



USMANIA

— PRIME —

PLAN COMMISSION HEARING
MARCH 21, 2022 (7:00 PM)
Case No. PC 22-05

855 East Roosevelt/IL 38



DEVELOPMENT TEAM

USMANIA

— PRIME —

CONCEPT:

SAFA NOOR, S. SULEMAN NOOR, AND MOHAMMAD YAQOOB (SKOKIE)

CIVIL ENGINEERING & SURVEYING:

JEFF MILLER, WATERMARK ENGINEERING RESOURCES (AURORA)

JOSEPH GENTILE, GENTILE & ASSOCIATES, INC. (LOMBARD)

LANDSCAPE DESIGN:

JOSEPH D. DA VITO, J. DAVITO DESIGN, INC. (ISLAND LAKE)

ARCHITECT:

GEORGE W. SIMOULIS (CHICAGO)

CONSTRUCTION:

RICK SCALI, RMJ CONSTRUCTION, LTD. (LEMONT)

SIGNS:

SIGNS & GRAPHICS, INC. (CHICAGO)

LEGAL:

MARK W. DANIEL, DANIEL LAW OFFICE, P.C. (OAKBROOK TERRACE)

About SAFA PROPERTY, LLC

- Illinois company held by a family in the north suburbs of Chicago with substantial holdings and operations (City, north, west, far west and south)
- Closest affiliated new development: BP/Olivia's Market (Midwest, OBT)

- 2017: Initiated Lombard search
- 2018: First staff inquiry about available properties
- 2020: Identification of 855 E. Roosevelt
- Fall 2021: First plan discussion with Village staff
- Summer 2022: Permitting and Mass Grading
- December 2023: Grand Opening

Neighborhood Observations
March 2021-Present

Development Team Assembly
Summer 2021

USMANIA

— PRIME —

Lombard Engagement
October 2021-Present

County Engagement
December 2021-Present

York Center Park District
February 2022

Neighbor Zoom, Visits & Calls
February-March 2022

About USMANIA PRIME

<https://usmaniarestaurant.com/>

Active Usmania Brand Locations

Usmania Fine Dining

2244 W Devon Avenue, Chicago



Usmania Chinese

2253 W Devon Avenue, Chicago



About USMANIA PRIME (continued)

- Anticipated First Year Lombard Sales
 - Dining: \$3.2 million
 - Banquet: \$1.7 million
 - Catering: \$1.0 million
- Anticipated Subsequent Year Lombard Sales
 - Dining: \$4.2 million
 - Banquet: \$2.1 million
 - Catering: \$1.6 million



About USMANIA PRIME (continued—Dining)

- Extended menu (3 kitchen styles):

- Pakistani-Indian
- Chinese
- American

- No lounge or bar (no alcohol)

- Could operate on all three floors

- 1st Floor 92 seats, 1,530 square feet (largest of three kitchens)
- 2nd Floor use depends on social distancing or normal spacing and timing
 - 156 seats, 2,140 square feet
- 3rd Floor will almost entirely be dining (few banquets or events)
 - 72 seats, 1,600 square feet (indoor); 28 seats, 770 square feet (outdoor)

LIKELY DINING HOURS

NOT TO EXCEED ALLOWABLE DISTRICT HOURS

11:00 AM to 1:00 AM Monday through Thursday

11:00 AM to 1:30 AM Friday and Saturday

11:00 AM to 11:00 PM Sunday

(BANQUETS AND DINING HOURS MAY VARY)

3RD FLOOR PATIO CLOSES:

10:30 PM Monday through Thursday

11:30 PM Friday and Saturday

9:30 PM on Sunday

About USMANIA PRIME (continued—Banquet)

- Primarily 2nd floor (flexible)
- 156 seats; 2,140 square feet
- 4 top configuration, 39 tables
- 12 top configuration, 13 tables
- No fixed hours
 - Evening typ. 8:30 PM – 1:00 AM
 - Some lunch, some morning
- Standard events: Business, chamber or association meetings, family parties, engagement parties, non-reception wedding dinners, seminars



About USMANIA PRIME (continued—Catering)

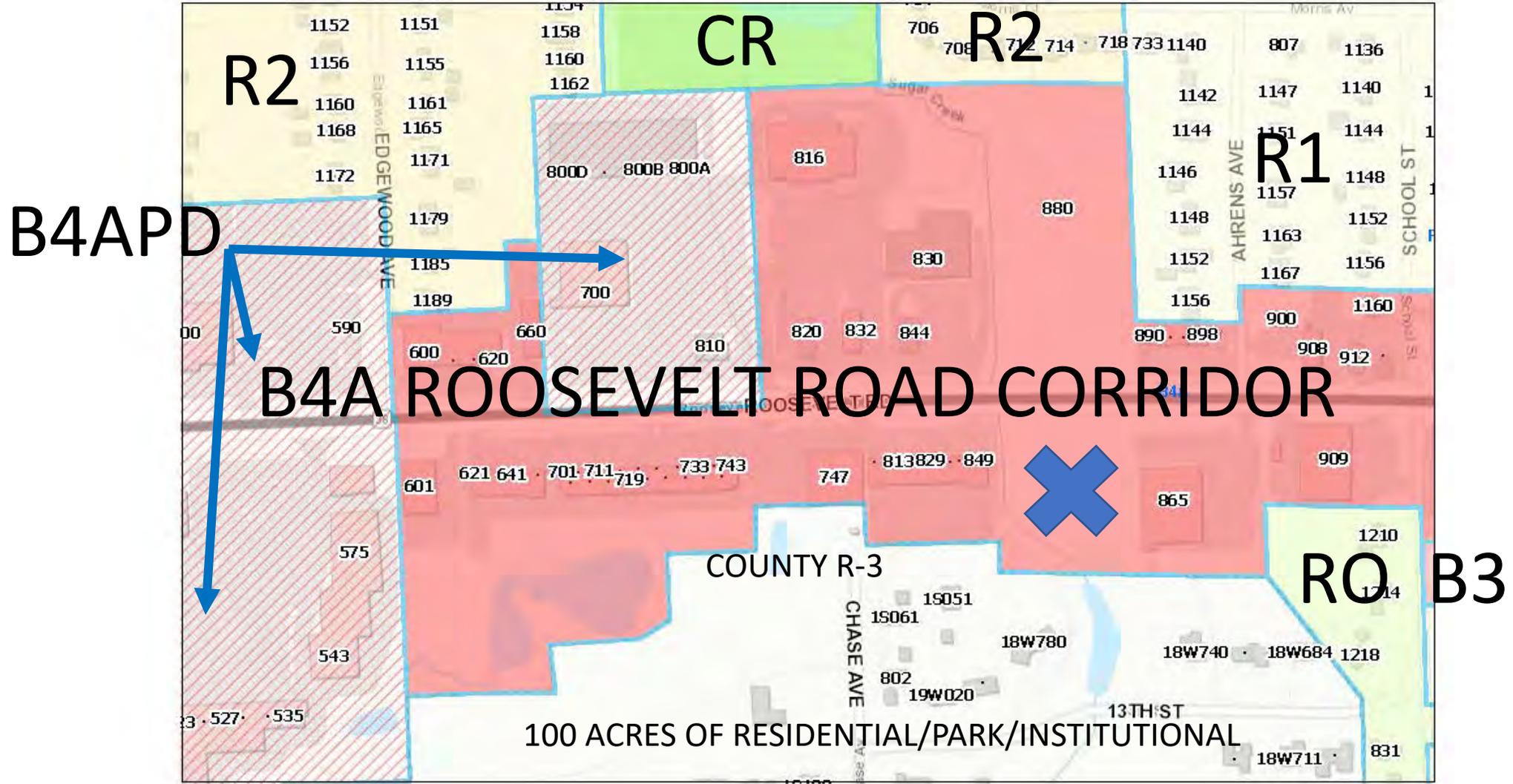
- Catering program is well-respected and extends throughout the Chicago metro area, downstate and into IN, MI and WI
- Published catering menu features standards
- Special orders available
- Deliveries with only limited pick-up



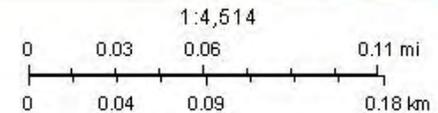
Cultural Elements of Usmania Prime

- No alcohol
- Dominating family and group dining environment
- Shared plates most popular
- Banquet area too small for weddings or large banquets
 - Fills a role of convenience in the banquet segment
 - Not a conference location
 - Event invitations are heavily focused on full-family invitations
- Cultural bazaars Saturdays and Sundays (12:00-7:00 PM)
- With the exception of weekday lunches, large parties often arrive in few cars to dine

