Rosy Returns Daylily	1 Gal.	12"
0	SRD	<i>Hemerocallis</i> 'Stella de Oro'	Stella de Oro Daylily	1 Gal.	12"

TABLE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	PRESERVATION STATUS
1	Malus species	Flowering Crabapple	6'	Fair	Remove
2	Malus species	Flowering Crabapple	6'	Fair	Save in Place
3	Malus species	Flowering Crabapple	6'	Fair	Save in Place
4	Picea pungens glauca	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
5	Picea pungens glauca	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
6	Picea pungens glauca	Colorado Blue Spruce	10'	Poor	Save in Place (off site)
7	Acacia negundo	Bowditch	8'	Poor	Save in Place (off site)
8	Picea pungens glauca	Colorado Blue Spruce	6'	Poor	Save in Place (off site)
9	Picea pungens glauca	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
10	Picea pungens glauca	Colorado Blue Spruce	10'	Poor	Save in Place (off site)
11	Ulmus pumila	Siberian Elm	6'	Fair-Poor	Remove
12	Acacia negundo	Bowditch	8'	Poor	Remove
13	Juglans nigra	Black Walnut	5'	Fair-Poor	Save in Place
14	Ulmus americana	Siberian Elm	6'	Poor	Save in Place
15	Ulmus americana	Siberian Elm	6'	Dead	Save in Place (off site)
16	Juglans nigra	Black Walnut	12'	Fair	Save in Place

PRELIMINARY LANDSCAPE PLAN

L-1



NATIVE SEED LEGEND

- WET-MESIC DETENTION BASIN MIX
GENESIS LO PRO MESIC PRAIRIE W/FLOWERS
- MESIC PRAIRIE MIX
GENESIS LO PRO MESIC PRAIRIE MIX
W/FLOWERS

PLANT LIST (note: all plants to be selected from this list)

SHADE, ORNAMENTAL AND CONIFEROUS TREES					MIN. INSTALL
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
0	ABS	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' Ht.	6'
0	BAC	Taxodium distichum	Bald Cypress	6' Ht.	6'
0	EWP	Pinus strobus	Eastern White Pine	6' Ht.	6'
0	KCT	Gymnocladus dioica (Male Only)	Kentucky Coffee Tree	2 1/2" Cal.	12'
0	PSG	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2 1/2" Cal.	12'
0	RIC	Malus 'Red Jewel'	Red Jewel Crabapple	2 1/2" Cal.	6'
0	SLH	Gleditsia triacanthos var. 'Inermis' 'Skyline'	Skyline Honeylocust	2 1/2" Cal.	12'
0	SWO	Quercus bicolor	Swamp White Oak	2 1/2" Cal.	12'
0	TCH	Crataegus crus galli var. 'Inermis'	Thornless Cockspur Hawthorn	6' Ht.	6'

FLOWERING AND EVERGREEN SHRUBS

QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
0	AJV	Viburnum dentatum 'Ralph Senior'	Autumn Jazz Viburnum	5 Gal.	36"
0	DNY	Taxus x media 'Densiformis'	Densiformis Yew	5 Gal.	18"
0	GLS	Rhus aromatica 'Grow-Low'	Grow-Low Sumac	5 Gal.	18"
0	KCJ	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay's Compact Juniper	5 Gal.	18"
0	KOH	Diervilla 'G2X88544'	Kodiak Orange Honeysuckle	3 Gal.	36"
0	MKL	Syringa patula 'Miss Kim'	Miss Kim Lilac	5 Gal.	18"
0	PDR	Rosa 'Radtkepink'	Pink Double Knock Out Rose	3 Gal.	18"

PERENNIALS, ORNAMENTAL GRASS AND GROUNDCOVERS

QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
0	AFS	Helianthus scaberrimus 'Tuscan Sun'	Tuscan Sun False Sunflower	1 Gal.	12"
0	DPD	Sporobolus heterolepis 'Tara'	Dwarf Prairie Dropseed	1 Gal.	12"
0	DTB	Penstemon digitalis 'Dark Towers'	Dark Towers Beardtongue	1 Gal.	12"
0	KFF	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 Gal.	12"
0	NES	Sedum spectabile 'Neon'	Neon Sedum	1 Gal.	12"
0	RRD	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	1 Gal.	12"
0	SDD	Hemerocallis 'Stella de' Oro	Stella de Oro Daylily	1 Gal.	12"

EXISTING TREE LIST

Survey Completed 11/24/2021

TREE #	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	PRESERVATION STATUS
1	Malus species	Flowering Crabapple	6"	Fair	Save in Place
2	Malus species	Flowering Crabapple	6"	Fair	Remove
3	Malus species	Flowering Crabapple	6"	Fair	Save in Place
4	Malus species	Flowering Crabapple	6"	Fair	Save in Place
5	Picea pungens glauca	Colorado Blue Spruce	12"	Poor	Save in Place (off site)
6	Picea pungens glauca	Colorado Blue Spruce	12"	Poor	Save in Place (off site)
7	Picea pungens glauca	Colorado Blue Spruce	10"	Poor	Save in Place (off site)
8	Acer negundo	Boxelder	8"	Poor	Save in Place (off site)
9	Picea pungens glauca	Colorado Blue Spruce	6"	Poor	Save in Place (off site)
10	Picea pungens glauca	Colorado Blue Spruce	12"	Poor	Save in Place (off site)
11	Picea pungens glauca	Colorado Blue Spruce	10"	Poor	Save in Place (off site)
12	Ulmus pumila	Siberian Elm	6"	Fair-Poor	Remove
13	Acer negundo	Boxelder	8"	Poor	Remove
14	Juglans nigra	Black Walnut	5"	Fair-Poor	Save in Place
15	Ulmus siberica	Siberian Elm	10"	Poor	Save in Place (off site)
16	Ulmus siberica	Siberian Elm	6"	Dead	Save in Place (off site)
17	Juglans nigra	Black Walnut	12"	Fair	Save in Place

DATE

REVISIONS

NO

Prepared For:

SAFA PROPERTY, LLC
8060 Lawndale
Skokie, IL

VIP - LOMBARD
849 E. Roosevelt Road
Lombard, Illinois

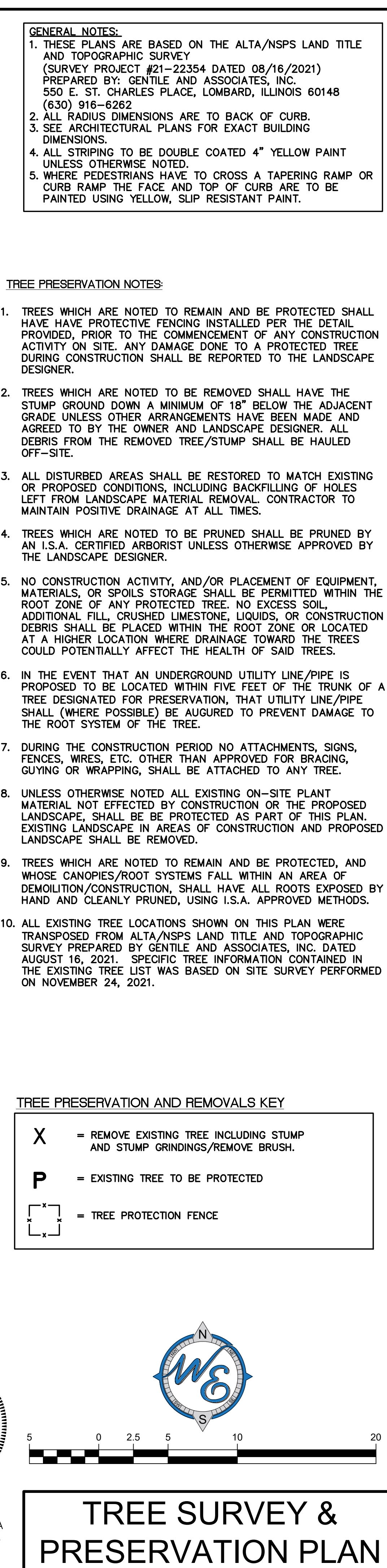
Prepared By:

watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

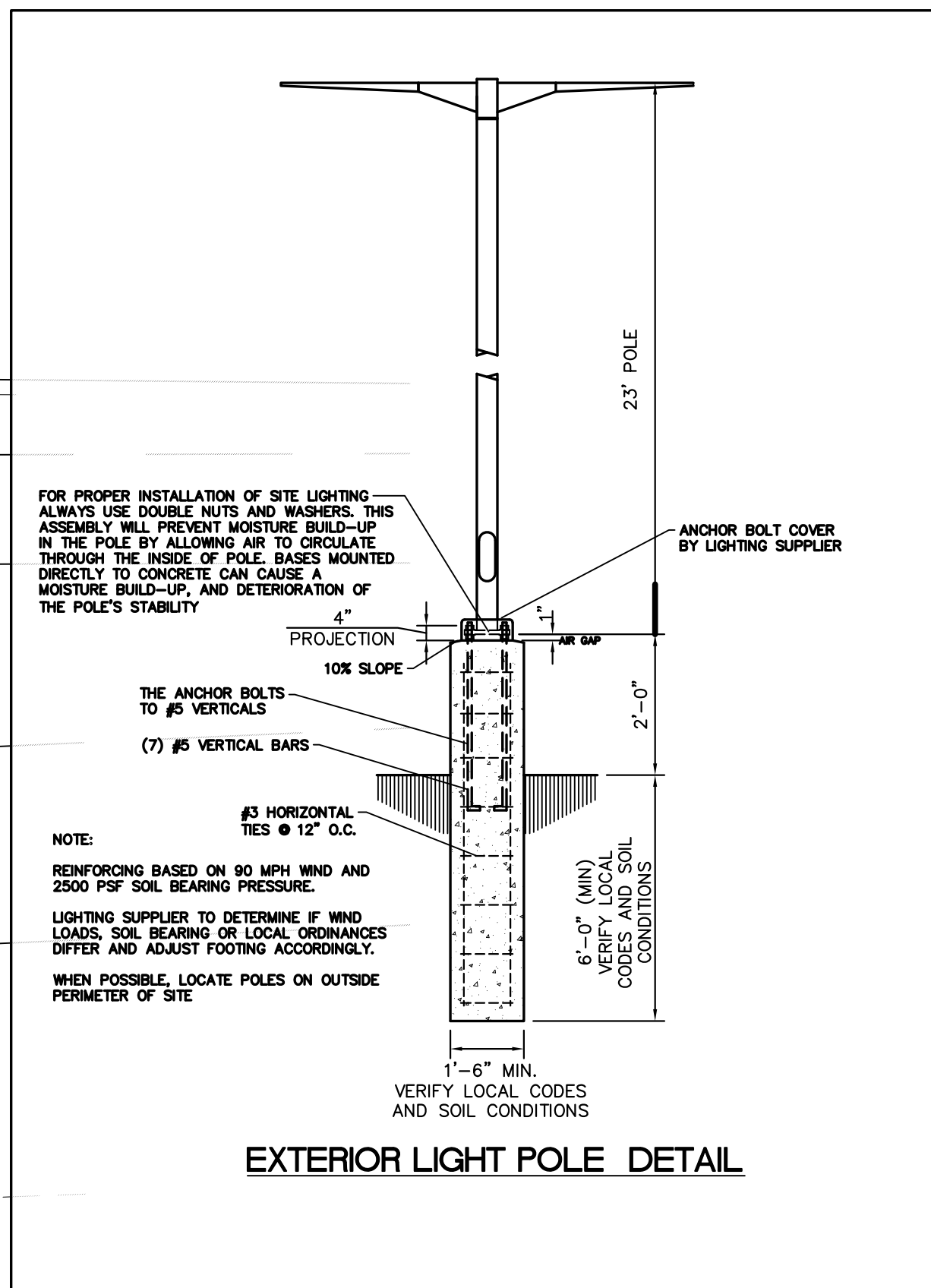
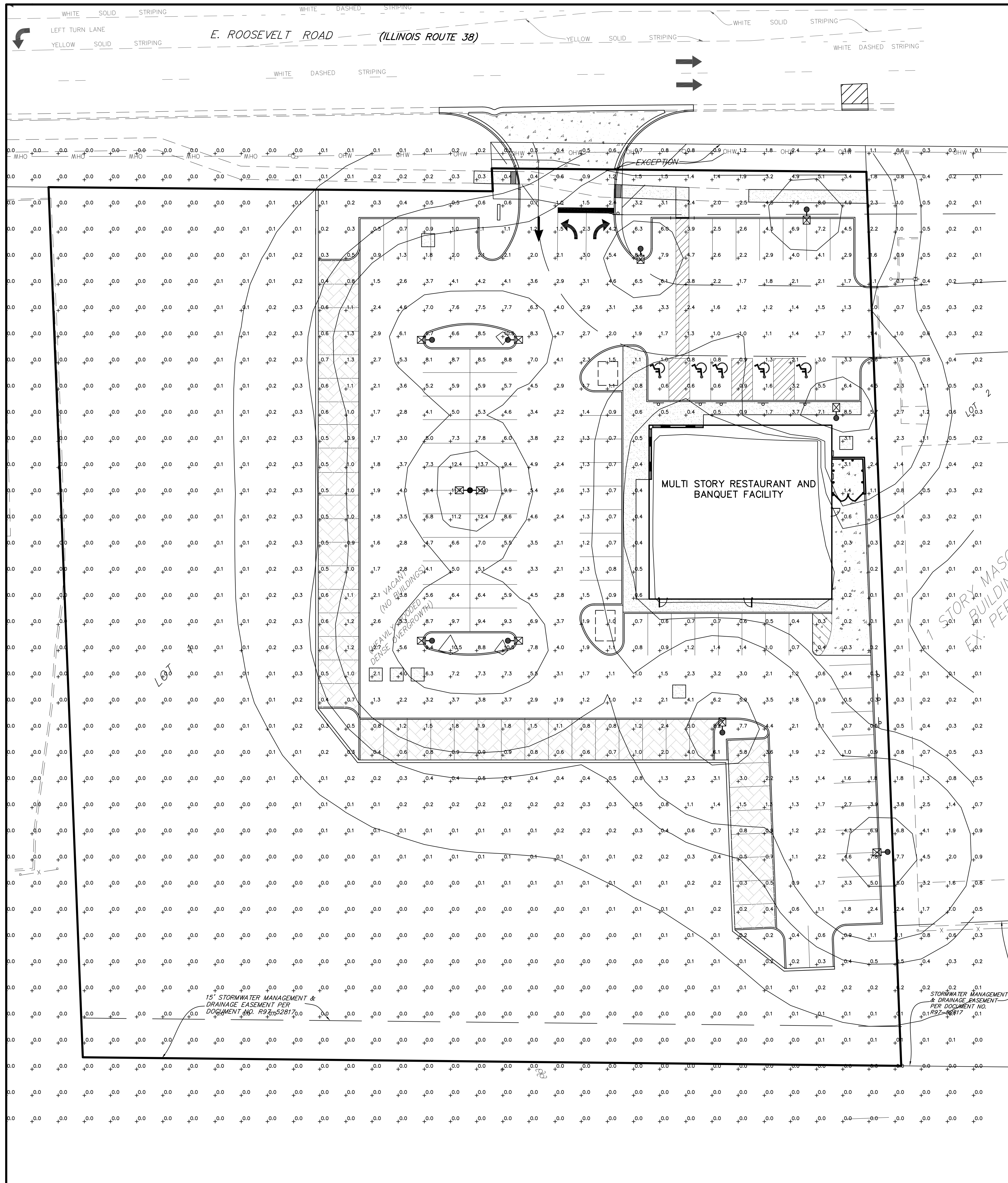
CHECKED BY: J. MILLER
DESIGN BY: K. SACK
DRAWN BY: K. SACK
DATE: MARCH 21, 2022
SCALE: 1" = 20'
PROJECT NO.: 21-055

1 of 1

PRELIMINARY LANDSCAPE PLAN



TREE SURVEY & PRESERVATION PLAN



R2T Series Pole Luminaire

Product Enlightenment

R2T Series Pole Luminaire was developed to ensure higher performance, longer life time and better efficiency. These luminaires can be installed for new construction and replacing existing luminaires. Our lifetime series R2T Series Pole Luminaire are available in different housing colors and lens options. These luminaires are well suited for residential, parking lot and commercial use.

Product Attribute

- Initial Delivered Lumens: 8,500 to 18,000 lumens
- Input Power: 87, 90, 125 and 150 Watts
- CBS: 84
- CCT: 4000K*, 5000K*, 5700K
- Input Voltage: 120-277 VAC
- Power Factor: >0.9
- Controls: 5/100 dimming / Occupancy / Daylight Sensing (optional)
- Patented Design
- Warranty: 5 years limited

Part Number Matrix

Product Family	Watts	Lens	Lens Type	Lens Material	Color	Trim Color	Options	Product Type
R2T	65W	D-Deep	C-Clear	P-Polycarbonate	60-6000K	W-White	N-Non	P-Pole
R2T	90W	D-Deep	F-Frosted	G-Glass	60-6000K	B-Blue	G-Green	P-Pole
R2T	125W	D-Deep	F-Frosted	G-Glass	60-6000K	B-Blue	G-Green	P-Pole

Luminaire Replacement*

Watts	Lumens	Replacement	Mounting
65	8000	150W	12 TO 16'
90	11300	250W	16 TO 24'
125	15500	320W	16 TO 24'
150	18500	400W	16 TO 24'

ANCHOR BOLT COVER BY LIGHTING SUPPLIER

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

WARRANTY - These specifications are for the standard only. Square Straight Aluminum is a general purpose light pole for up to 15 foot mounting heights. This pole provides a lighter and naturally corrosion resistant option for mounting street lighting and road lighting.

CONSTRUCTION - Pole shaft is of uniform wall thickness and is made of extruded 6061-T6 aluminum alloy tubing that is heat treated to 30 temp to provide maximum strength. The shaft is naturally anodized to meet surface finish, color, and texture and is available in standard or custom finish. The shaft is available in 12' and 15' heights.

Base - The base is a cast aluminum top cap for standard pole shafts that will receive drilling patterns for site mount hardware and is available in 12' and 15' heights. The base is available in standard or custom finish. The base is available in 12' and 15' heights.

ANCHOR BOLT COVER - Anchor bolt cover is cast from 304 stainless steel and is supplied with 4 star cover. Anchor bolt cover is available in 12' and 15' heights.

FINISH - Extra flexible powder coat finish is available in 12' and 15' heights. The finish is available in standard or custom finish. The finish is available in 12' and 15' heights.

WARRANTY - 5 year limited warranty, complete warranty terms located at: www.lithonia.com

NOTE - Final performance may differ as a result of end use environment and application. Specifications subject to change without notice.

SSA SQUARE STRAIGHT ALUMINUM

GENERAL NOTES:

- THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/16/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 916-6262
- ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
- WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

QUANTITIES

FIXTURE TYPE:

FIXTURE TYPE	SYMBOL	QUANTITY
RT2125 (FIXTURE COLOR, LENS TYPE, ETC TO BE SELECTED BY OWNER)		11

POLE TYPE:

POLE TYPE	SYMBOL	QUANTITY
SSA 23 5G (POLE COLOR, MOUNTING, ETC TO BE SELECTED BY OWNER. FIXTURE SUPPLIER TO DETERMINE IF POLE IS COMPATIBLE WITH FIXTURE)		10

PHOTOMETRIC SUMMARY

VEHICULAR USE AREA:

VEHICULAR USE AREA	VALUE
AVERAGE	3.0
MAXIMUM	13.7
MINIMUM	0.2
AVG/MIN	15.0:1

NOTES:

- THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE CRITERIA SHOWN IN THE "QUANTITIES" NOTE, LOCATED ON THIS SHEET. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF WATERMARK ENGINEERING RESOURCES, LTD.
- MOUNTING HEIGHT OF FIXTURES = 25'. MOUNTING HEIGHT INCLUDES A 2' HIGH CONCRETE BASE, TO BE PROVIDED BY THE CONTRACTOR AS PART OF THIS PLAN, AND A 23' HIGH POLE.
- DISTANCE BETWEEN READINGS 10'
- FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS 1.00
- FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.
- HOUSE SIDE SHIELDS ARE NOT ALWAYS ABLE TO BE MODELED DUE TO THE UNAVAILABLE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.
- CONTRACTOR TO VERIFY PROPER ORDERING INFORMATION INCLUDING BUT NOT LIMITED TO, VOLTAGE AND MOUNTING, PRIOR TO ORDERING OR INSTALLING SPECIFIED LUMINAIRES AND/OR POLES. ALL LIGHT FIXTURES TO BE FULL CUT OFF.
- LOCATE WALL PACKS AS NOTED, CONTRACTOR SHALL FIELD ADJUST MOUNTINGS ON BUILDING TO DETERMINE A UNIFORM HEIGHT AND SPACING. WALL PACKS SHALL BE PLACED IN A SYMMETRICAL PATTERN TO MATCH BUILDING ARCHITECTURE AND FINAL LOCATION SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATIONS.
- ALL LIGHTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND ELECTRICAL CODES.
- CONTRACTOR IS RESPONSIBLE TO VERIFY AND CONFIRM MATERIALS AND LABOR FOR ALL ELECTRICAL SOURCES, CONDUIT, SLEEVES, CONCRETE FOUNDATIONS, POLES, LUMINAIRES, AND ALL NECESSARY PARTS FOR PROPER LIGHTING INSTALLATIONS. ALL PROPOSED LIGHTING WORK SHALL NOT INTERFERE OR INTERRUPT EMERGENCY INGRESS AND EGRESS LIGHTING FIXTURES OR SECURITY SYSTEMS.
- PROPOSED LIGHTING SHALL INCLUDE PHOTOCELL ON/OFF SWITCHING. CONTRACTOR TO VERIFY IF ANY LIGHTS NEED MANUAL OR WIRELESS ON/OFF SWITCHES WITH OWNER'S REPRESENTATIVE.
- THIS PLAN IS FOR LIGHTING PERFORMANCE. ALL MEANS, METHODS, AND ASSOCIATED EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE AND AT THEIR DISCRETION. ALL INSTALLATIONS SHALL BE COMPLETE AND FINISHED. ANY GAPS OR EXPOSED MOUNTINGS WILL BE REJECTED.
- ALL PROPOSED CONDUIT AND WIRE SERVICES SHALL BE CONCEALED AND HIDDEN SO AS NOT TO BE SEEN OR VISUALLY NOTICEABLE. FINAL LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL PAINTING NEEDS SHALL BE DONE BY A PROFESSIONAL. COLORS AND TYPES OF PAINT SHALL MATCH ACCORDINGLY TO ADJACENT COLORS AND MATERIALS. VERIFY AND COORDINATE WITH OWNER'S REPRESENTATIVE. ALL WORK.
- ALL RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT NO CHARGE OR EXPENSE TO THE OWNER.
- WHETHER NOTED ON THE PLANS OR NOT ALL ASSOCIATED WORK WITH THE PHOTOMETRIC PLAN INSTALLATION AND CONSTRUCTION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL AS NEEDED.
- CONTRACTOR SHALL FIELD ADJUST BASED ON ELECTRICAL SUPPLY AND PROVIDE WIRING AS NEEDED FOR PROPER INSTALLATION, IF NEEDED, CONTRACTOR SHALL CONSULT AN ELECTRICAL ENGINEER.
- CONTRACTOR RESPONSIBLE FOR ALL LUMINAIRE INSTALLATIONS, REPLACEMENTS, CONSTRUCTION REMOVALS AND DISPOSALS.
- CONTRACTOR SHALL FIELD ADJUST AS APPROVED BY OWNER. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL RESTORATION OR FABRICATIONS NEEDS. SHOP DRAWINGS OR MACH UP MAY BE NECESSARY FOR APPROVALS PRIOR TO INSTALLATIONS. VERIFY AS NEEDED.
- ANY FABRICATIONS SHALL BE DONE WITH NON-CORROSIVE EXTERIOR GRADE MATERIALS AND FINISHES TO PROTECT BUILDING FROM ANY STAINING.

PHOTOMETRIC PLAN

1 of 1

WATERMARK ENGINEERING RESOURCES

SAFA PROPERTY, LLC
8060 Lawndale
Skokie, IL

VIP - LOMBARD
855 E. Roosevelt Road
Lombard, Illinois

WATERMARK ENGINEERING RESOURCES
12631 Ginger Woods Plwy | Aurora, IL 60502 | (630) 375-1800

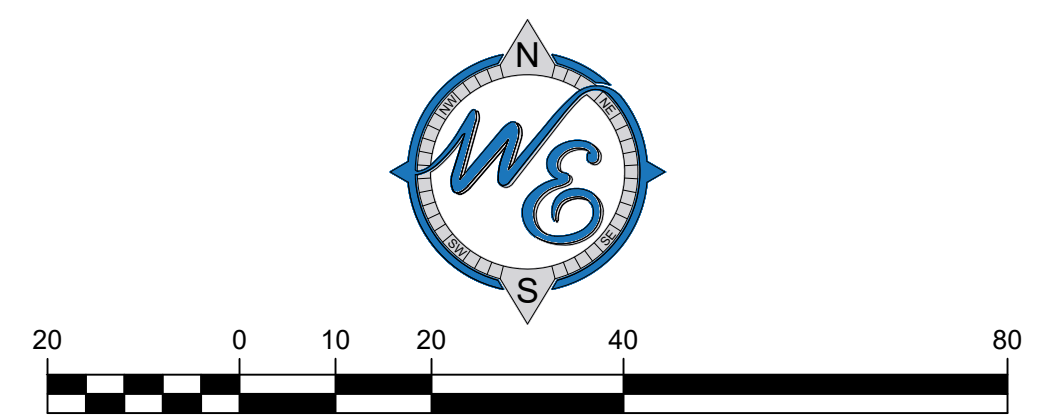
watermark-engineering.com

PROJECT NO.: 21-055

SCALE: 1" = 20'

CHECKED BY: J. MILLER
DESIGN BY: K. SACK
DRAWN BY: K. SACK
DATE: JANUARY 14, 2022
SCALE: 1" = 20'

PHOTOMETRIC PLAN



1 of 1

DIMENSION LEGEND

F = FACE	FNC = FENCE
FND = FOUNDATION	R = RADIUS
B = BACK	C = CENTER
E = EDGE	PL = PROPERTY LINE

Prepared For:	
SAFA PROPERTY, LLC 8060 Lawndale Skokie, IL	VIP - LOMBARD 855 E. Roosevelt Road Lombard, Illinois

Watermark Engineering Resources
2631 Groer Woods Pkwy | Aurora, IL 60502 | (630) 375-1800
watermark-engineering.com

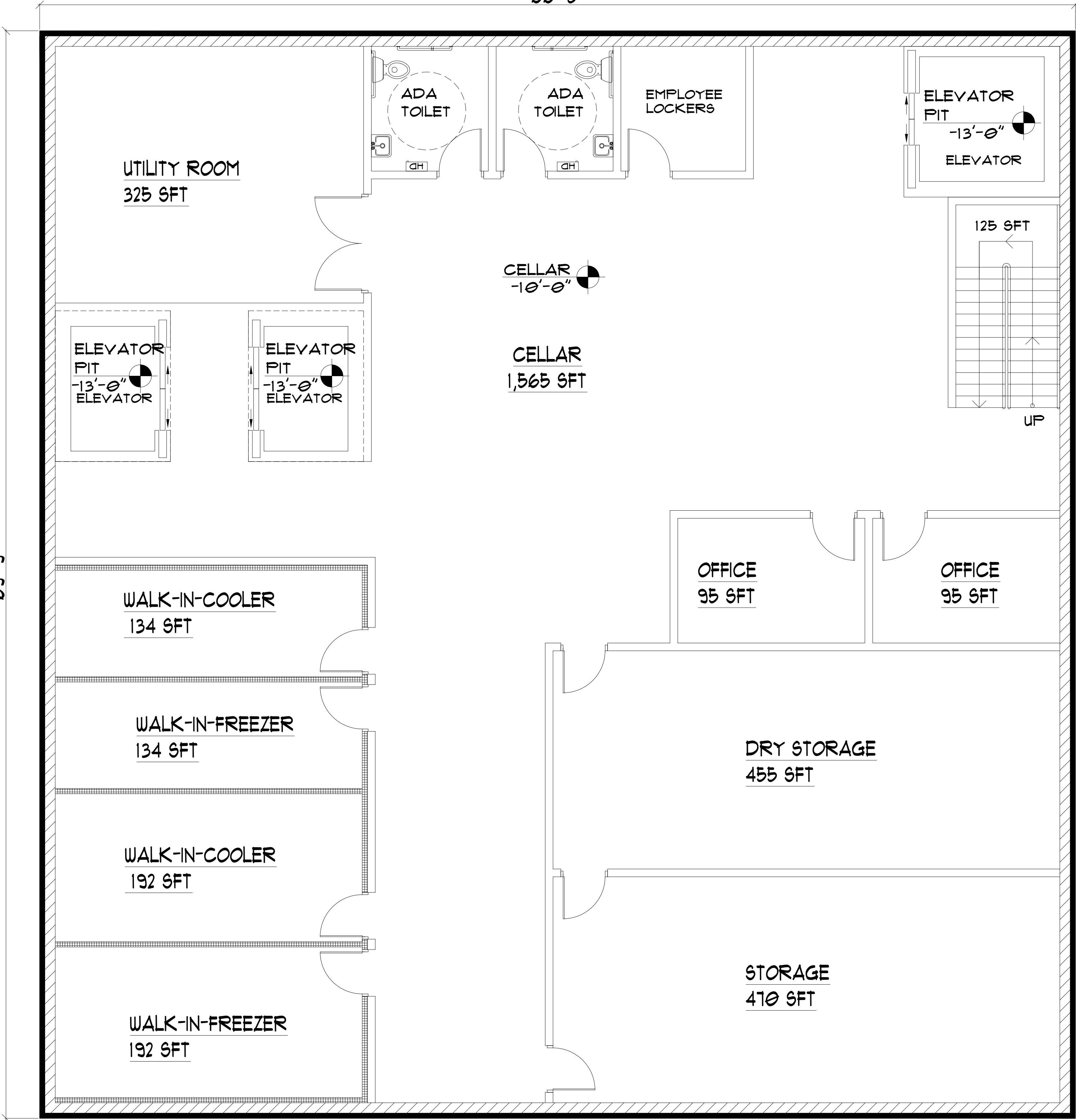
SITE PLAN

NEIGHBOR EXST. PEP BOYS

66'-5"

E ROOSEVELT RD

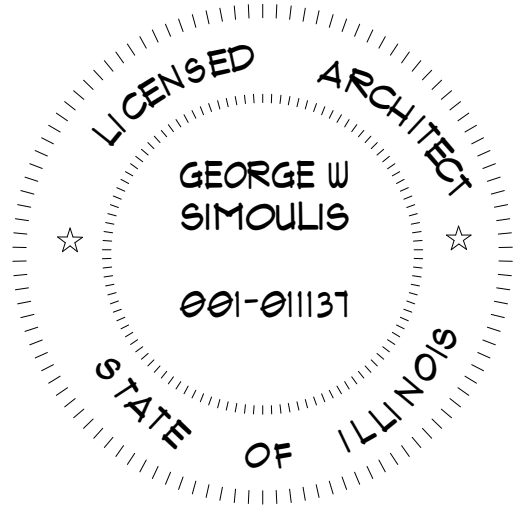
69'-9"