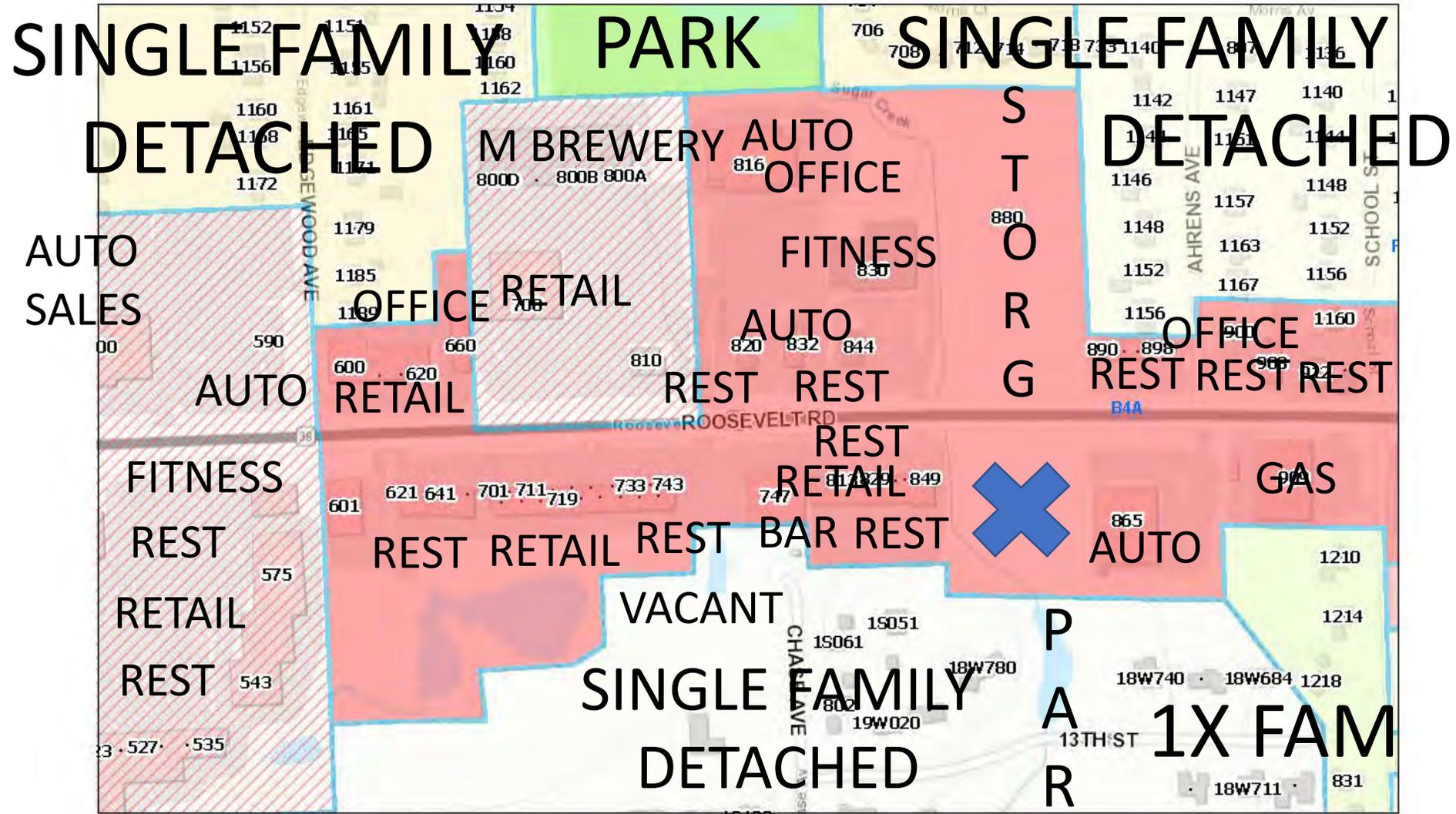
Lombard Parcel & Zoning Map



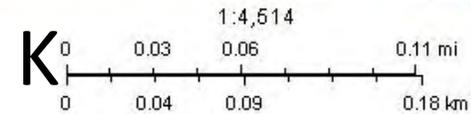
March 18, 2022



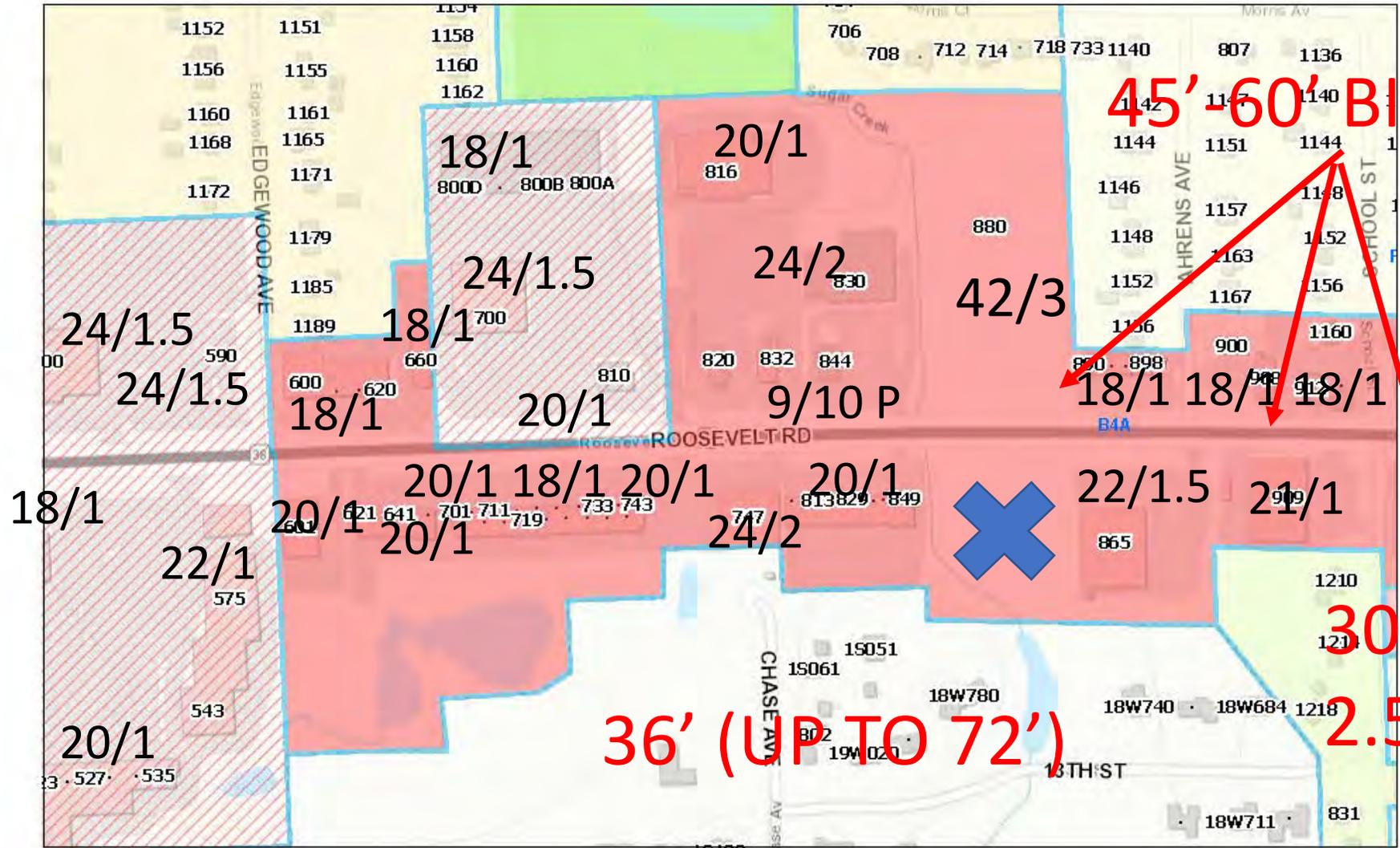
SURROUNDING LAND USE



March 18, 2022



CURRENT HEIGHT FEET/STORIES



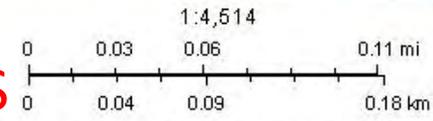
45'-60' BILLBOARDS

36' (UP TO 72')

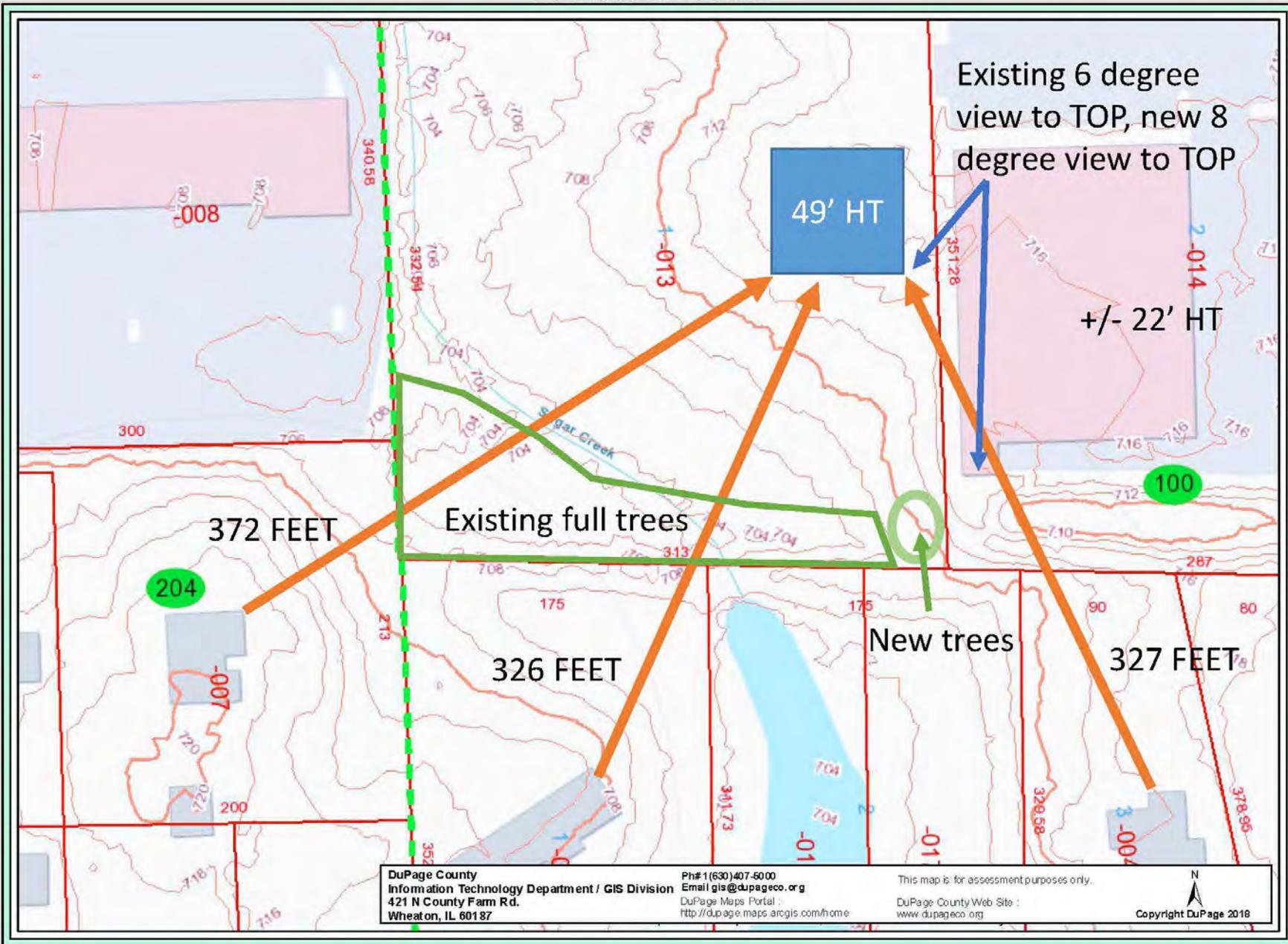
30' OR 45'