PARKING

PARKING

2 PROPOSED CELLAR PLAN
SCALE: 1/4"=1'-0" NORTH



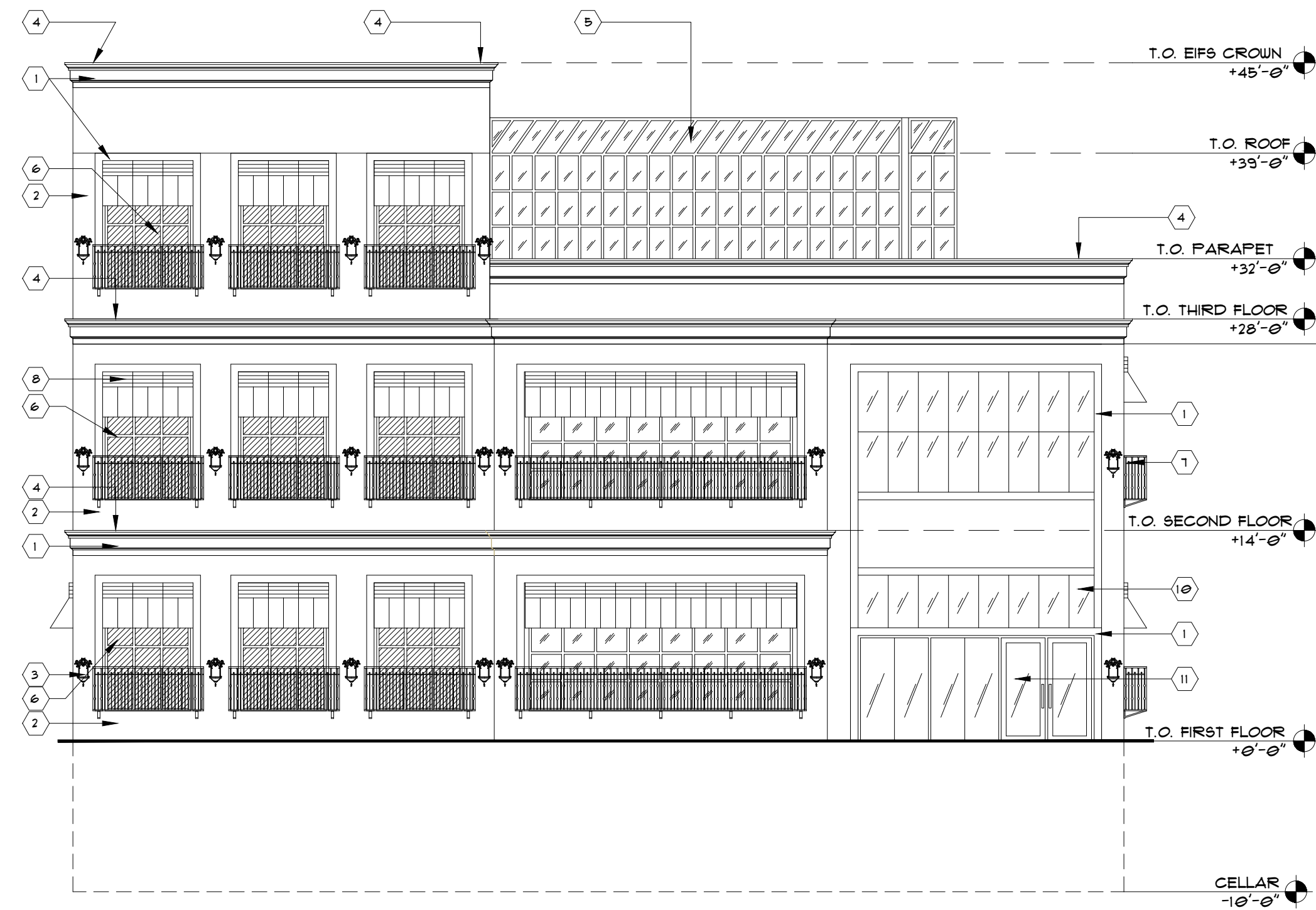
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855 E ROOSEVELT RD,
LOMBARD, IL 60148

SHEET TITLE
PROPOSED CELLAR PLAN

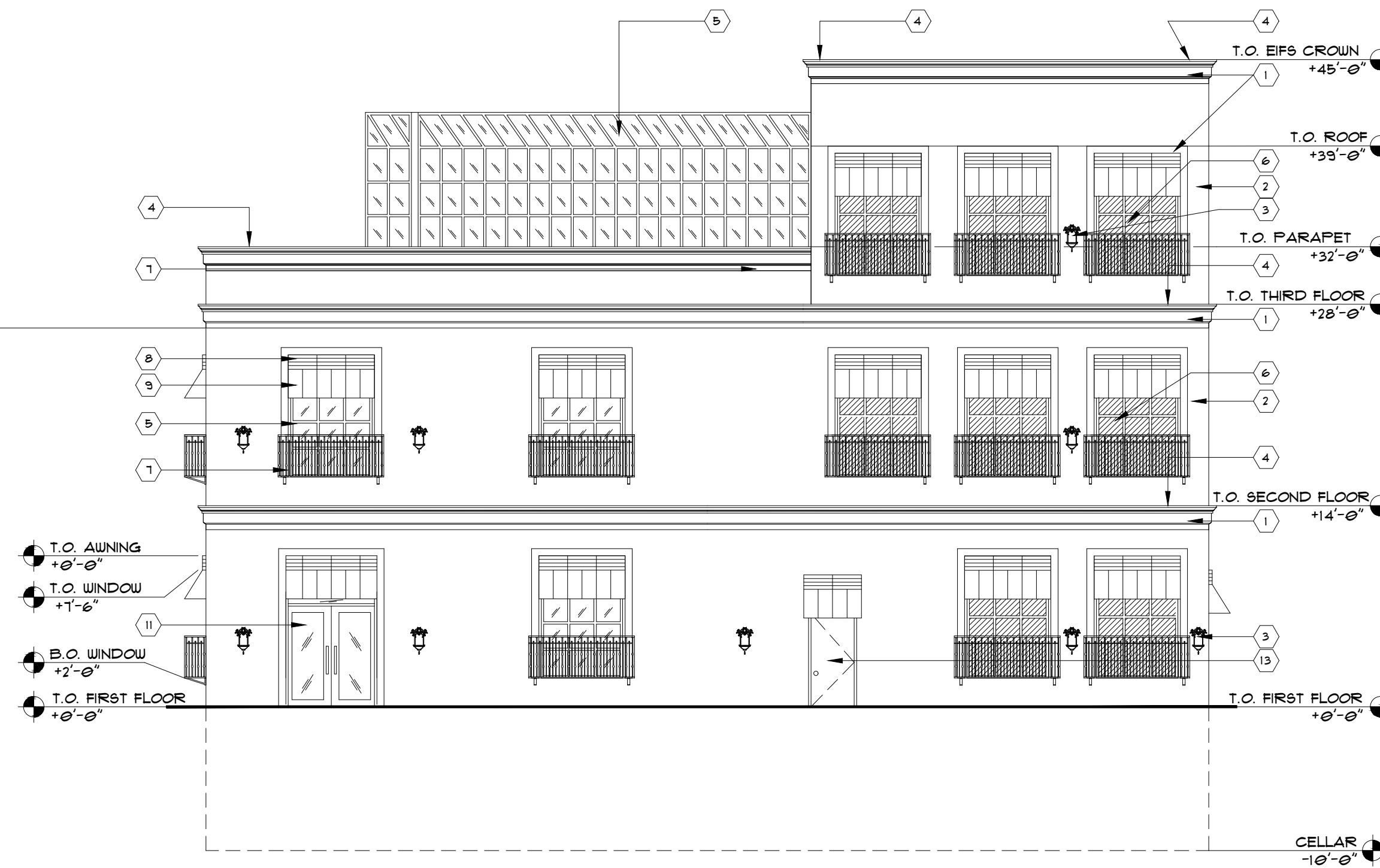
DRAWN BY:	DRAWINGS	DATE:
MMU	REVISIONS PER TEAM	02/28/2022

ARCHITECT
GEORGE SIMOULIS

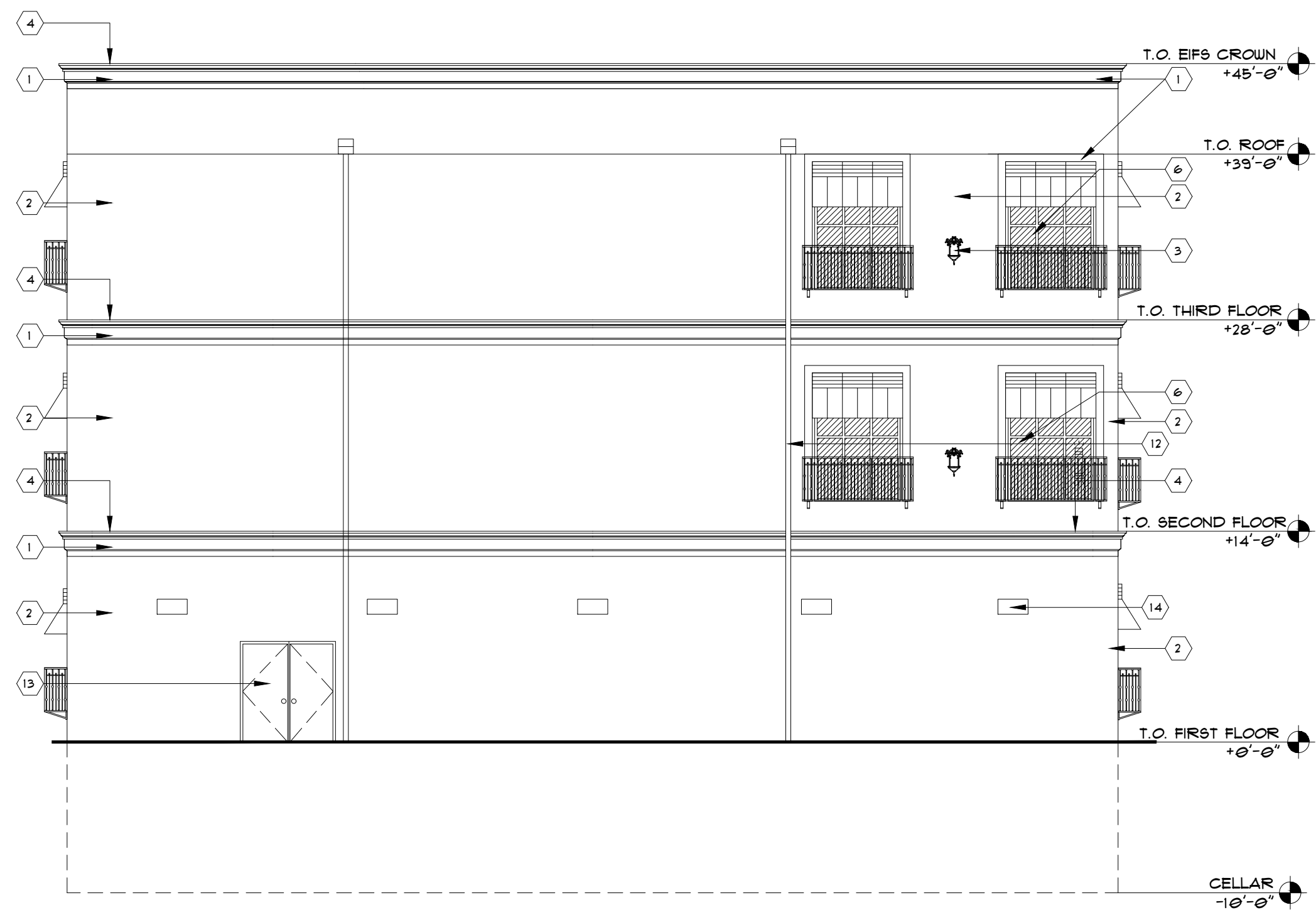
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DRG. NO. A-2



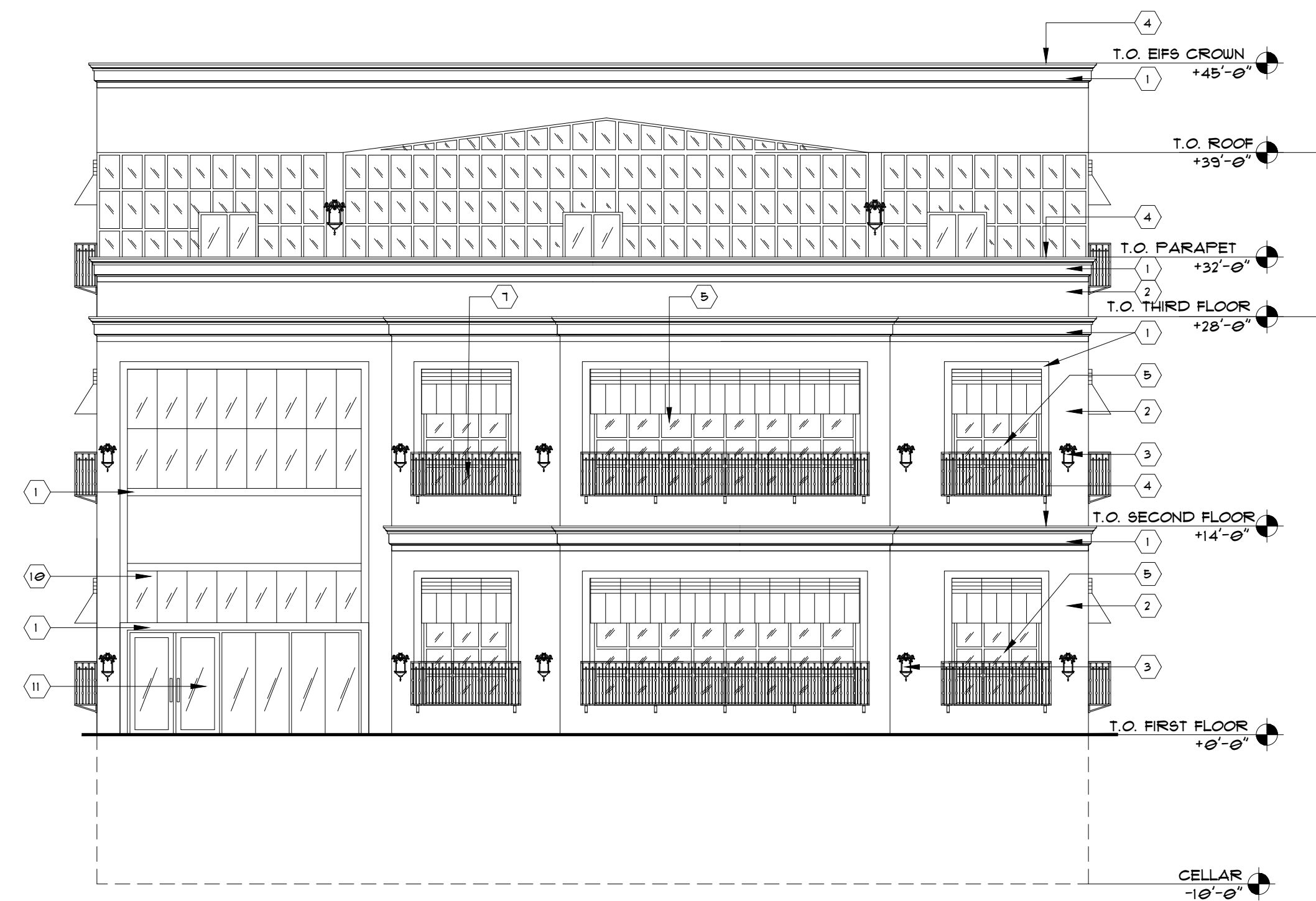
1 PROPOSED NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1/8"=1'-0"

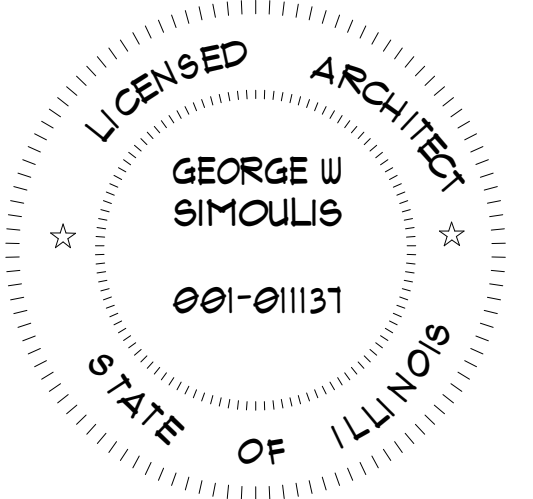


3 PROPOSED EAST ELEVATION
SCALE: 1/8"=1'-0"



4 PROPOSED WEST ELEVATION
SCALE: 1/8"=1'-0"

- KEY NOTES:
- 1 EIFS CORNISH (COLOR SELECTED BY OWNER)
 - 2 STUCCO (COLOR SELECTED BY OWNER)
 - 3 UP & DOWN EXTERIOR LIGHT FIXTURE (COLOR SELECTED BY OWNER)
 - 4 6" PRE-FINISHED GALVANIZED METAL COPING (COLOR SELECTED BY OWNER)
 - 5 BRONZED ANODIZED ALUMINUM STORE FRONT SYSTEM w/ TEMPERED SAFETY GLAZING.
 - 6 DUMMY WINDOW
 - 7 METAL GUARDRAIL 36" MIN. HT WITH METAL PICKETS TO BE MAX. 4" APART. TOP AND BOTTOM RAIL POST TO BE 1 1/2" DIA. POST SHALL BE 36" APART MAX SPACING (TYP. FOR ALL BALCONIES) (COLOR SELECTED BY OWNER)
 - 8 METAL SHUTTER ABOVE AWNING (COLOR SELECTED BY OWNER)
 - 9 METAL AWNING (COLOR SELECTED BY OWNER)
 - 10 TEMPERED SAFETY GLAZING GLASS WALL
 - 11 BRONZED ANODIZED ALUMINUM GLASS DOOR w/ TEMPERED SAFETY GLAZING
 - 12 PRE-FINISHED SCUPPER AND DOWNSPOUT, MILL ALUMINUM
 - 13 METAL DOOR
 - 14 WALL PACK LED LIGHT