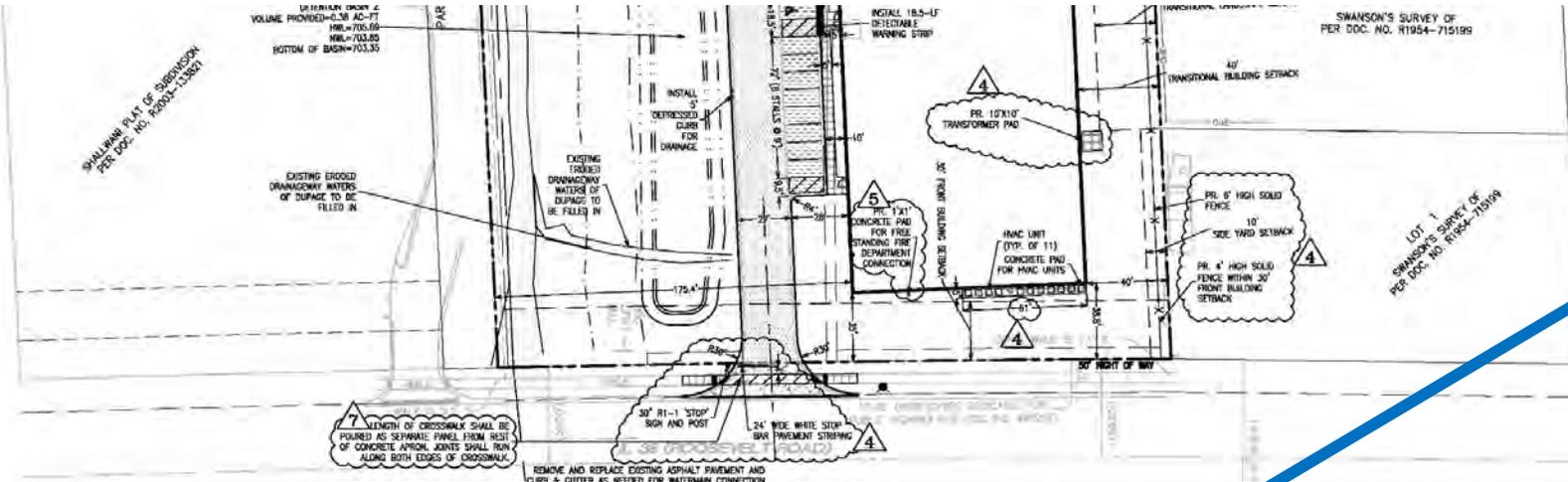
2.5 OR 3.5

March 18, 2022

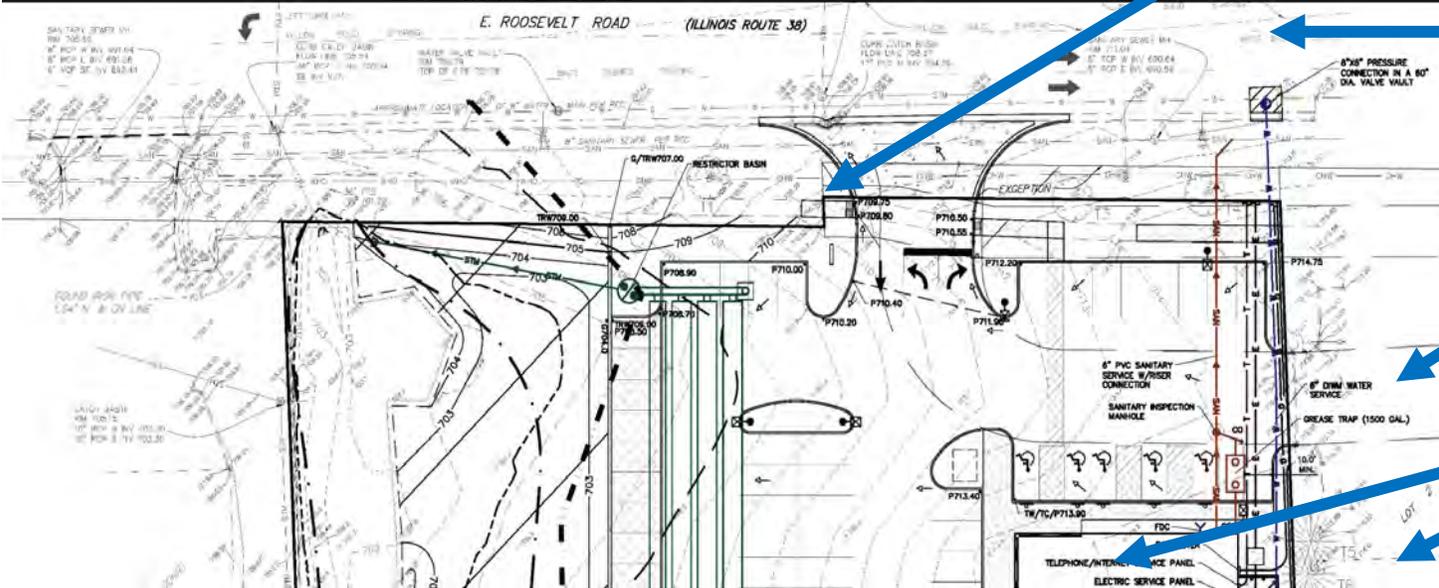


HEIGHT IS APPARENT, EXCL. EST. PARAPETS AND FAKE WALLS





SAME OFFSET



SAME L TURN LANE

SAME X ACCESS

SAME NORTH LINE OF BUILDING PADS

2022 PROJECT WITH SELF STORAGE DRIVEWAY





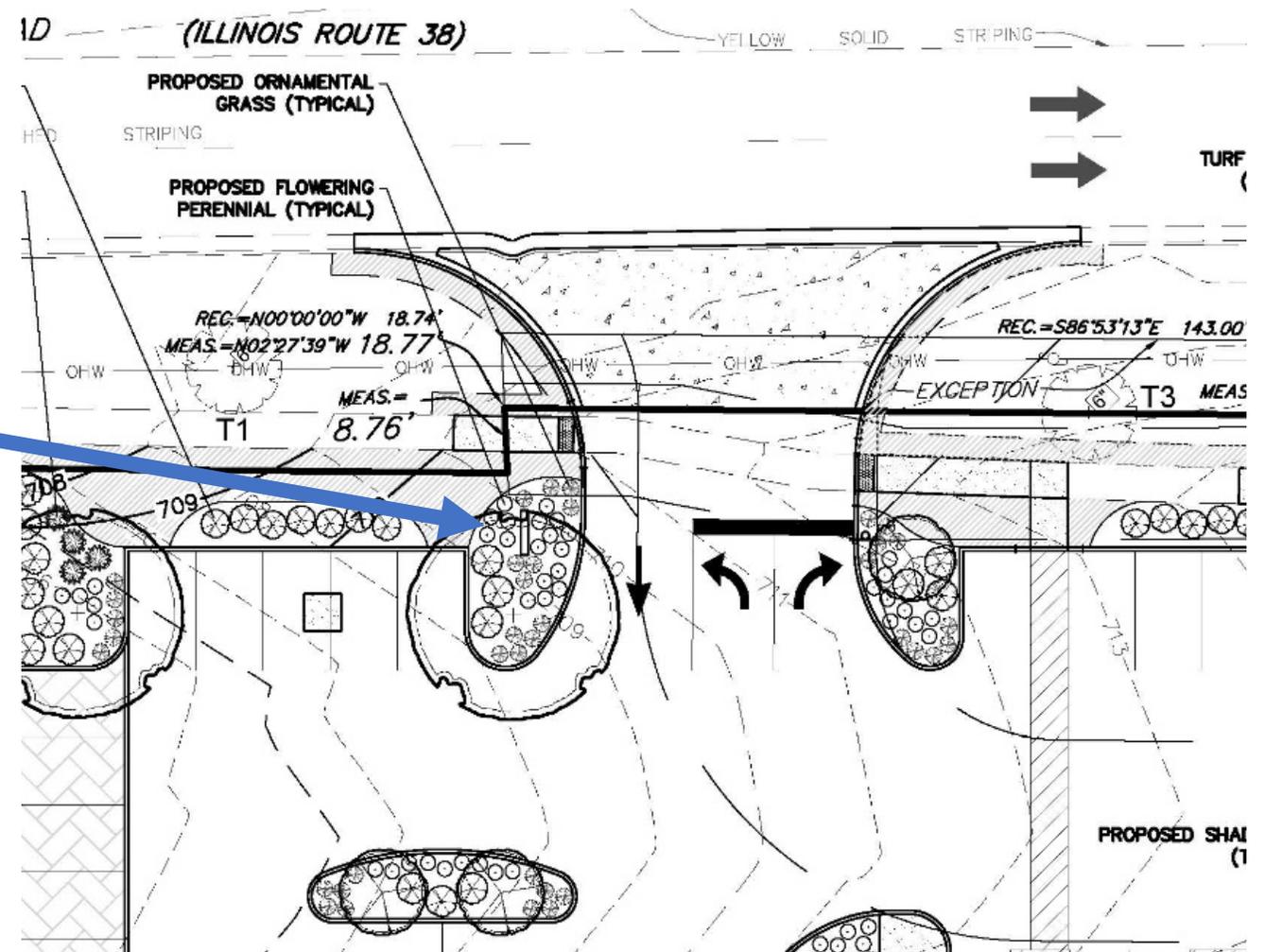
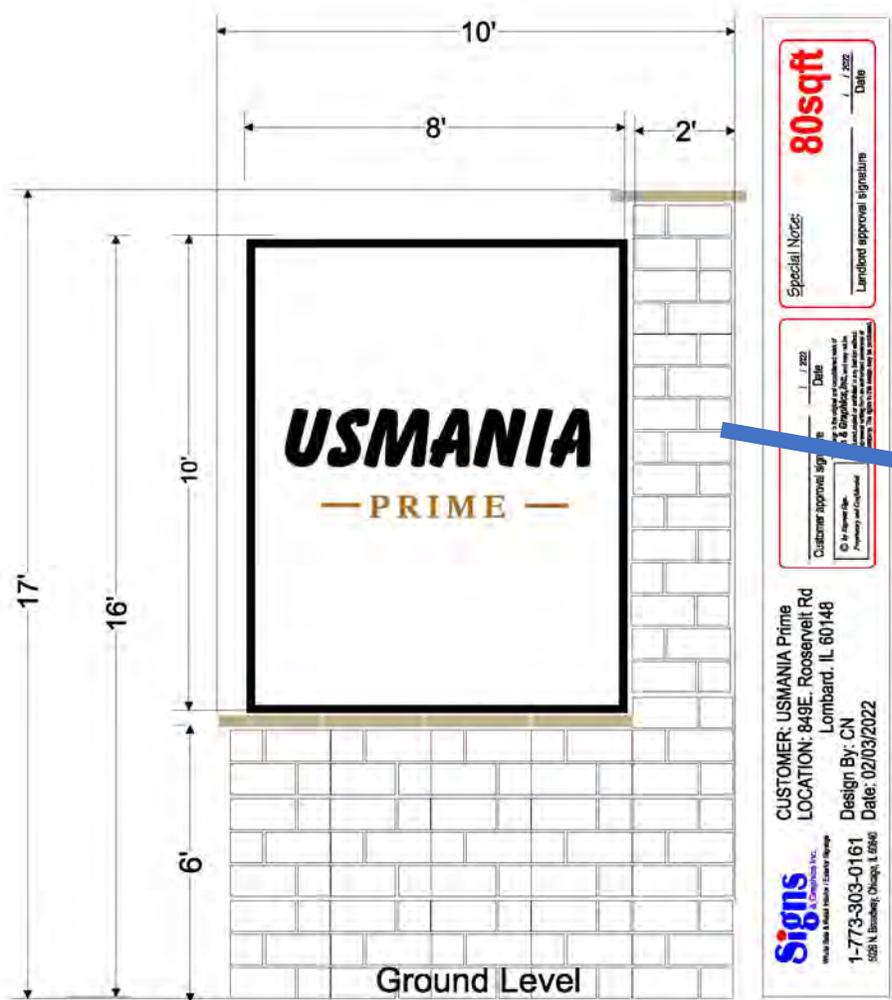




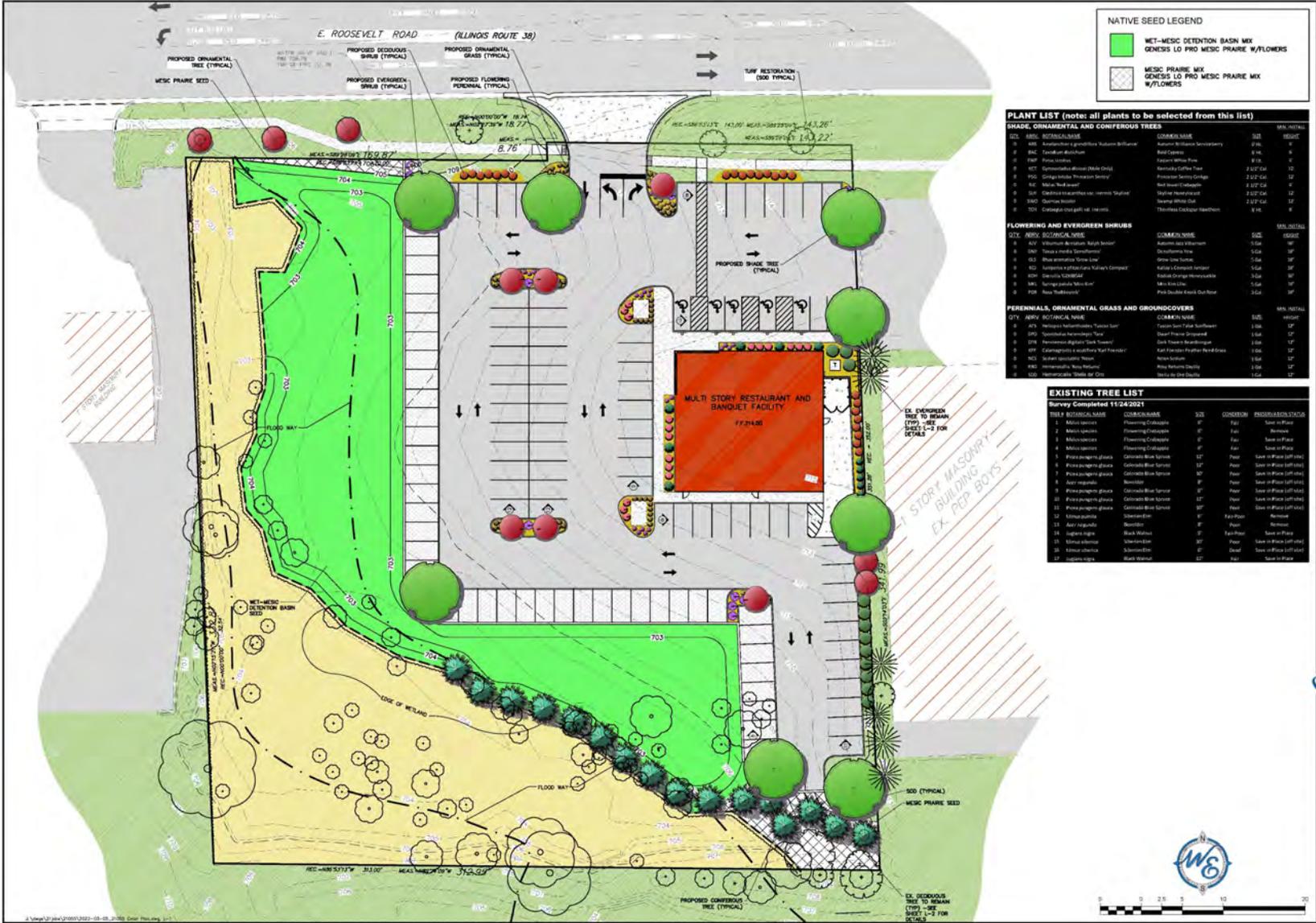




FREESTANDING/MONUMENT SIGN



LANDSCAPE PLAN



NATIVE SEED LEGEND

- WET-MESIC DETENTION BASIN MIX GENESIS LO PRO MISC PRAIRIE W/FLOWERS
- MISC PRAIRIE MIX GENESIS LO PRO MISC PRAIRIE MIX W/FLOWERS

PLANT LIST (note: all plants to be selected from this list)

SHADE, ORNAMENTAL AND CONIFEROUS TREES				
SYD.	ARBV. BOTANICAL NAME	COMMON NAME	SIZE	SEASON
1	AME	American Larch	12'	Fall
2	AME	American Red Pine	12'	Fall
3	AME	Eastern White Pine	12'	Fall
4	AME	Mill Needle	12'	Fall
5	AME	White Pine	12'	Fall
6	AME	Black Spruce	12'	Fall
7	AME	Blue Spruce	12'	Fall
8	AME	Colorado Spruce	12'	Fall
9	AME	Norway Spruce	12'	Fall
10	AME	White Fir	12'	Fall
11	AME	Douglas Fir	12'	Fall
12	AME	Liberty Bell	12'	Fall
13	AME	Blue Spruce	12'	Fall
14	AME	Colorado Spruce	12'	Fall
15	AME	White Pine	12'	Fall
16	AME	Black Spruce	12'	Fall
17	AME	Blue Spruce	12'	Fall
18	AME	Colorado Spruce	12'	Fall
19	AME	White Pine	12'	Fall
20	AME	Black Spruce	12'	Fall
21	AME	Blue Spruce	12'	Fall
22	AME	Colorado Spruce	12'	Fall
23	AME	White Pine	12'	Fall
24	AME	Black Spruce	12'	Fall
25	AME	Blue Spruce	12'	Fall
26	AME	Colorado Spruce	12'	Fall
27	AME	White Pine	12'	Fall
28	AME	Black Spruce	12'	Fall
29	AME	Blue Spruce	12'	Fall
30	AME	Colorado Spruce	12'	Fall
31	AME	White Pine	12'	Fall
32	AME	Black Spruce	12'	Fall
33	AME	Blue Spruce	12'	Fall
34	AME	Colorado Spruce	12'	Fall
35	AME	White Pine	12'	Fall
36	AME	Black Spruce	12'	Fall
37	AME	Blue Spruce	12'	Fall
38	AME	Colorado Spruce	12'	Fall
39	AME	White Pine	12'	Fall
40	AME	Black Spruce	12'	Fall
41	AME	Blue Spruce	12'	Fall
42	AME	Colorado Spruce	12'	Fall
43	AME	White Pine	12'	Fall
44	AME	Black Spruce	12'	Fall
45	AME	Blue Spruce	12'	Fall
46	AME	Colorado Spruce	12'	Fall
47	AME	White Pine	12'	Fall
48	AME	Black Spruce	12'	Fall
49	AME	Blue Spruce	12'	Fall
50	AME	Colorado Spruce	12'	Fall
51	AME	White Pine	12'	Fall
52	AME	Black Spruce	12'	Fall
53	AME	Blue Spruce	12'	Fall
54	AME	Colorado Spruce	12'	Fall
55	AME	White Pine	12'	Fall
56	AME	Black Spruce	12'	Fall
57	AME	Blue Spruce	12'	Fall
58	AME	Colorado Spruce	12'	Fall
59	AME	White Pine	12'	Fall
60	AME	Black Spruce	12'	Fall
61	AME	Blue Spruce	12'	Fall
62	AME	Colorado Spruce	12'	Fall
63	AME	White Pine	12'	Fall
64	AME	Black Spruce	12'	Fall
65	AME	Blue Spruce	12'	Fall
66	AME	Colorado Spruce	12'	Fall
67	AME	White Pine	12'	Fall
68	AME	Black Spruce	12'	Fall
69	AME	Blue Spruce	12'	Fall
70	AME	Colorado Spruce	12'	Fall
71	AME	White Pine	12'	Fall
72	AME	Black Spruce	12'	Fall
73	AME	Blue Spruce	12'	Fall
74	AME	Colorado Spruce	12'	Fall
75	AME	White Pine	12'	Fall
76	AME	Black Spruce	12'	Fall
77	AME	Blue Spruce	12'	Fall
78	AME	Colorado Spruce	12'	Fall
79	AME	White Pine	12'	Fall
80	AME	Black Spruce	12'	Fall
81	AME	Blue Spruce	12'	Fall
82	AME	Colorado Spruce	12'	Fall
83	AME	White Pine	12'	Fall
84	AME	Black Spruce	12'	Fall
85	AME	Blue Spruce	12'	Fall
86	AME	Colorado Spruce	12'	Fall
87	AME	White Pine	12'	Fall
88	AME	Black Spruce	12'	Fall
89	AME	Blue Spruce	12'	Fall
90	AME	Colorado Spruce	12'	Fall
91	AME	White Pine	12'	Fall
92	AME	Black Spruce	12'	Fall
93	AME	Blue Spruce	12'	Fall
94	AME	Colorado Spruce	12'	Fall
95	AME	White Pine	12'	Fall
96	AME	Black Spruce	12'	Fall
97	AME	Blue Spruce	12'	Fall
98	AME	Colorado Spruce	12'	Fall
99	AME	White Pine	12'	Fall
100	AME	Black Spruce	12'	Fall