LOCATION:
855 E ROOSEVELT RD,
LOMBARD, IL 60148

SHEET TITLE
PROPOSED ELEVATIONS

DRAWN BY:
MNU

DRAWINGS
REVISIONS PER TEAM

DATE:
02/28/2022

ARCHITECT
GEORGE SIMOULIS

SCALE:
AS SHOWN

DRG. NO. A-7

NEIGHBOR EXST. PEP BOYS

E ROOSEVELT RD

PARKING

PARKING

3 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

NORTH

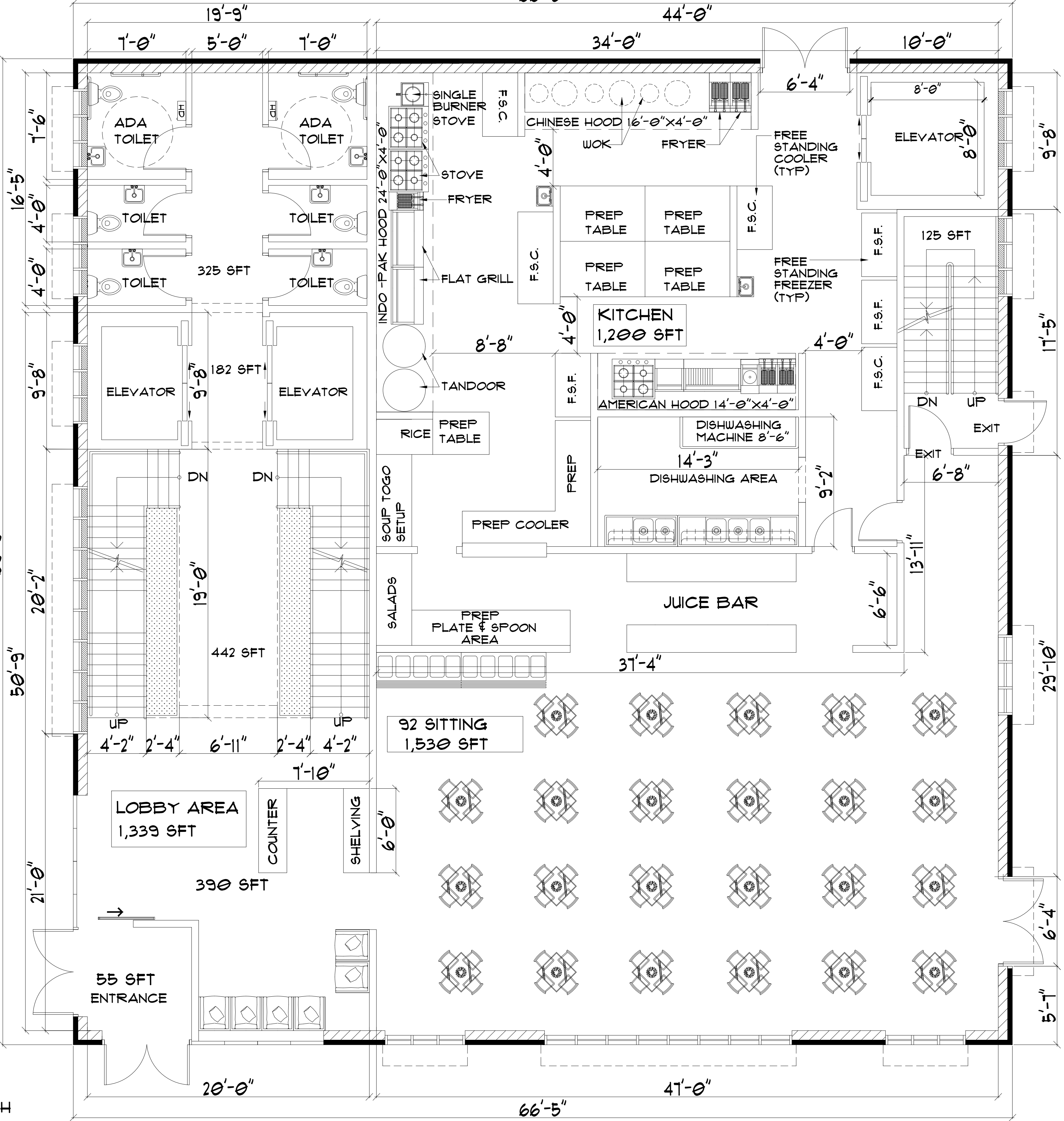
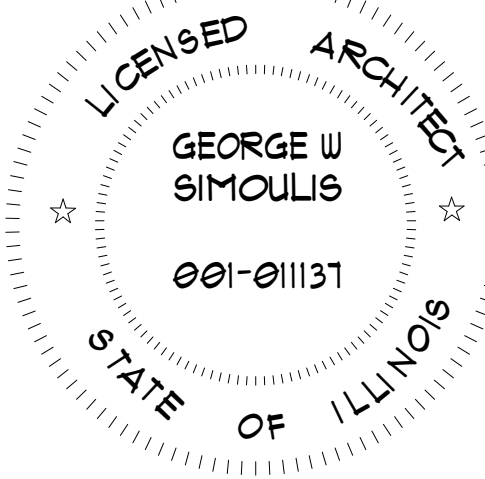
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LOMBARD, IL 60148

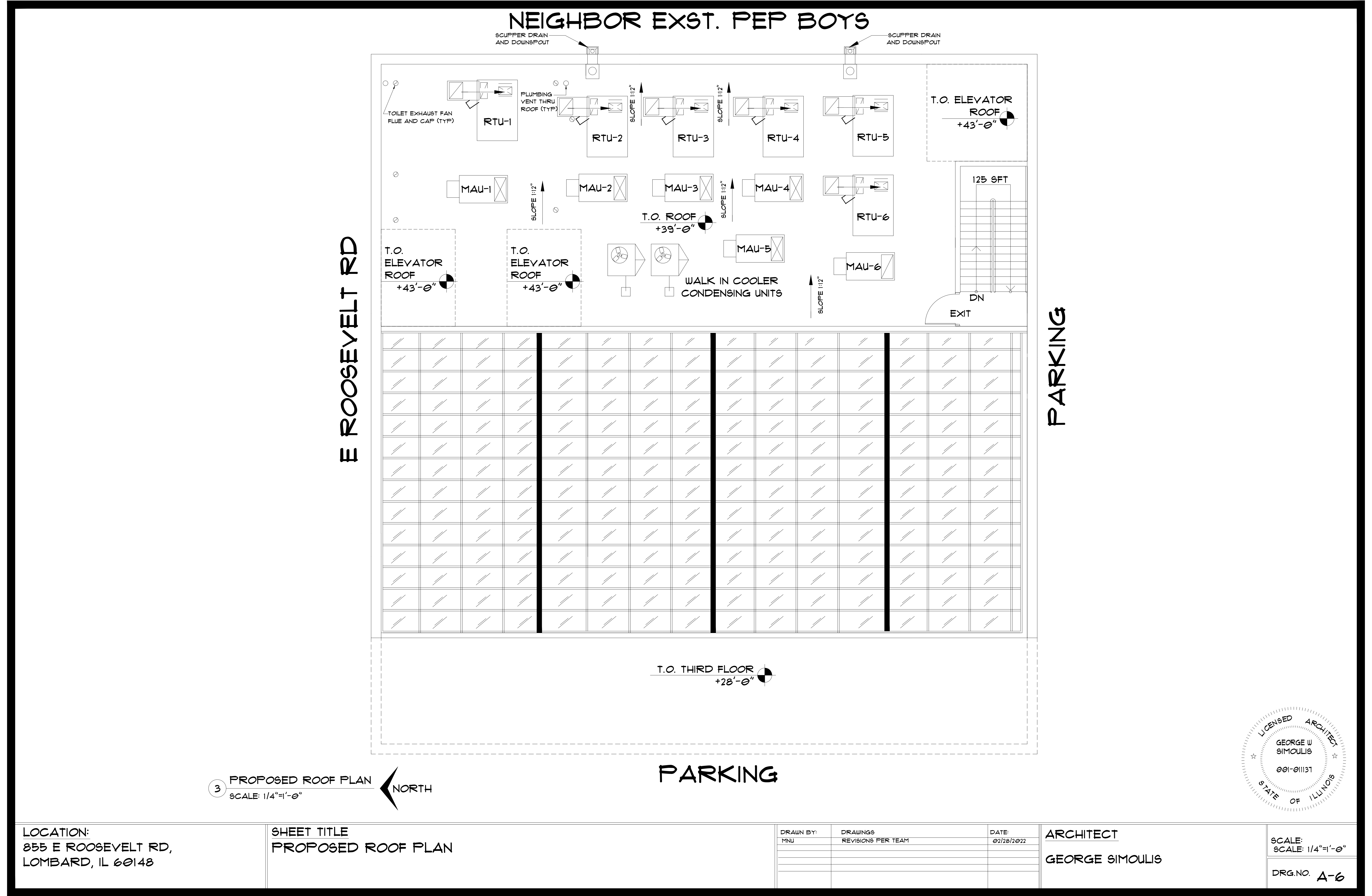
SHEET TITLE
PROPOSED FIRST FLOOR PLAN

DRAWN BY:	DRAWINGS	DATE:
MMU	REVISIONS PER TEAM	02/28/2022

ARCHITECT
GEORGE SIMOULIS

SCALE:
1/4"=1'-0"
DRG. NO. A-3





LOCATION:
855 E ROOSEVELT RD,
LOMBARD, IL 60148

SHEET TITLE
PROPOSED ROOF PLAN

DRAWN BY:	DRAWINGS	DATE:
MMU	REVISIONS PER TEAM	02/28/2022

ARCHITECT
GEORGE SIMOULIS

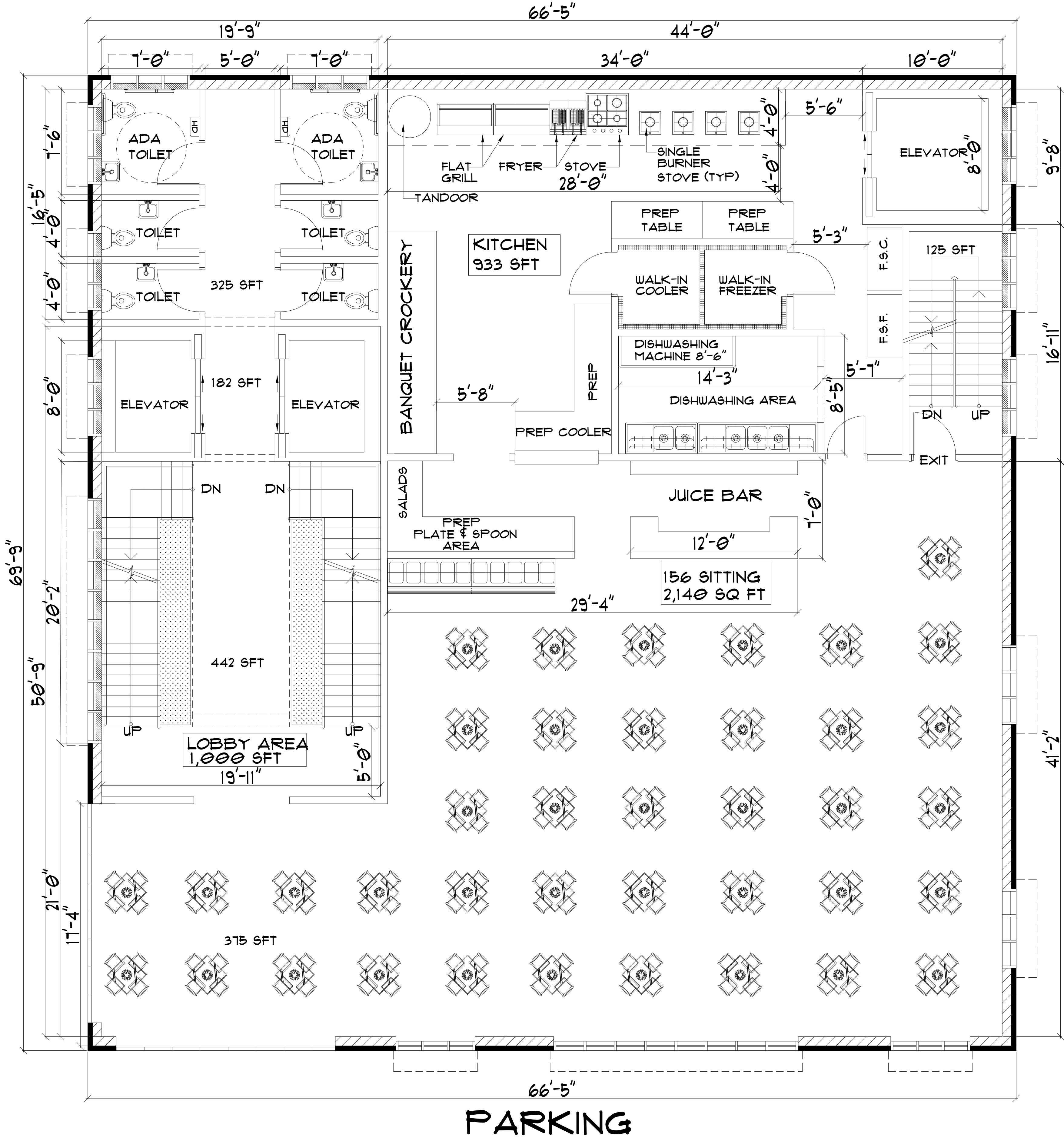
SCALE:
SCALE: 1/4"=1'-0"

DRG.NO. A-6

NEIGHBOR EXST. PEP BOYS

E ROOSEVELT RD

PARKING



4 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



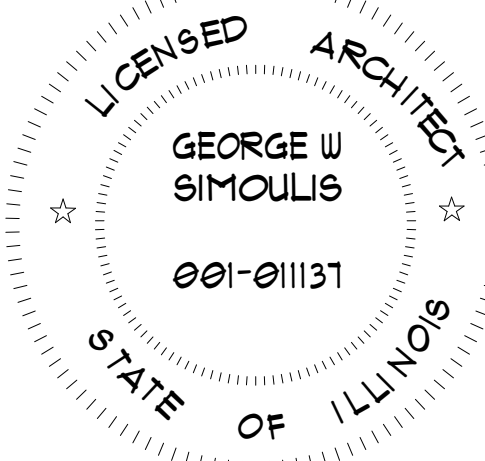
LOCATION:
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LOMBARD, IL 60148

SHEET TITLE
PROPOSED SECOND FLOOR PLAN

DRAWN BY:	DRAWINGS	DATE:
MMU	REVISIONS PER TEAM	02/28/2022

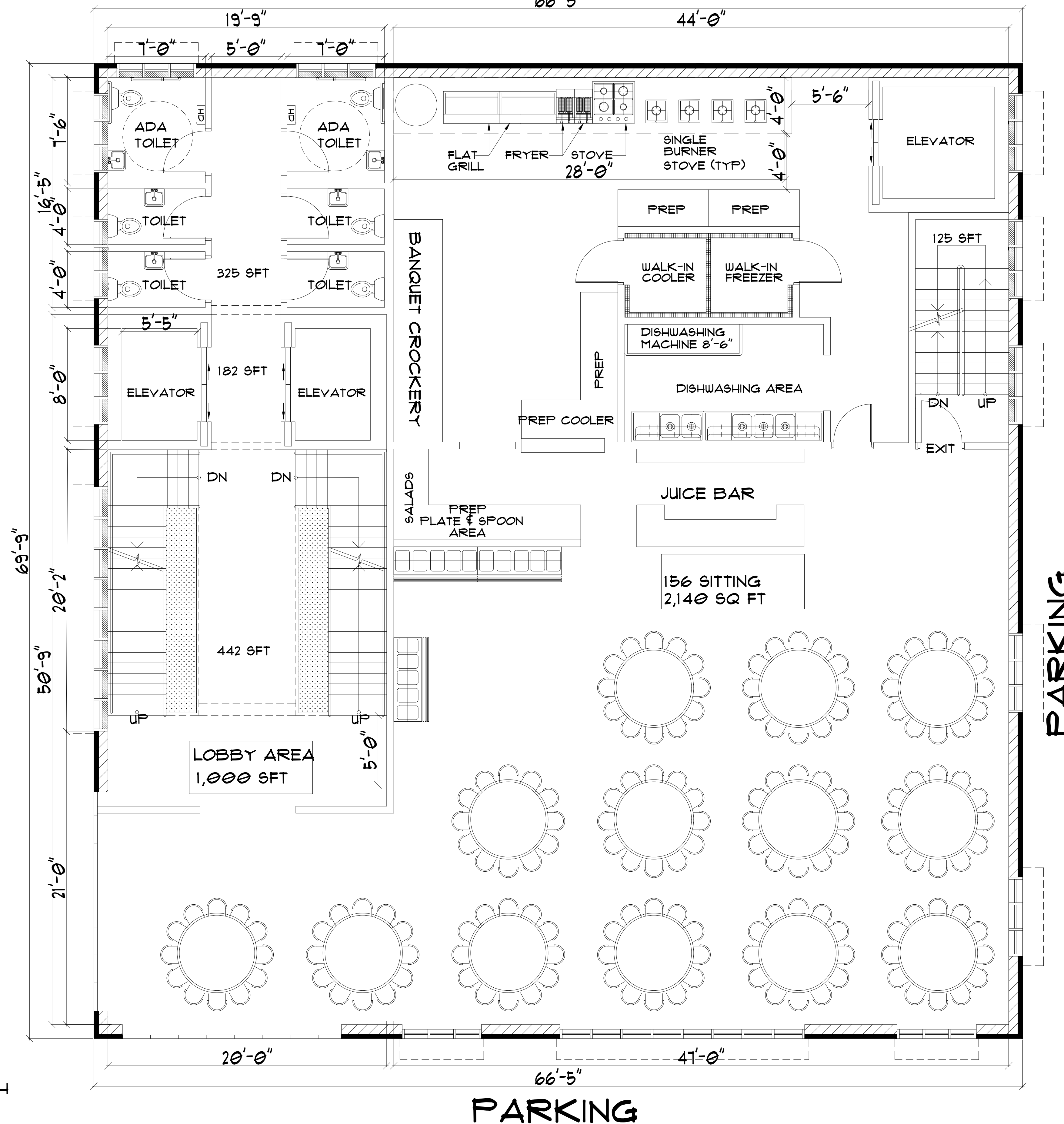
ARCHITECT
GEORGE SIMOULIS

SCALE:
1/4"=1'-0"
DRG. NO. A-4



66'-5"

44'-0"



PARVING

PARKING

4

SCALE: 1/4"=1'-0"



SHEET TITLE
PROPOSED SECOND FLOOR PLAN

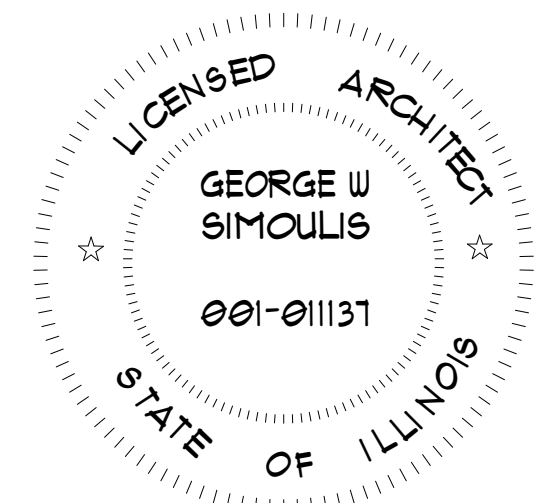
DRAWN BY:	DRAWINGS
MNU	REVISIONS PER TEAM

DATE:	02/28/2022
-------	------------

ARCHITECT
GEORGE SIMOULIS

SCALE:
1/4" = 1'-0"

DRG.NO. A-4



NEIGHBOR EXST. PEP BOYS

E ROOSEVELT RD

PARKING

PARKING

5 PROPOSED THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

NORTH

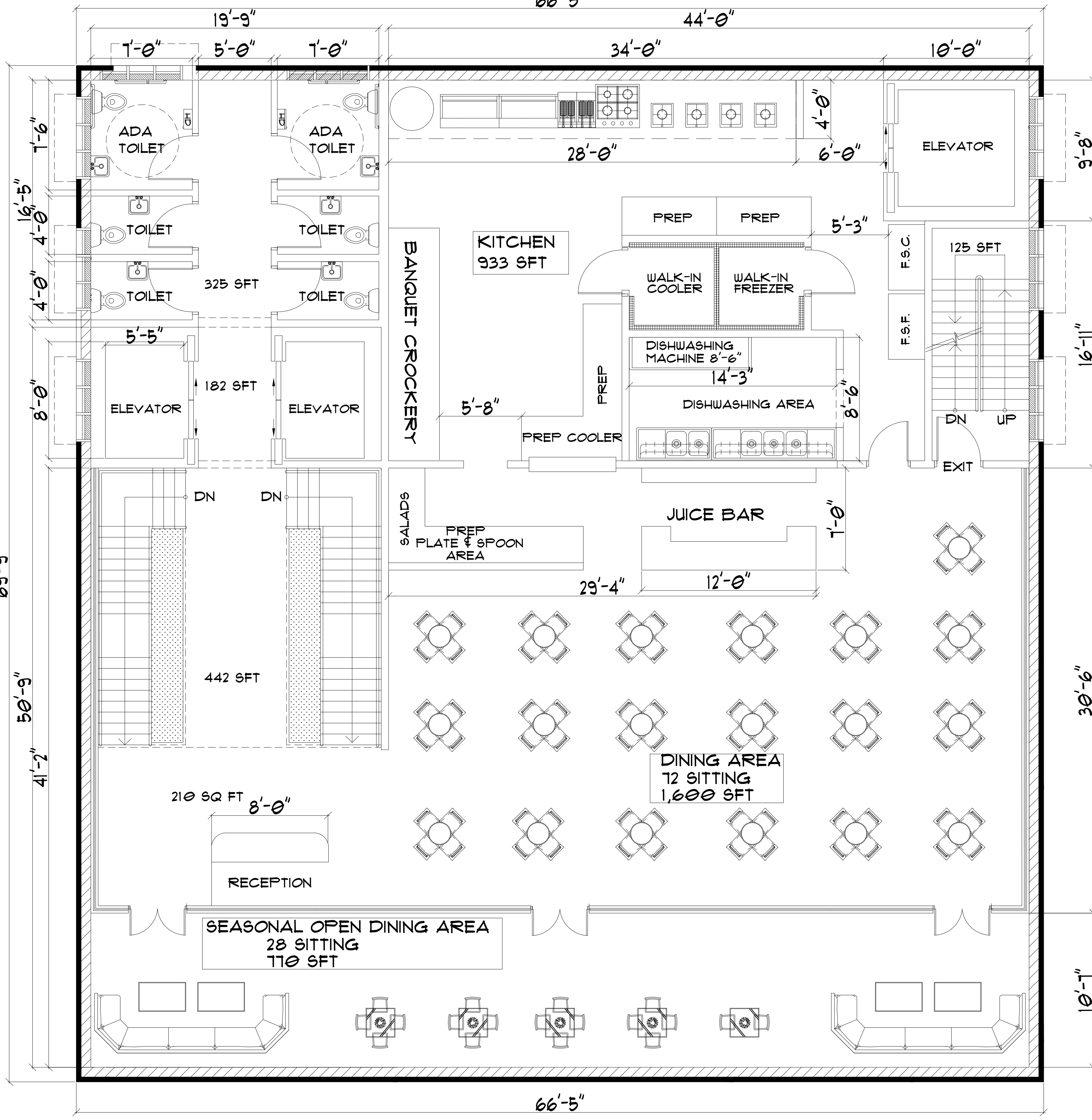
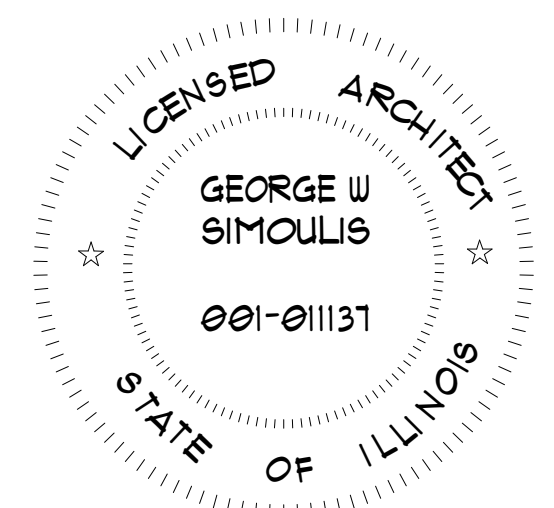
LOCATION:
855 E ROOSEVELT RD,
LOMBARD, IL 60148