EXISTING TREE LIST

Survey Completed 11/24/2021

ID	ARBV. BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	PRESERVATION STATUS
1	Morus nigra	Flowering Crabapple	8'	Fair	Save in Place
2	Morus nigra	Flowering Crabapple	8'	Fair	Remove
3	Morus nigra	Flowering Crabapple	8'	Fair	Save in Place
4	Morus nigra	Flowering Crabapple	8'	Fair	Save in Place
5	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
6	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
7	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
8	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
9	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
10	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
11	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
12	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
13	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
14	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
15	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
16	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)
17	Prinosyngon glabra	Colorado Blue Spruce	12'	Poor	Save in Place (off site)

SAFA PROPERTY, LLC
8060 Lavergne
Stoke, IL

VIP - LOMBARD
849 E. Roosevelt Road
Lombard, Illinois

Prepared By: _____

Prepared By: _____

Checked By: _____

Drawn By: _____

DATE: MARCH 23, 2022

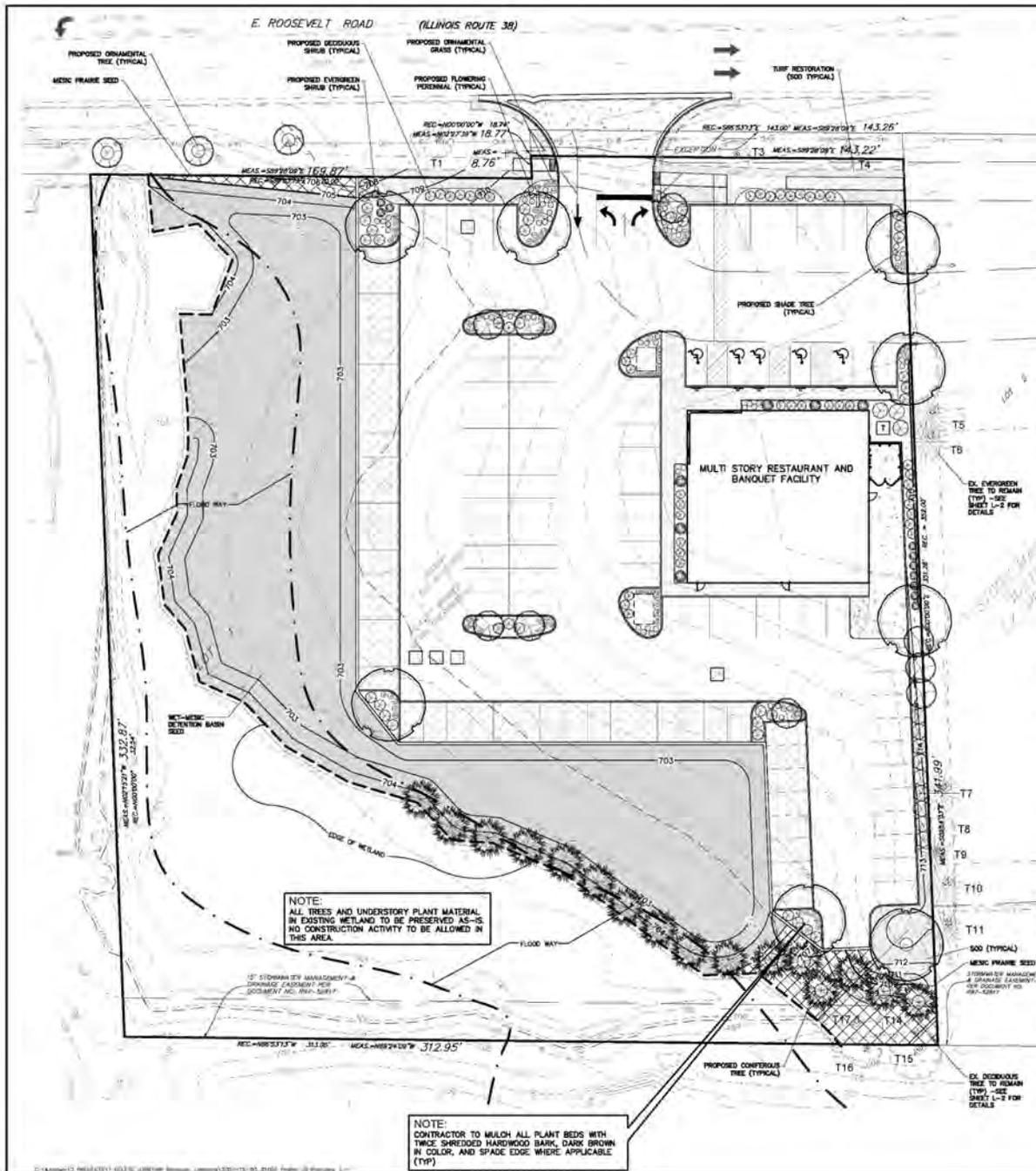
SCALE: 1" = 20'

PROJECT NO.: 21-000

W&S Engineering Resources
2851 Ogden Avenue, Suite 100
Lombard, IL 60148 | (630) 945-1800

1 of 1

PRELIMINARY LANDSCAPE PLAN



LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND UNBALLED UNLESS OTHERWISE NOTED AND SHALL BE GROWN IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE LATEST EDITION OF THE NATIONAL STANDARD FOR HARDY STOCK PUBLISHED BY MARIANNAH.
- PLANT BEDS CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. PLANTS WHICH FAIL TO MEET THE BEDS LISTED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS SHOWN ON THE DRAWING. THE PLANT LIST PROVIDED ON THIS PLAN IS FOR CONVENIENCE ONLY.
- SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT BEGIN ANY WORK ON-SITE UNTIL ALL UTILITIES HAVE BEEN LOCATED. CONTRACTOR SHALL OBTAIN "AS-BUILT" PLANS FOR ALL BRIGRATION AND LIFTING PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES INCLUDING IRRIGATION AND LIFTING. ALL DAMAGE SHALL BE REPAIRED TO A NEW CONDITION IN ACCORDANCE WITH ALL CODES AT NO COST TO THE OWNER - SEE NOTE 5.
- ALL UNSUITABLE MATERIAL (CONCRETE, AGGREGATE, STONE, CRUSHED ASPHALT, BRICK ETC.) SHALL BE REMOVED, INCLUDING HULL OFF, PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- SOIL MIX PADS BY HONEST TRADING COMPANY OR EQUAL SHALL BE RETIOLATED INTO ALL PERENNIAL AND ANNUAL PLANTING BEDS PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. A SOIL RELEASE, GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE RETIOLATED IN WITH THE ABOVE SOIL MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
- CONTRACTOR TO PROVIDE THOROUGH IRRIGATION OF ALL PLANTINGS WITHIN 12 HOURS OF INSTALLATION TO ENSURE ALL AIR POCKETS HAVE BEEN REMOVED AROUND ROOT BALL.
- ALL PLANT BED AREAS ARE TO BE MULCHED WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH AND SHALL BE SEPARATED WITH A SPACED EDGE ALONG PERIMETER ADJACENT TO TURF AREAS. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
- ALL TURF AREAS ARE TO BE A MINIMUM OF A FIVE MFT BLUEGRASS BLEND, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL THE TOP OF ANYTHING IF TURF SEED AND SOIL ROOT ON THE SAME PROJECT; CONTRACTOR SHALL VERIFY AND USE SOIL SAMPLERS TO MATCH SO.
- AREAS TO BE MOVED SHALL BE WITH AN "APPROVED TURFGRASS SEED" OF PREMIUM GRADE. SOIL SHALL BE A 3 WAY BLEND OF APPROVED HYBRID TURFGRASS VARIETIES THAT HAS BEEN SEEN PRIOR TO THE PROJECT. SOIL MUST BE WATERED FOR 3 FULL GROWING SEASONS PRIOR TO HARVEST CUTTING AND BE HEALTHY WITH WELL ESTABLISHED ROOTS. SOIL SHALL BE FREE OF DEBRIS, WEEDS AND CORN. SOIL SHALL BE UNIFORM IN LEAF COLOR, TEXTURE, AND DENSITY. SOIL SHALL BE DELIVERED, INSTALLED, AND WATERED WITHIN 24 HOURS OF HARVEST. IN WHICH DEFECTS ARE NOT CORRECTED TO BE LESS THAN 5% OF THE TOTAL AREA. SOIL SHALL BE MOVED OUT AT A MINIMUM UNIFORM SOIL 2" DEEPER (1" OF SOIL IS OBTAINED) BUT SOIL THICKNESS SHALL BE A THICKNESS NECESSARY FOR PLANT VIABILITY. SOIL SHALL BE LAY IN STAGGERED STRAIGHT LINES, SLIGHTLY ADJACENT TO OTHER WITHOUT OVERLAPPING. SOIL STAKES SHALL USED ON ALL SLOPES AT 4' OF BREAK.
- CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS (DENSED OR UNDISTURBED) AT A MINIMUM TO THE ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE HEALTH AND VIABILITY OF THE PROPOSED PLANT MATERIAL INCLUDING WATERING, PROTECTION FROM PHYSICAL DAMAGE FROM THE TIME THE PLANT IS SELECTED THROUGH ITS INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL, RESAVING PLANTS UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STORED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
- CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR RECORDING FAMILIAR WITH AND AGENCIES BY THE LANDSCAPE ORGANIZATIONS FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE.
- DESIGNS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE, PRIOR TO PREPARING SO, TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONSTRAINTS.
- ALL EXISTING ON-SITE PLANT MATERIAL, NOT SPECIFIED BY CONSTRUCTION OF THE PROPOSED LANDSCAPE, SHALL BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE MATERIAL OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED AS PART OF THIS PLAN.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLANS.
- IF IRRIGATION IS DEEMED NECESSARY, THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. AN IRRIGATION PLAN ALONG WITH AN AS-BUILT OF THE IRRIGATION SYSTEM SHALL BE PREPARED FOR OWNER REVIEW AND APPROVAL. CONTRACTOR SHALL GUARANTEE PERFORMANCE, PARTS, AND LABOR FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL APPROVAL.
- PROVIDE TOPSOIL, RE-Spread PER THE FOLLOWING UNLESS OTHERWISE NOTED:
A. 4" MINIMUM IN GRASS OR SOIL AREAS
B. 4" MINIMUM IN PLANTING AREAS
C. 12" MINIMUM IN LANDSCAPE ISLANDS
- CONTRACTOR IS TO FOLLOW ALL ORDINANCES AND REQUIREMENTS OF THE STATE, COUNTY, LOCAL DISTRICTS AND THE ALIENAS ACCESSIBILITY (ADA). ALL PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS WELL AS THE "STANDARDS SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ALABAMA" CURRENT EDITIONS.
- THE CONTRACTOR SHALL INDUPLY WATERMARK ENGINEERING RESOURCES, LTD (THE DESIGN ENGINEER), ARCHITECT AND OWNER, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTING WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THIS DEVELOPMENT.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE LOCAL AGENCIES.
- PRIOR TO BID AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL CONDITIONS AT THE SITE. IF ANY DISCREPANCIES ARE FOUND, AT ANY TIME BEFORE OR DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY. NO ANY ADDITIONAL IMPROVEMENTS ARE INSTALLED IN ORDER TO OBTAIN WRITTEN CORRECTION BY THE DESIGN ENGINEER AS TO ANY DISCREPANCY THAT MAY NEED TO BE MADE TO THE PLANS.
- PRIOR TO CONSTRUCTION, CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE APPROPRIATE CONSTRUCTION INSPECTIONS.
- THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND SELECT THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND SELECT THE CONSTRUCTION OF THE IMPROVEMENTS.
- PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS, THE CONTRACTOR MUST CALL CALLIE FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE) AT 1-800-880-0022, 24 HOURS PRIOR TO DIGGING.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AS APPROVED BY THE MUNICIPALITY.
- ALL QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. IF DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY AND NO WORK IS TO BE DONE UNTIL APPROVED.
- ANY RESTORATION NEEDED BECAUSE OF CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- RESTORATION OF EXISTING BUILT-UP AREAS IS TO BE COMPLETED WITH FOUR (4") MINIMUM TOPSOIL AND SALT TOLERANT SOIL UNLESS OTHERWISE NOTED.
- ALL INSTRUMENTS ARE TO BE PROPERLY CALIBRATED PRIOR TO CONSTRUCTION USE.
- CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR.
- LANDSCAPE SHALL NOT BE RE-INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP VENTS, WALL DRAINAGE SCUPPERS OR PIPES.

GENERAL NOTES:

- THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/16/2021) PREPARED BY: GENTLE AND ASSOCIATES, INC. 500 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 810-6282
- ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
- WHERE FEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

NATIVE SEED LEGEND

	WET-MESIC DETENTION BASIN MIX
	MESIC PRAIRIE MIX
	MESIC LO PRAIRIE MIX

PLANT LIST (enter all plants to be selected from this list)

SYMBOL	COMMON NAME AND CONVENTIONAL NAME	HEIGHT	SPREAD	SEASONAL COLOR	FRUIT	REMARKS
1	Asplenium platyneuron	12"	12"	Green		
2	Asplenium platyneuron	12"	12"	Green		
3	Asplenium platyneuron	12"	12"	Green		
4	Asplenium platyneuron	12"	12"	Green		
5	Asplenium platyneuron	12"	12"	Green		
6	Asplenium platyneuron	12"	12"	Green		
7	Asplenium platyneuron	12"	12"	Green		
8	Asplenium platyneuron	12"	12"	Green		
9	Asplenium platyneuron	12"	12"	Green		
10	Asplenium platyneuron	12"	12"	Green		
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13	Asplenium platyneuron	12"	12"	Green		
14	Asplenium platyneuron	12"	12"	Green		
15	Asplenium platyneuron	12"	12"	Green		
16	Asplenium platyneuron	12"	12"	Green		
17	Asplenium platyneuron	12"	12"	Green		
18	Asplenium platyneuron	12"	12"	Green		
19	Asplenium platyneuron	12"	12"	Green		
20	Asplenium platyneuron	12"	12"	Green		
21	Asplenium platyneuron	12"	12"	Green		
22	Asplenium platyneuron	12"	12"	Green		
23	Asplenium platyneuron	12"	12"	Green		
24	Asplenium platyneuron	12"	12"	Green		
25	Asplenium platyneuron	12"	12"	Green		
26	Asplenium platyneuron	12"	12"	Green		
27	Asplenium platyneuron	12"	12"	Green		
28	Asplenium platyneuron	12"	12"	Green		
29	Asplenium platyneuron	12"	12"	Green		
30	Asplenium platyneuron	12"	12"	Green		
31	Asplenium platyneuron	12"	12"	Green		
32	Asplenium platyneuron	12"	12"	Green		
33	Asplenium platyneuron	12"	12"	Green		
34	Asplenium platyneuron	12"	12"	Green		
35	Asplenium platyneuron	12"	12"	Green		
36	Asplenium platyneuron	12"	12"	Green		
37	Asplenium platyneuron	12"	12"	Green		
38	Asplenium platyneuron	12"	12"	Green		
39	Asplenium platyneuron	12"	12"	Green		
40	Asplenium platyneuron	12"	12"	Green		
41	Asplenium platyneuron	12"	12"	Green		
42	Asplenium platyneuron	12"	12"	Green		
43	Asplenium platyneuron	12"	12"	Green		
44	Asplenium platyneuron	12"	12"	Green		
45	Asplenium platyneuron	12"	12"	Green		
46	Asplenium platyneuron	12"	12"	Green		
47	Asplenium platyneuron	12"	12"	Green		
48	Asplenium platyneuron	12"	12"	Green		
49	Asplenium platyneuron	12"	12"	Green		
50	Asplenium platyneuron	12"	12"	Green		

EXISTING TREE LIST

Survey Completed 11/02/2021

SYMBOL	COMMON NAME	HEIGHT	SPREAD	CONDITION	REMARKS
1	Asplenium platyneuron	12"	12"	Good	
2	Asplenium platyneuron	12"	12"	Good	
3	Asplenium platyneuron	12"	12"	Good	
4	Asplenium platyneuron	12"	12"	Good	
5	Asplenium platyneuron	12"	12"	Good	
6	Asplenium platyneuron	12"	12"	Good	
7	Asplenium platyneuron	12"	12"	Good	
8	Asplenium platyneuron	12"	12"	Good	
9	Asplenium platyneuron	12"	12"	Good	
10	Asplenium platyneuron	12"	12"	Good	
11	Asplenium platyneuron	12"	12"	Good	
12	Asplenium platyneuron	12"	12"	Good	
13	Asplenium platyneuron	12"	12"	Good	
14	Asplenium platyneuron	12"	12"	Good	
15	Asplenium platyneuron	12"	12"	Good	
16	Asplenium platyneuron	12"	12"	Good	
17	Asplenium platyneuron	12"	12"	Good	
18	Asplenium platyneuron	12"	12"	Good	
19	Asplenium platyneuron	12"	12"	Good	
20	Asplenium platyneuron	12"	12"	Good	
21	Asplenium platyneuron	12"	12"	Good	
22	Asplenium platyneuron	12"	12"	Good	
23	Asplenium platyneuron	12"	12"	Good	
24	Asplenium platyneuron	12"	12"	Good	
25	Asplenium platyneuron	12"	12"	Good	
26	Asplenium platyneuron	12"	12"	Good	
27	Asplenium platyneuron	12"	12"	Good	
28	Asplenium platyneuron	12"	12"	Good	
29	Asplenium platyneuron	12"	12"	Good	
30	Asplenium platyneuron	12"	12"	Good	
31	Asplenium platyneuron	12"	12"	Good	
32	Asplenium platyneuron	12"	12"	Good	
33	Asplenium platyneuron	12"	12"	Good	
34	Asplenium platyneuron	12"	12"	Good	
35	Asplenium platyneuron	12"	12"	Good	
36	Asplenium platyneuron	12"	12"	Good	
37	Asplenium platyneuron	12"	12"	Good	
38	Asplenium platyneuron	12"	12"	Good	
39	Asplenium platyneuron	12"	12"	Good	
40	Asplenium platyneuron	12"	12"	Good	
41	Asplenium platyneuron	12"	12"	Good	
42	Asplenium platyneuron	12"	12"	Good	
43	Asplenium platyneuron	12"	12"	Good	
44	Asplenium platyneuron	12"	12"	Good	
45	Asplenium platyneuron	12"	12"	Good	
46	Asplenium platyneuron	12"	12"	Good	
47	Asplenium platyneuron	12"	12"	Good	
48	Asplenium platyneuron	12"	12"	Good	
49	Asplenium platyneuron	12"	12"	Good	
50	Asplenium platyneuron	12"	12"	Good	

Know what's Below. Call before you dig.

811

Know what's Below. Call before you dig.

LANDSCAPE PLAN
DESIGNED BY
JOSEPH D. DAVITT, P.L.A.
J. DAVITT DESIGN, INC.
(847) 459-8797

PRELIMINARY LANDSCAPE PLAN

SAFA PROPERTY, LLC
8060 Lakeside
Skokie, IL

VIP - LOMBARD
849 E. Roosevelt Road
Lombard, Illinois

Prepared For:

Prepared By:

W&S engineering resources

www.wandse.com | 2021 Chicago Woodbury Hwy | Aurora, IL 60101 | (630) 375-1400

CONTRACTOR: WALKER
CONSULTANT: W. WALKER
DATE: 02/25/2023
SCALE: 1/8" = 1'-0"

PRELIMINARY LANDSCAPE PLAN

L-1

NOTE:
ALL TREES AND UNDERSTORY PLANT MATERIAL
IN EXISTING WETLAND TO BE PRESERVED AS-IS.
NO CONSTRUCTION ACTIVITY TO BE ALLOWED IN
THIS AREA.

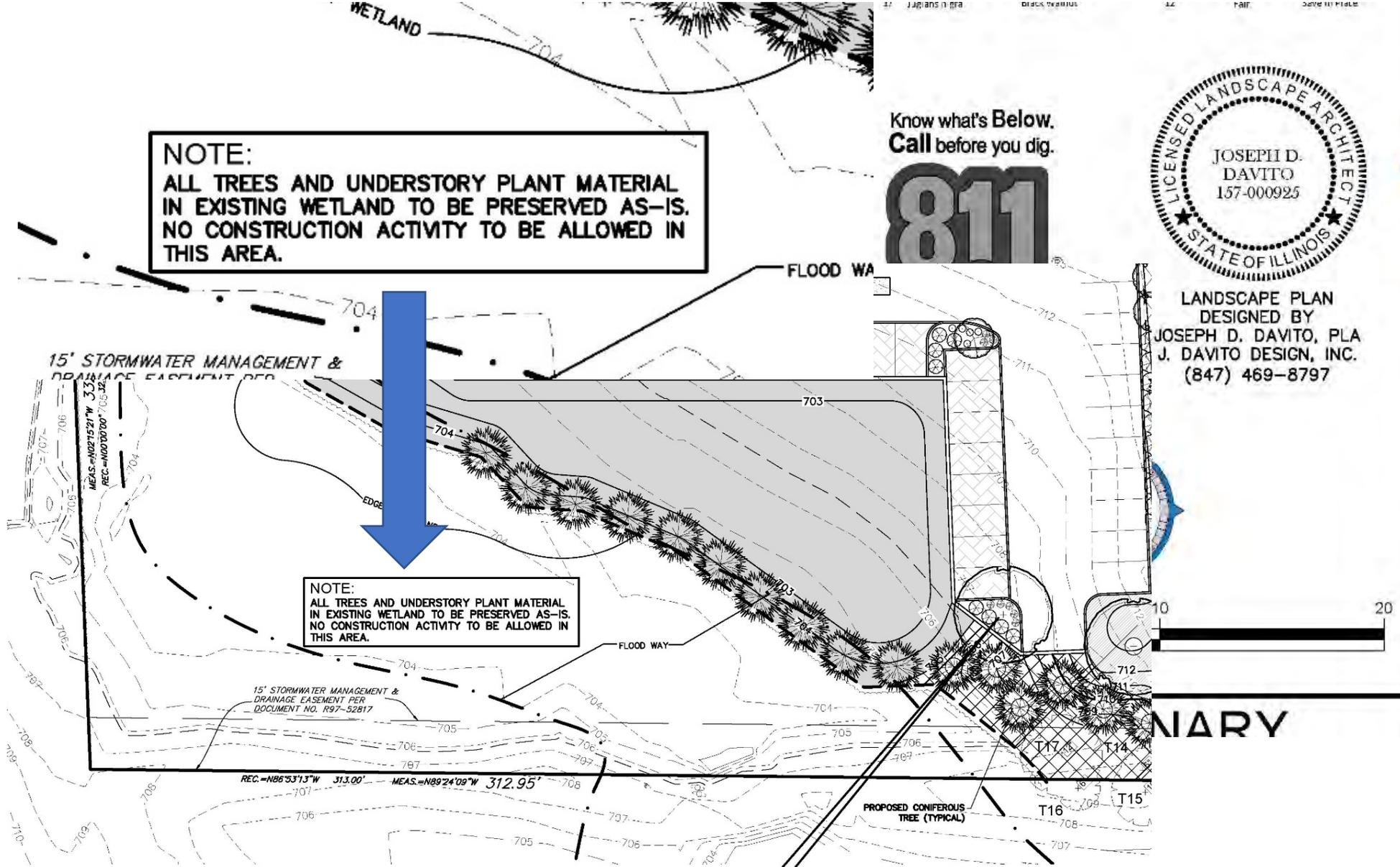
NOTE:
ALL TREES AND UNDERSTORY PLANT MATERIAL
IN EXISTING WETLAND TO BE PRESERVED AS-IS.
NO CONSTRUCTION ACTIVITY TO BE ALLOWED IN
THIS AREA.

NOTE:
CONTRACTOR TO MULCH ALL PLANT BEDS WITH
TWICE SHREDDED HARDWOOD BARK, DARK BROWN
IN COLOR, AND SPADE EDGE WHERE APPLICABLE
(TYP)

Know what's Below.
Call before you dig.
811



LANDSCAPE PLAN
DESIGNED BY
JOSEPH D. DAVITO, PLA
J. DAVITO DESIGN, INC.
(847) 469-8797



- GENERAL NOTES:**
1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT 87-2254 DATED 05/16/2021) PREPARED BY: GENTLE AND ASSOCIATES, INC. 550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 918-6282
 2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
 3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
 5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

NATIVE SEED LEGEND

	WET-MESIC DETENTION BASIN MIX GENESIS LO PRO MESC PRAIRIE W/FLOWERS
	MESC PRAIRIE MIX GENESIS LO PRO MESC PRAIRIE MIX W/FLOWERS

PLANT LIST (note: all plants to be selected from this list)

PLANT	COMMON NAME	HEIGHT	SPREAD	EXPOSURE	MOISTURE	SOIL
T1	Red Maple	40'	40'	S	W	W
T2	White Birch	30'	30'	S	W	W
T3	Black Birch	30'	30'	S	W	W
T4	White Pine	40'	40'	S	W	W
T5	Black Pine	40'	40'	S	W	W
T6	White Pine	40'	40'	S	W	W
T7	Black Pine	40'	40'	S	W	W
T8	White Pine	40'	40'	S	W	W
T9	Black Pine	40'	40'	S	W	W
T10	White Pine	40'	40'	S	W	W
T11	Black Pine	40'	40'	S	W	W
T12	White Pine	40'	40'	S	W	W
T13	Black Pine	40'	40'	S	W	W
T14	White Pine	40'	40'	S	W	W
T15	Black Pine	40'	40'	S	W	W
T16	White Pine	40'	40'	S	W	W
T17	Black Pine	40'	40'	S	W	W
T18	White Pine	40'	40'	S	W	W
T19	Black Pine	40'	40'	S	W	W
T20	White Pine	40'	40'	S	W	W

EXISTING TREE LIST

NO.	DATE	SP. NO.	SP. NAME	HT.	DBH.	COND.	LOC.	REMARKS
1	11/24/2021	101	Red Maple	40'	12"	W	101	Good
2	11/24/2021	102	White Birch	30'	10"	W	102	Good
3	11/24/2021	103	Black Birch	30'	10"	W	103	Good
4	11/24/2021	104	White Pine	40'	12"	W	104	Good
5	11/24/2021	105	Black Pine	40'	12"	W	105	Good
6	11/24/2021	106	White Pine	40'	12"	W	106	Good
7	11/24/2021	107	Black Pine	40'	12"	W	107	Good
8	11/24/2021	108	White Pine	40'	12"	W	108	Good
9	11/24/2021	109	Black Pine	40'	12"	W	109	Good
10	11/24/2021	110	White Pine	40'	12"	W	110	Good

EXISTING TREE LIST

NO.	DATE	SP. NO.	SP. NAME	HT.	DBH.	COND.	LOC.	REMARKS
11	11/24/2021	111	Red Maple	40'	12"	W	111	Good
12	11/24/2021	112	White Birch	30'	10"	W	112	Good
13	11/24/2021	113	Black Birch	30'	10"	W	113	Good
14	11/24/2021	114	White Pine	40'	12"	W	114	Good
15	11/24/2021	115	Black Pine	40'	12"	W	115	Good
16	11/24/2021	116	White Pine	40'	12"	W	116	Good
17	11/24/2021	117	Black Pine	40'	12"	W	117	Good
18	11/24/2021	118	White Pine	40'	12"	W	118	Good
19	11/24/2021	119	Black Pine	40'	12"	W	119	Good
20	11/24/2021	120	White Pine	40'	12"	W	120	Good

Know what's Below.
Call before you dig.
811

LANDSCAPE PLAN
DESIGNED BY
JOSEPH D. DAVITO, PLA
J. DAVITO DESIGN, INC.
(847) 469-8797



PRELIMINARY LANDSCAPE PLAN

SAFA PROPERTY, LLC
8080 Lawrenceville
Skokie, IL
VIP - LOMBARD
849 E. Roosevelt Road
Lombard, Illinois