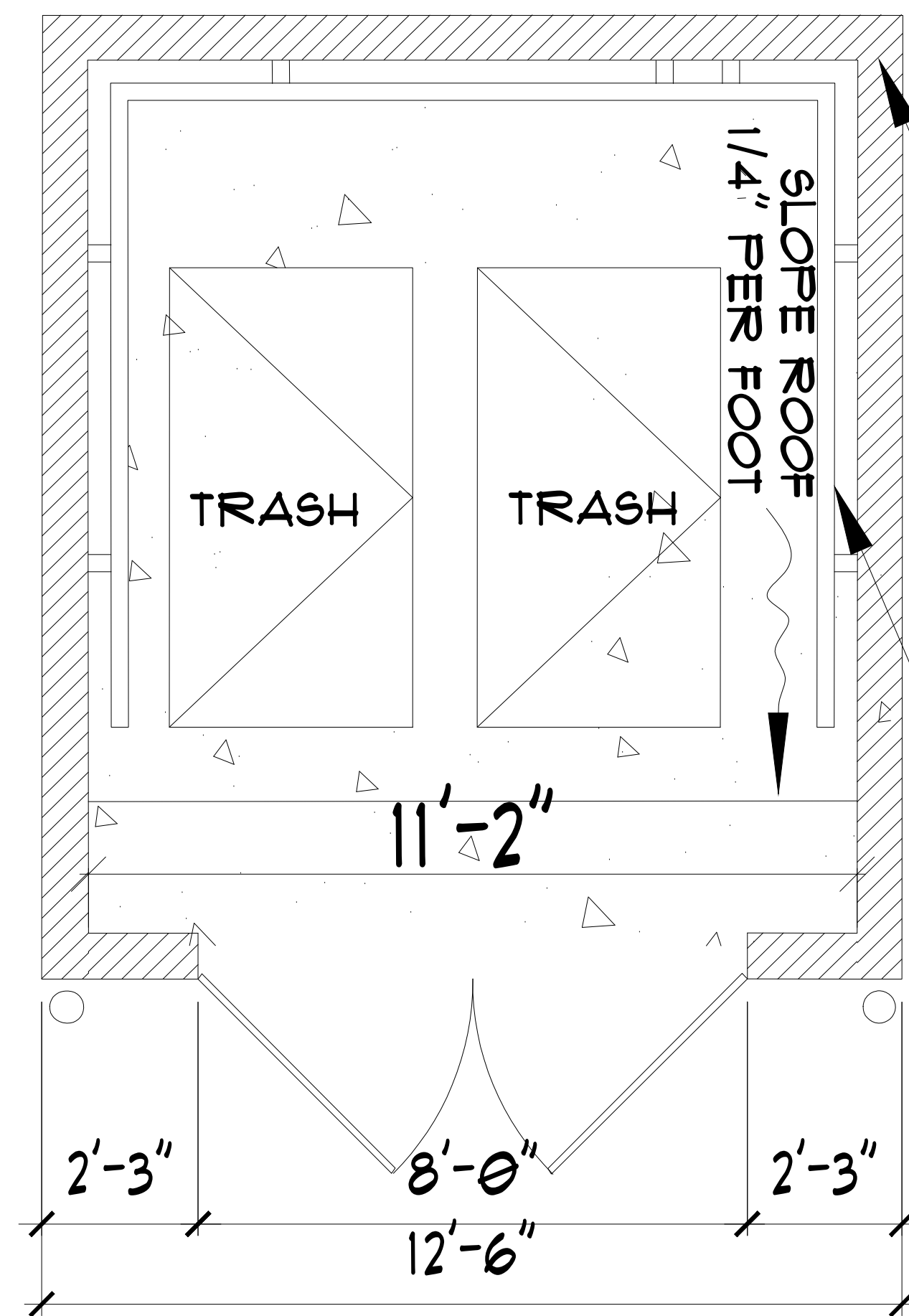
SHEET TITLE
PROPOSED THIRD FLOOR PLAN

DRAWN BY: MINU
DRAWINGS REVISIONS PER TEAM
DATE: 02/28/2022

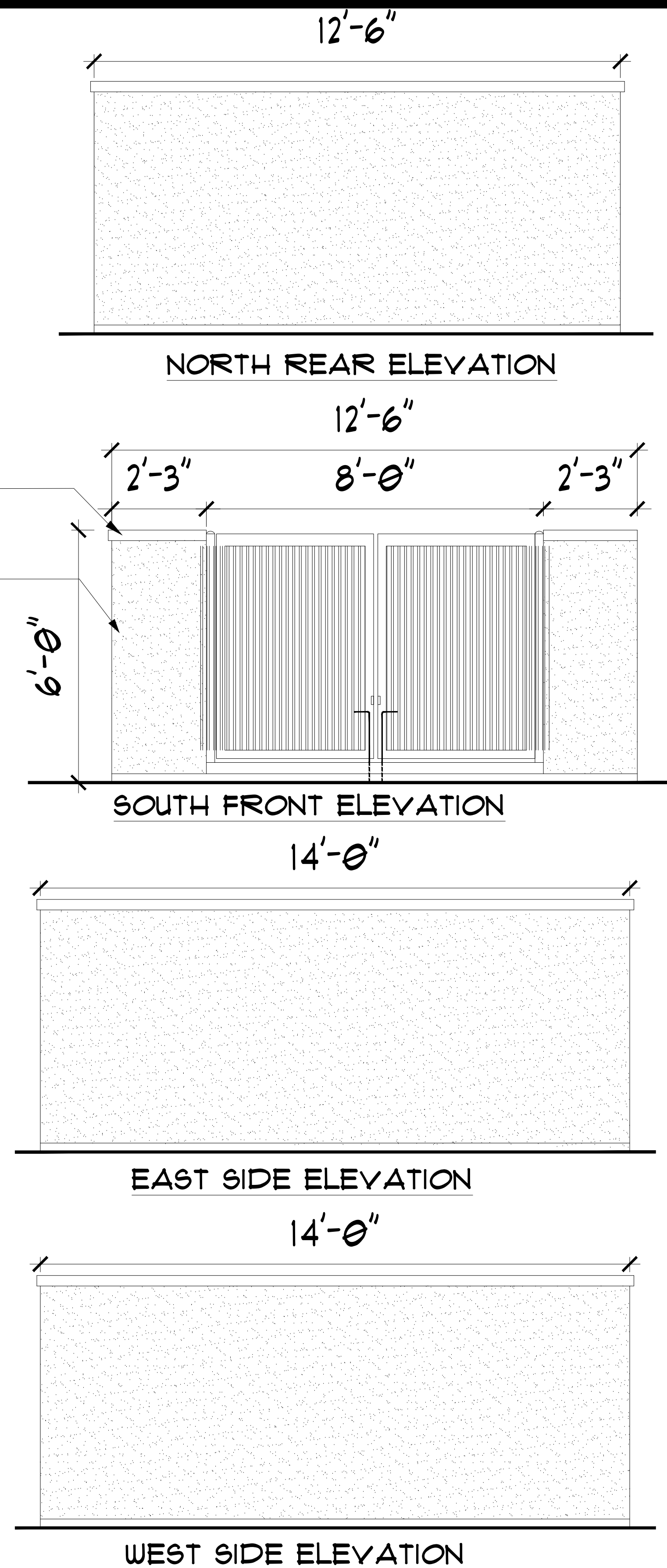
ARCHITECT
GEORGE SIMOULIS

SCALE:
1/4"=1'-0"
DRG. NO. A-5





1 GARBAGE ENCLOSURE PLAN
 SCALE: 1/2" = 1'-0" N



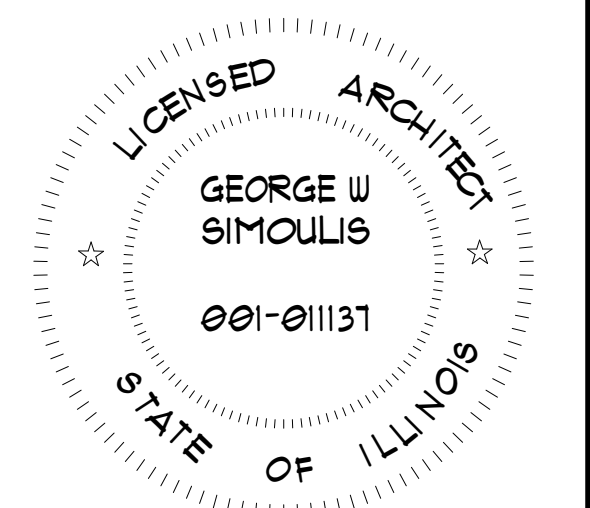
2 GARBAGE ENCLOSURE ELEVATIONS
 SCALE: 1/2" = 1'-0"

STUCCO FINISH: PAINTED MINIMUM 5/8" THICK TWO-COAT STUCCO FINISH OVER CONCRETE BLOCK MASONRY WALL (FINISH AND PAINT COLOR MATCH WITH BUILDING COLOR)

METAL COPING

8" CMU BLOCK

6" BUMPER



LOCATION: 855 E ROOSEVELT RD, LOMBARD, IL 60148	SHEET TITLE PROPOSED TRASH ENCLOSURE PLAN & ELEVATIONS	DRAWN BY:	DRAWINGS	DATE:	ARCHITECT GEORGE SIMOULIS	SCALE:
		MNU	REVISIONS PER TEAM	02/28/2022		AS SHOWN
						DRG. NO. A-8







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PRIME



USMANIA
—PRIME—