Prepared For

Prepared By

Checked By: J. MILLER

Drawn By: C. SHACK

Date: DECEMBER 2, 2021

Scale: 1" = 20'

Project No.: 21052

WATSON ENGINEERING RESOURCES

PRELIMINARY LANDSCAPE PLAN

L-1

E. ROOSEVELT ROAD (ILLINOIS ROUTE 38)

EXISTING TREE LIST
Survey Completed 11/24/2021

Tree ID	Species	DBH (in)	Height (ft)	Health	Notes
T01	Black Walnut	12.0	25.0	Good	Remove
T02	Black Walnut	10.0	20.0	Good	Remove
T03	Black Walnut	8.0	18.0	Good	Remove
T04	Black Walnut	15.0	30.0	Good	Remove
T05	Black Walnut	11.0	22.0	Good	Remove
T06	Black Walnut	9.0	19.0	Good	Remove
T07	Black Walnut	13.0	27.0	Good	Remove
T08	Black Walnut	10.0	21.0	Good	Remove
T09	Black Walnut	12.0	24.0	Good	Remove
T10	Black Walnut	11.0	23.0	Good	Remove
T11	Black Walnut	14.0	28.0	Good	Remove
T12	Black Walnut	10.0	20.0	Good	Remove
T13	Black Walnut	12.0	25.0	Good	Remove
T14	Black Walnut	11.0	22.0	Good	Remove
T15	Black Walnut	13.0	27.0	Good	Remove
T16	Black Walnut	10.0	21.0	Good	Remove
T17	Black Walnut	12.0	24.0	Good	Remove
T18	Black Walnut	11.0	23.0	Good	Remove
T19	Black Walnut	13.0	27.0	Good	Remove
T20	Black Walnut	10.0	21.0	Good	Remove
T21	Black Walnut	12.0	24.0	Good	Remove
T22	Black Walnut	11.0	22.0	Good	Remove
T23	Black Walnut	13.0	27.0	Good	Remove
T24	Black Walnut	10.0	21.0	Good	Remove
T25	Black Walnut	12.0	24.0	Good	Remove
T26	Black Walnut	11.0	22.0	Good	Remove
T27	Black Walnut	13.0	27.0	Good	Remove
T28	Black Walnut	10.0	21.0	Good	Remove
T29	Black Walnut	12.0	24.0	Good	Remove
T30	Black Walnut	11.0	22.0	Good	Remove
T31	Black Walnut	13.0	27.0	Good	Remove
T32	Black Walnut	10.0	21.0	Good	Remove
T33	Black Walnut	12.0	24.0	Good	Remove
T34	Black Walnut	11.0	22.0	Good	Remove
T35	Black Walnut	13.0	27.0	Good	Remove
T36	Black Walnut	10.0	21.0	Good	Remove
T37	Black Walnut	12.0	24.0	Good	Remove
T38	Black Walnut	11.0	22.0	Good	Remove
T39	Black Walnut	13.0	27.0	Good	Remove
T40	Black Walnut	10.0	21.0	Good	Remove
T41	Black Walnut	12.0	24.0	Good	Remove
T42	Black Walnut	11.0	22.0	Good	Remove
T43	Black Walnut	13.0	27.0	Good	Remove
T44	Black Walnut	10.0	21.0	Good	Remove
T45	Black Walnut	12.0	24.0	Good	Remove
T46	Black Walnut	11.0	22.0	Good	Remove
T47	Black Walnut	13.0	27.0	Good	Remove
T48	Black Walnut	10.0	21.0	Good	Remove
T49	Black Walnut	12.0	24.0	Good	Remove
T50	Black Walnut	11.0	22.0	Good	Remove
T51	Black Walnut	13.0	27.0	Good	Remove
T52	Black Walnut	10.0	21.0	Good	Remove
T53	Black Walnut	12.0	24.0	Good	Remove
T54	Black Walnut	11.0	22.0	Good	Remove
T55	Black Walnut	13.0	27.0	Good	Remove
T56	Black Walnut	10.0	21.0	Good	Remove
T57	Black Walnut	12.0	24.0	Good	Remove
T58	Black Walnut	11.0	22.0	Good	Remove
T59	Black Walnut	13.0	27.0	Good	Remove
T60	Black Walnut	10.0	21.0	Good	Remove
T61	Black Walnut	12.0	24.0	Good	Remove
T62	Black Walnut	11.0	22.0	Good	Remove
T63	Black Walnut	13.0	27.0	Good	Remove
T64	Black Walnut	10.0	21.0	Good	Remove
T65	Black Walnut	12.0	24.0	Good	Remove
T66	Black Walnut	11.0	22.0	Good	Remove
T67	Black Walnut	13.0	27.0	Good	Remove
T68	Black Walnut	10.0	21.0	Good	Remove
T69	Black Walnut	12.0	24.0	Good	Remove
T70	Black Walnut	11.0	22.0	Good	Remove
T71	Black Walnut	13.0	27.0	Good	Remove
T72	Black Walnut	10.0	21.0	Good	Remove
T73	Black Walnut	12.0	24.0	Good	Remove
T74	Black Walnut	11.0	22.0	Good	Remove
T75	Black Walnut	13.0	27.0	Good	Remove
T76	Black Walnut	10.0	21.0	Good	Remove
T77	Black Walnut	12.0	24.0	Good	Remove
T78	Black Walnut	11.0	22.0	Good	Remove
T79	Black Walnut	13.0	27.0	Good	Remove
T80	Black Walnut	10.0	21.0	Good	Remove
T81	Black Walnut	12.0	24.0	Good	Remove
T82	Black Walnut	11.0	22.0	Good	Remove
T83	Black Walnut	13.0	27.0	Good	Remove
T84	Black Walnut	10.0	21.0	Good	Remove
T85	Black Walnut	12.0	24.0	Good	Remove
T86	Black Walnut	11.0	22.0	Good	Remove
T87	Black Walnut	13.0	27.0	Good	Remove
T88	Black Walnut	10.0	21.0	Good	Remove
T89	Black Walnut	12.0	24.0	Good	Remove
T90	Black Walnut	11.0	22.0	Good	Remove
T91	Black Walnut	13.0	27.0	Good	Remove
T92	Black Walnut	10.0	21.0	Good	Remove
T93	Black Walnut	12.0	24.0	Good	Remove
T94	Black Walnut	11.0	22.0	Good	Remove
T95	Black Walnut	13.0	27.0	Good	Remove
T96	Black Walnut	10.0	21.0	Good	Remove
T97	Black Walnut	12.0	24.0	Good	Remove
T98	Black Walnut	11.0	22.0	Good	Remove
T99	Black Walnut	13.0	27.0	Good	Remove
T100	Black Walnut	10.0	21.0	Good	Remove

GENERAL NOTES:

- THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/18/2021) PREPARED BY: GENTLE AND ASSOCIATES, INC. 550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 918-6282
- ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
- WHERE FEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

TREE PRESERVATION NOTES:

- TREES WHICH ARE NOTED TO REMAIN AND BE PROTECTED SHALL HAVE PROTECTIVE FENCING INSTALLED PER THE DETAIL PROVIDED. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY ON SITE, ANY DAMAGE DONE TO A PROTECTED TREE DURING CONSTRUCTION SHALL BE REPORTED TO THE LANDSCAPE DESIGNER.
- TREES WHICH ARE NOTED TO BE REMOVED SHALL HAVE THE STUMP GRIND DOWN A MINIMUM OF 18" BELOW THE ADJACENT GRADE UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE AND AGREED TO BY THE OWNER AND LANDSCAPE DESIGNER. ALL DEBRIS FROM THE REMOVED TREE/STUMP SHALL BE HAULED OFF-SITE.
- ALL DISTURBED AREAS SHALL BE RESTORED TO MATCH EXISTING OR PROPOSED CONDITIONS, INCLUDING BACKFILLING OF HOLES LEFT FROM LANDSCAPE MATERIAL REMOVAL. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
- TREES WHICH ARE NOTED TO BE PRUNED SHALL BE PRUNED BY AN U.S.A. CERTIFIED ARBORIST UNLESS OTHERWISE APPROVED BY THE LANDSCAPE DESIGNER.
- NO CONSTRUCTION ACTIVITY, AND/OR PLACEMENT OF EQUIPMENT, MATERIALS, OR SPOILS STORAGE SHALL BE PERMITTED WITHIN THE ROOT ZONE OF ANY PROTECTED TREE. NO EXCESS SOIL, ADDITIONAL FILL, CRUSHED LIMESTONE, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE ROOT ZONE OR LOCATED AT A HIGHER LOCATION WHERE DRAINAGE TOWARD THE TREES COULD POTENTIALLY AFFECT THE HEALTH OF SAID TREES.
- IN THE EVENT THAT AN UNDERGROUND UTILITY LINE/PIPE IS PROPOSED TO BE LOCATED WITHIN FIVE FEET OF THE TRUNK OF A TREE DESIGNATED FOR PRESERVATION, THAT UTILITY LINE/PIPE SHALL (WHERE POSSIBLE) BE AGREED TO PREVENT DAMAGE TO THE ROOT SYSTEM OF THE TREE.
- DURING THE CONSTRUCTION PERIOD NO ATTACHMENTS, SIGNS, FENCES, WIRES, ETC. OTHER THAN APPROVED FOR BRACING, GUYING OR WRAPPING, SHALL BE ATTACHED TO ANY TREE.
- UNLESS OTHERWISE NOTED ALL EXISTING ON-SITE PLANT MATERIAL, NOT EFFECTED BY CONSTRUCTION OR THE PROPOSED LANDSCAPE, SHALL BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED.
- TREES WHICH ARE NOTED TO REMAIN AND BE PROTECTED, AND WHOSE CANOPIES/ROOT SYSTEMS FALL WITHIN AN AREA OF DEMOLITION/CONSTRUCTION, SHALL HAVE ALL ROOTS EXPOSED BY HAND AND CLEANLY PRUNED, USING U.S.A. APPROVED METHODS.
- ALL EXISTING TREE LOCATIONS SHOWN ON THIS PLAN WERE TRANSFERRED FROM ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY PREPARED BY GENTLE AND ASSOCIATES, INC. DATED AUGUST 18, 2021. SPECIFIC TREE INFORMATION CONTAINED IN THE EXISTING TREE LIST WAS BASED ON SITE SURVEY PERFORMED ON NOVEMBER 24, 2021.

NOTE:
REMOVE DEAD BRANCHES AND CLEAN UP (3) EXISTING CRABAPPLE TREES THAT ARE TO REMAIN WITHIN ROOSEVELT ROAD RIGHT OF WAY.

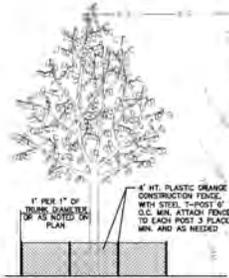
NOTE:
ALL TREES IN THIS HEAVILY WOODED AREA ARE COMPRISED OF SUCKER GROWTH SAPLINGS GROWING FROM STUMPS OF TREES REMOVED IN A PREVIOUS SITE CLEARING OPERATION AND WILL BE REMOVED. THE MAJORITY OF THESE TREES ARE BLACK WALNUT AND EASTERN COTTONTWOOD.

NOTE:
CONTRACTOR TO COORDINATE WITH ADJACENT PROPERTY OWNERS, THE REMOVAL OF ALL OVERHANGING BRANCHES AS NEEDED TO PROVIDE ADEQUATE GROWING CONDITIONS FOR PROPOSED LANDSCAPE OR TO OTHERWISE ADDRESS ANY SAFETY OR SITE FUNCTIONALITY CONCERNS.

NOTE:
ALL EXISTING TREES AND UNDERGROWTH IN WETLAND AREA TO BE PRESERVED IN PLACE. NO GRADING OR CONSTRUCTION ACTIVITY IS TO OCCUR IN THIS AREA.

TREE PRESERVATION AND REMOVALS KEY

- X - REMOVE EXISTING TREE INCLUDING STUMP AND STUMP GRINDINGS/REMOVE BRUSH.
- P - EXISTING TREE TO BE PROTECTED
- [] - TREE PROTECTION FENCE



TREE PROTECTION DETAIL
NOT TO SCALE.



LANDSCAPE PLAN
DESIGNED BY:
JOSEPH D. DAVITO, P.L.A.
J. DAVITO DESIGN, INC.
(847) 459-8797



TREE SURVEY & PRESERVATION PLAN

DATE: 11/24/21
PROJECT: 21-22354
DRAWN: J. DAVITO
CHECKED: J. WALKER
SCALE: AS SHOWN
DATE: 11/24/21
PROJECT: 21-22354

SAFA PROPERTY, LLC
8060 Lakeside
Skokie, IL
VIP - LOMBARD
849 E. Roosevelt Road
Lombard, Illinois

Prepared For:

Prepared By:

www.watsoengineering.com | 2021 Dodge Wood Proy | Aurora, IL 60102 | (630) 375-1422

Watso engineering
RESOURCES

DATE: 11/24/21
PROJECT: 21-22354
SCALE: AS SHOWN

L-2

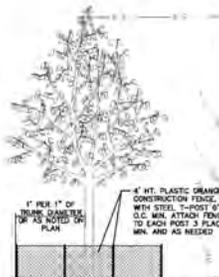
TREE SURVEY & PRESERVATION PLAN

NOTE:

ALL EXISTING TREES AND UNDERGROWTH IN WETLAND AREA TO BE PRESERVED IN PLACE. NO GRADING OR CONSTRUCTION ACTIVITY IS TO OCCUR IN THIS AREA.



NOTE:
ALL EXISTING TREES AND UNDERGROWTH IN WETLAND AREA TO BE PRESERVED IN PLACE. NO GRADING OR CONSTRUCTION ACTIVITY IS TO OCCUR IN THIS AREA.



NOTE:
ALL TREES IN THIS HEAVILY WOODED AREA ARE COMPRISED OF SUCKER GROWTH SAPLINGS GROWING FROM STUMPS OF TREES REMOVED IN A PREVIOUS SITE CLEARING OPERATION AND WILL BE REMOVED. THE MAJORITY OF THESE TREES ARE BLACK WALNUT AND EASTERN COTTONWOOD.

EXISTING TREE LIST

Survey Completed 11/24/2021

ID#	COMMON NAME	SCIENTIFIC NAME	DBH	HEIGHT	HEALTH/CONDITION	REMARKS
T01	Black Walnut	Juglans nigra	12"	15'	Good	
T02	Black Walnut	Juglans nigra	10"	12'	Good	
T03	Black Walnut	Juglans nigra	8"	10'	Good	
T04	Black Walnut	Juglans nigra	6"	8'	Good	
T05	Black Walnut	Juglans nigra	4"	6'	Good	
T06	Black Walnut	Juglans nigra	3"	5'	Good	
T07	Black Walnut	Juglans nigra	2"	4'	Good	
T08	Black Walnut	Juglans nigra	1"	3'	Good	
T09	Black Walnut	Juglans nigra	1"	3'	Good	
T10	Black Walnut	Juglans nigra	1"	3'	Good	
T11	Black Walnut	Juglans nigra	1"	3'	Good	
T12	Black Walnut	Juglans nigra	1"	3'	Good	
T13	Black Walnut	Juglans nigra	1"	3'	Good	
T14	Black Walnut	Juglans nigra	1"	3'	Good	
T15	Black Walnut	Juglans nigra	1"	3'	Good	
T16	Black Walnut	Juglans nigra	1"	3'	Good	
T17	Black Walnut	Juglans nigra	1"	3'	Good	
T18	Black Walnut	Juglans nigra	1"	3'	Good	
T19	Black Walnut	Juglans nigra	1"	3'	Good	
T20	Black Walnut	Juglans nigra	1"	3'	Good	
T21	Black Walnut	Juglans nigra	1"	3'	Good	
T22	Black Walnut	Juglans nigra	1"	3'	Good	
T23	Black Walnut	Juglans nigra	1"	3'	Good	
T24	Black Walnut	Juglans nigra	1"	3'	Good	
T25	Black Walnut	Juglans nigra	1"	3'	Good	
T26	Black Walnut	Juglans nigra	1"	3'	Good	
T27	Black Walnut	Juglans nigra	1"	3'	Good	
T28	Black Walnut	Juglans nigra	1"	3'	Good	
T29	Black Walnut	Juglans nigra	1"	3'	Good	
T30	Black Walnut	Juglans nigra	1"	3'	Good	
T31	Black Walnut	Juglans nigra	1"	3'	Good	
T32	Black Walnut	Juglans nigra	1"	3'	Good	
T33	Black Walnut	Juglans nigra	1"	3'	Good	
T34	Black Walnut	Juglans nigra	1"	3'	Good	
T35	Black Walnut	Juglans nigra	1"	3'	Good	
T36	Black Walnut	Juglans nigra	1"	3'	Good	
T37	Black Walnut	Juglans nigra	1"	3'	Good	
T38	Black Walnut	Juglans nigra	1"	3'	Good	
T39	Black Walnut	Juglans nigra	1"	3'	Good	
T40	Black Walnut	Juglans nigra	1"	3'	Good	
T41	Black Walnut	Juglans nigra	1"	3'	Good	
T42	Black Walnut	Juglans nigra	1"	3'	Good	
T43	Black Walnut	Juglans nigra	1"	3'	Good	
T44	Black Walnut	Juglans nigra	1"	3'	Good	

- GENERAL NOTES:**
1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-2254 DATED 08/16/2021) PREPARED BY: GENTLE AND ASSOCIATES, INC. 850 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 918-6282
 2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
 3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
 5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

TREE PRESERVATION NOTES:

1. TREES WHICH ARE NOTED TO REMAIN AND BE PROTECTED SHALL HAVE PROTECTIVE FENCING INSTALLED PER THE DETAIL PROVIDED. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY ON SITE ANY DAMAGE DONE TO A PROTECTED TREE DURING CONSTRUCTION SHALL BE REPORTED TO THE LANDSCAPE DESIGNER.
2. TREES WHICH ARE NOTED TO BE REMOVED SHALL HAVE THE STUMP GROUND DOWN A MINIMUM OF 18" BELOW THE ADJACENT GRADE UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE AND AGREED TO BY THE OWNER AND LANDSCAPE DESIGNER. ALL DEBRIS FROM THE REMOVED TREE/STUMP SHALL BE HAULED OFF-SITE.
3. ALL DISTURBED AREAS SHALL BE RESTORED TO MATCH EXISTING OR PROPOSED CONDITIONS, INCLUDING BACKFILLING OF HOLES LEFT FROM LANDSCAPE MATERIAL REMOVAL. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
4. TREES WHICH ARE NOTED TO BE PRUNED SHALL BE PRUNED BY AN I.S.A. CERTIFIED ARBORIST UNLESS OTHERWISE APPROVED BY THE LANDSCAPE DESIGNER.
5. NO CONSTRUCTION ACTIVITY, AND/OR PLACEMENT OF EQUIPMENT, MATERIALS, OR SPOILS STORAGE SHALL BE PERMITTED WITHIN THE ROOT ZONE OF ANY PROTECTED TREE. NO EXCESS SOIL, ADDITIONAL FILL, CRUSHED LIMESTONE, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE ROOT ZONE OR LOCATED AT A HIGHER LOCATION WHERE DRAINAGE TOWARD THE TREES COULD POTENTIALLY AFFECT THE HEALTH OF SAID TREES.
6. IN THE EVENT THAT AN UNDERGROUND UTILITY LINE/PIPE IS PROPOSED TO BE LOCATED WITHIN FIVE FEET OF THE TRUNK OF A TREE DESIGNATED FOR PRESERVATION, THAT UTILITY LINE/PIPE SHALL (WHERE POSSIBLE) BE ADJUSTED TO PREVENT DAMAGE TO THE ROOT SYSTEM OF THE TREE.
7. DURING THE CONSTRUCTION PERIOD NO ATTACHMENTS, SIGNS, FENCES, WIRES, ETC. OTHER THAN APPROVED FOR BRACING, CUTTING OR WRAPPING, SHALL BE ATTACHED TO ANY TREE.
8. UNLESS OTHERWISE NOTED ALL EXISTING ON-SITE PLANT MATERIAL, NOT EFFECTED BY CONSTRUCTION OR THE PROPOSED LANDSCAPE, SHALL BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED.
9. TREES WHICH ARE NOTED TO REMAIN AND BE PROTECTED, AND WHOSE CANOPIES/ROOT SYSTEMS FALL WITHIN AN AREA OF DEMOLITION/CONSTRUCTION, SHALL HAVE ALL ROOTS EXPOSED BY HAND AND CLEARLY PRUNED, USING I.S.A. APPROVED METHODS.
10. ALL EXISTING TREE LOCATIONS SHOWN ON THIS PLAN WERE TRANSFERRED FROM ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY PREPARED BY GENTLE AND ASSOCIATES, INC. DATED AUGUST 16, 2021. SPECIFIC TREE INFORMATION CONTAINED IN THIS EXISTING TREE LIST WAS BASED ON SITE SURVEY PERFORMED ON NOVEMBER 24, 2021.

NOTE:
CONTRACTOR TO COORDINATE WITH ADJACENT PROPERTY OWNERS, THE REMOVAL OF ALL OVERHANGING BRANCHES IS NEEDED TO PROVIDE ADEQUATE GROWING CONDITIONS FOR PROPOSED LANDSCAPE OR TO OTHERWISE ADDRESS ANY SAFETY OR SITE FUNCTIONALITY CONCERNS.

TREE PRESERVATION AND REMOVALS KEY

- X = REMOVE EXISTING TREE INCLUDING STUMP AND STUMP GRINDINGS/REMOVE BRUSH.
- P = EXISTING TREE TO BE PROTECTED
- [] = TREE PROTECTION FENCE



LANDSCAPE PLAN
DESIGNED BY
JOSEPH D. DAVITO, P.L.A.
J. DAVITO DESIGN, INC.
(847) 469-8797



TREE SURVEY & PRESERVATION PLAN

DATE: 11/24/21
DRAWN BY: J. MILLER
CHECKED BY: J. MILLER
PROJECT NO.: 21-002

SAFA PROPERTY, LLC
8080 Lawndale
Skokie, IL
VIP - LOMBARD
849 E. Roosevelt Road
Lombard, Illinois

Prepared For:

Prepared By:

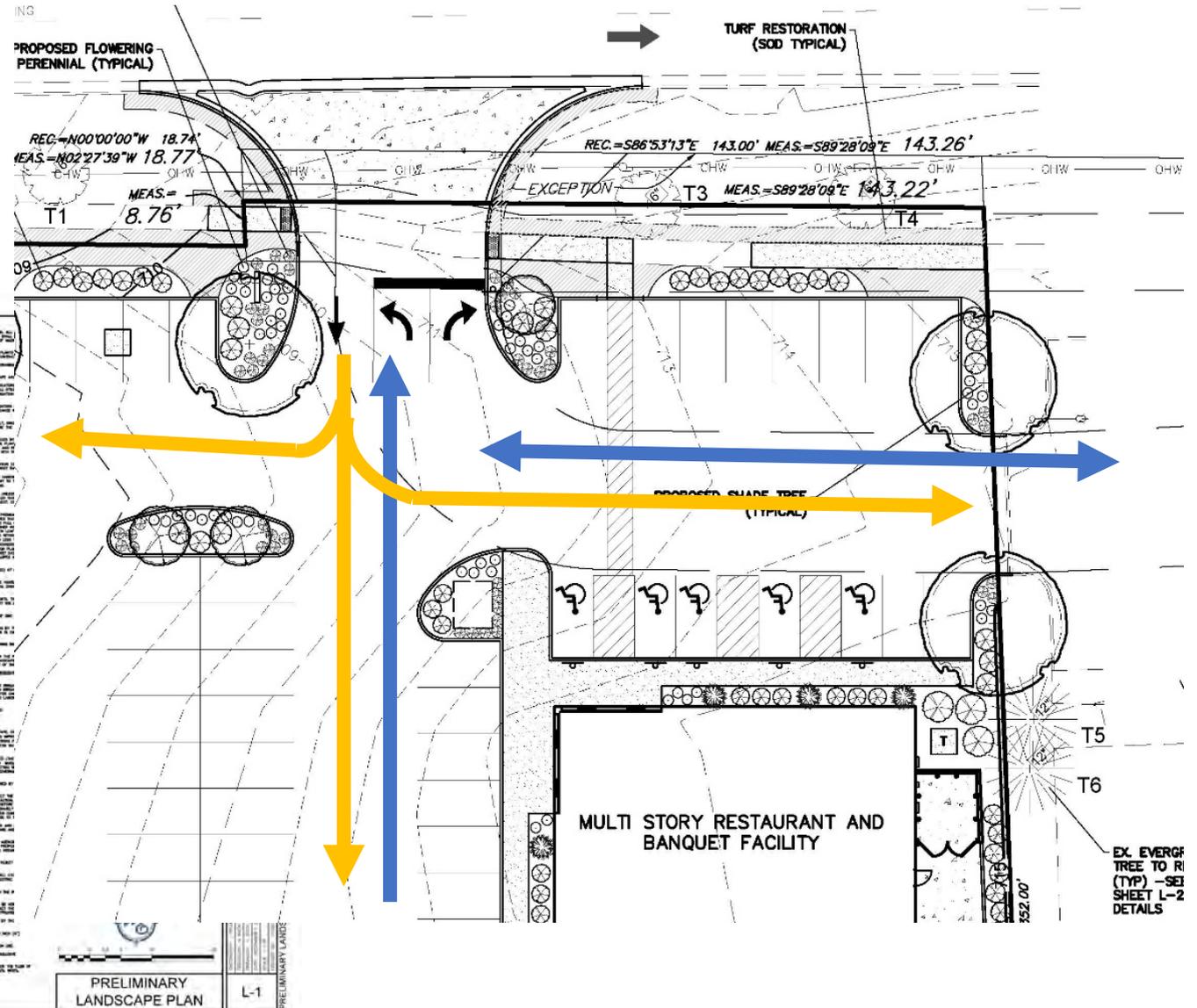
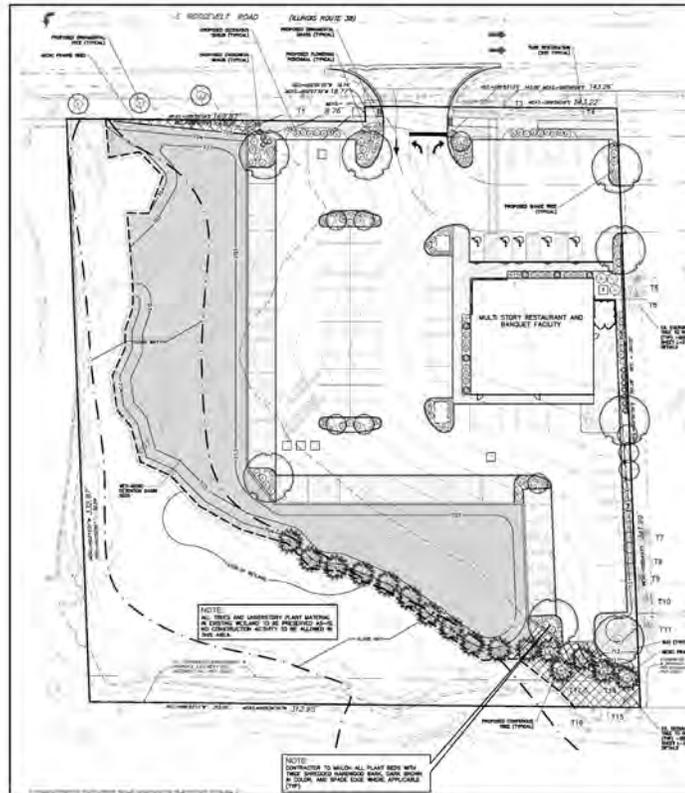
www.watmark-engineering.com | 2851 Biogr Woodse Hwy | Aurora, IL 60102 | (630) 875-1975

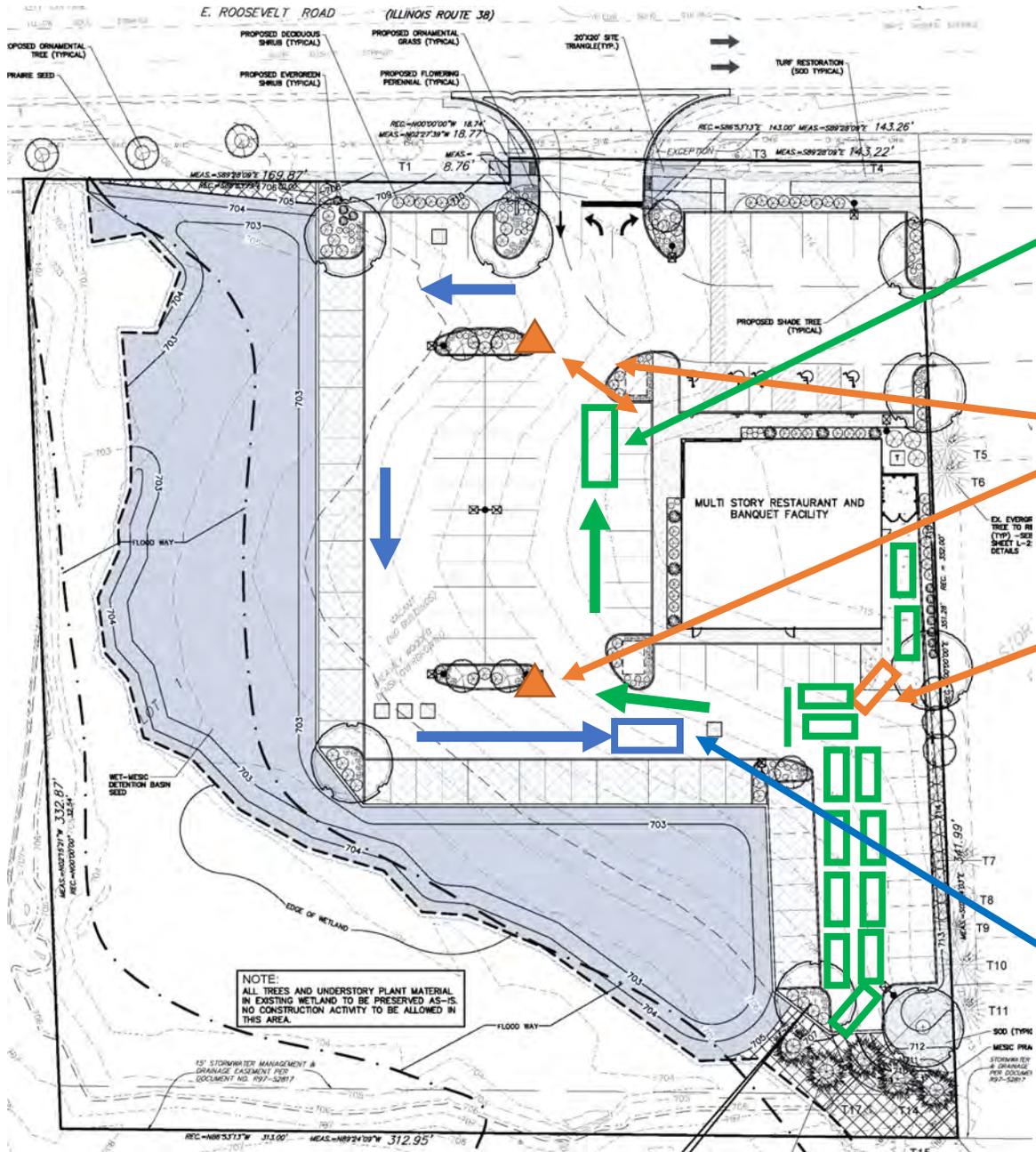
Watmark Engineering Resources

DATE: DECEMBER 9, 2021
SCALE: 1"=20'

L-2

PARKING DESIGN





VALET RETRIEVE

VALET DIRECTIONAL SIGNS
(sandwich board, no variations)

VALET BACKING AREA

VALET DROP

PARKING SUPPLY

FLOOR	SEATS	DINING AREA
Cellar	0	0 SF
First	92	1,530 SF
Second	156	2,140 SF
Third (indoor)	72	1,600 SF
Third (outdoor)	28	770 SF
TOTAL	348	5,270 SF - 6,040 SF

ONE (1) SPACE PER THREE (3) SEATS
 PLUS 15 WITH OFF-SITE EMPLOYEE SPACES
 PLUS 15-18 WITH VALET OPERATION
 MAXIMUM EMPLOYEE SHIFT OF 22

INSTITUTE OF TRAFFIC ENGINEERS DATA
 SUBMITTED WITH APPLICATION SAYS THE
 SUPPLY IS SUFFICIENT FOR THE USE

60% IS THE NORMAL DINING AREA
 28-32% IS THE PROJECT DINING AREA

KLOA/STAFF
 NEIGHBORS

104
 7

GENERAL NOTES:
 1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/16/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 916-6262
 2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
 3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
 5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

<u>ON SITE PARKING DATA</u>	
REGULAR SPACES	108
EMPLOYEE ONLY SPACES	3
ADA ACCESSIBLE SPACES	5
TOTAL SPACES	116

<u>SITE DATA</u>	
LOT AREA	= 105,372 S.F. (2.42 AC.)
BUILDING AREA	= 18,593 S.F. (INCLUDING CELLAR AND ROOF TOP)
F.A.R.	= 0.18

DIMENSION LEGEND

F	= FACE	FNC	= FENCE
FND	= FOUNDATION	R	= RADIUS
B	= BACK	C	= CENTER
E	= EDGE	PL	= PROPERTY LINE

NO.	REVISIONS		DATE
	DESCRIPTION	DATE	
1	NEW SITE PLAN TO AVOID WETLAND	1/12/22	
2	PER VILLAGE CALL ON 2/01/22	2/03/22	
Prepared For:			
PROPERTY, LLC Lawndale Lokie, IL LOMBARD Roosevelt Road Lombard, Illinois			

COMPARISON OF PARKING REGULATIONS AND EFFECT

MUNICIPALITY	PER 1000	SEATS	EMPLOYEE	BAR	GFA DEFINITION	PROJECT
Addison	33	N/A	N/A	N/A	Dining + Kitchen	295
Arlington Heights	22	N/A	N/A	N/A	Seating area only	184
Bensenville	10	N/A	N/A	1:100 SF	Gross, no exclusions	131
Bloomington	13	N/A	N/A	1 per 30%	Gross, limited exclusions	167
Burr Ridge	10	N/A	1:1 emp	N/A	Dining + Kitchen	122
Carol Stream	16	N/A	N/A	N/A	Dining + Kitchen	130
Downers Grove	10	1:4 seats	N/A	N/A	Gross, limited exclusions	131
DuPage County	15	N/A	N/A	N/A	Gross, limited exclusions	208
Elmhurst	10	N/A	N/A	N/A	Gross, limited exclusions	122
Glen Ellyn	N/A	1:3 seats	N/A	N/A	Dining + Kitchen	116
Glendale Heights	10	N/A	N/A	N/A	All no basement	139
Hinsdale	5	1:3 seats	1:2 emp	N/A	Dining + Kitchen	126
Lisle	10	1:3 seats	1:3 emp	N/A	Seating	123
Lombard <7000	16	N/A	N/A	N/A	Gross, limited exclusions	158
Lombard >7000 Min	18.5	N/A	N/A	N/A	Gross, limited exclusions	181
Lombard Project	26.7	N/A	N/A	N/A	Gross, limited exclusions	246
Naperville	10	N/A	N/A	N/A	All no basement	139
Oak Brook	10	N/A	N/A	N/A	All no basement midwall	128
Oak Park	4	N/A	N/A	N/A	Gross, no exclusions	37
Oakbrook Terrace	12	N/A	N/A	N/A	Gross, limited exclusions	161
Orland Park	10	N/A	N/A	N/A	Gross, no exclusions	180
Schaumburg	16	N/A	N/A	N/A	Dining + Most Kitchen	90
Skokie	10	N/A	N/A	N/A	Gross, many exclusions	110
St. Charles	10	N/A	N/A	N/A	Gross, limited exclusions	180
Villa Park	N/A	3:1 seats	N/A	N/A	All no basement	127
West Chicago	10	N/A	N/A	N/A	All no basement	138
Westmont	10	4:1 seats	2:3 emp	N/A	Gross, many exclusions	106
Wheaton	15	N/A	N/A	N/A	Gross, excludes most, note that it is also TBD by code Council approval	131
Woodridge	12	N/A	N/A	N/A	Dining + Kitchen	98

PARKING SUFFICIENT IN:
 Bensenville, Burr Ridge,
 Carol Stream, Downers
 Grove, Elmhurst, Glen
 Ellyn, Hinsdale, Lisle,
 Oak Brook, Oak Park,
 Schaumburg, Skokie,
 Villa Park, Westmont,
 Wheaton, Woodridge

60% IS THE NORMAL
 DINING AREA
 28-32% IS PROJECT
 DINING AREA

LOMBARD

<10 OF:
 Naperville,
 West Chicago

Wheaton determines parking on
 each project without variations.



Land Use: 931 Quality Restaurant

Description

This land use consists of high quality, full-service eating establishments with a typical duration of stay of at least one hour. They are also commonly referred to as fine dining. Quality restaurants generally do not serve breakfast; some do not serve lunch; all serve dinner. This type of restaurant often requests and sometimes requires a reservation and is generally not part of a chain. A patron commonly waits to be seated, is served by wait staff, orders from a menu and pays after the meal. Some of the study sites have lounge or bar facilities (serving alcoholic beverages), but they are ancillary to the restaurant. Fast casual restaurant (Land Use 930) and high-turnover (sit-down) restaurant (Land Use 932) are related uses.

Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a Monday-through-Thursday weekday (one study site) and a Friday (one study site) in a general urban/suburban setting.

Hour Beginning	Percent of Peak Parking Demand	
	Weekday	Friday
12:00–4:00 a.m.	–	–
5:00 a.m.	–	–
6:00 a.m.	–	–
7:00 a.m.	–	–
8:00 a.m.	–	–
9:00 a.m.	–	–
10:00 a.m.	–	–
11:00 a.m.	20	11
12:00 p.m.	51	37
1:00 p.m.	56	54
2:00 p.m.	40	29
3:00 p.m.	27	22
4:00 p.m.	27	14
5:00 p.m.	39	18
6:00 p.m.	71	42
7:00 p.m.	100	91
8:00 p.m.	97	100
9:00 p.m.	–	–

Quality Restaurant (931)

Peak Period Parking Demand vs: Seats
On a: Friday
Setting/Location: General Urban/Suburban
Peak Period of Parking Demand: 7:00 - 9:00 p.m.
 Number of Studies: 9
 Avg. Num. of Seats: 189

Peak Period Parking Demand per Seat

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.47	0.24 - 1.00	0.33 / 0.86	***	0.22 (47%)

Quality Restaurant (931)

Peak Period Parking Demand vs: 1000 Sq. Ft. GFA
On a: Friday
Setting/Location: General Urban/Suburban
Peak Period of Parking Demand: 7:00 - 9:00 p.m.
 Number of Studies: 11
 Avg. 1000 Sq. Ft. GFA: 6.1

Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
14.84	7.84 - 29.70	11.93 / 22.52	***	5.32 (36%)

Land Use: 932 High-Turnover (Sit-Down) Restaurant

Description

This land use consists of sit-down, full-service eating establishments with a typical duration of stay of 60 minutes or less. They are commonly referred to as casual dining. This type of restaurant is usually moderately priced and frequently belongs to a restaurant chain. Generally, these restaurants serve lunch and dinner; they may also be open for breakfast and are sometimes open 24 hours a day. These restaurants typically do not accept reservations. A patron commonly waits to be seated, is served by wait staff, orders from a menu, and pays after the meal. Some facilities offer carry-out for a small proportion of its customers. Some facilities within this land use may also contain lounge or bar area for serving food and alcoholic drinks. Fast casual restaurant (Land Use 930), quality restaurant (Land Use 931), fast-food restaurant without drive-through window (Land Use 933), and fast-food restaurant with drive-through window (Land Use 934) are related uses.

The analysis of parking demand for this land use has identified different parking demand rates between high-turnover restaurants with and without lounges. The term "family restaurant" is used interchangeably as an abbreviated version of "high-turnover (sit-down) restaurant without lounge or bar facilities."

Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday at family restaurants that serve breakfast, lunch, and dinner (12 study sites); family restaurants that serve lunch and dinner (38 sites), and restaurants with a lounge or bar (four sites).

Hour Beginning	Percent of Weekday Peak Parking Demand		
	Family (breakfast, lunch, and dinner)	Family (lunch and dinner)	Lounge or Bar
12:00-4:00 a.m.	—	—	—
5:00 a.m.	—	—	—
6:00 a.m.	10	—	—
7:00 a.m.	25	—	—
8:00 a.m.	68	—	—
9:00 a.m.	72	—	—
10:00 a.m.	77	26	9
11:00 a.m.	83	43	15
12:00 p.m.	100	95	100
1:00 p.m.	91	95	81
2:00 p.m.	56	49	54
3:00 p.m.	42	39	33
4:00 p.m.	42	37	26
5:00 p.m.	64	62	29
6:00 p.m.	87	99	58
7:00 p.m.	79	100	70
8:00 p.m.	65	83	77
9:00 p.m.	42	51	61
10:00 p.m.	21	28	41
11:00 p.m.	—	—	—

High-Turnover (Sit Down) Restaurant - Family (932)

Peak Period Parking Demand vs: Seats
On a: Friday
Setting/Location: General Urban/Suburban
Peak Period of Parking Demand: 12:00 - 1:00 p.m.; 6:00 - 8:00 p.m.
 Number of Studies: 5
 Avg. Num. of Seats: 91

Peak Period Parking Demand per Seat

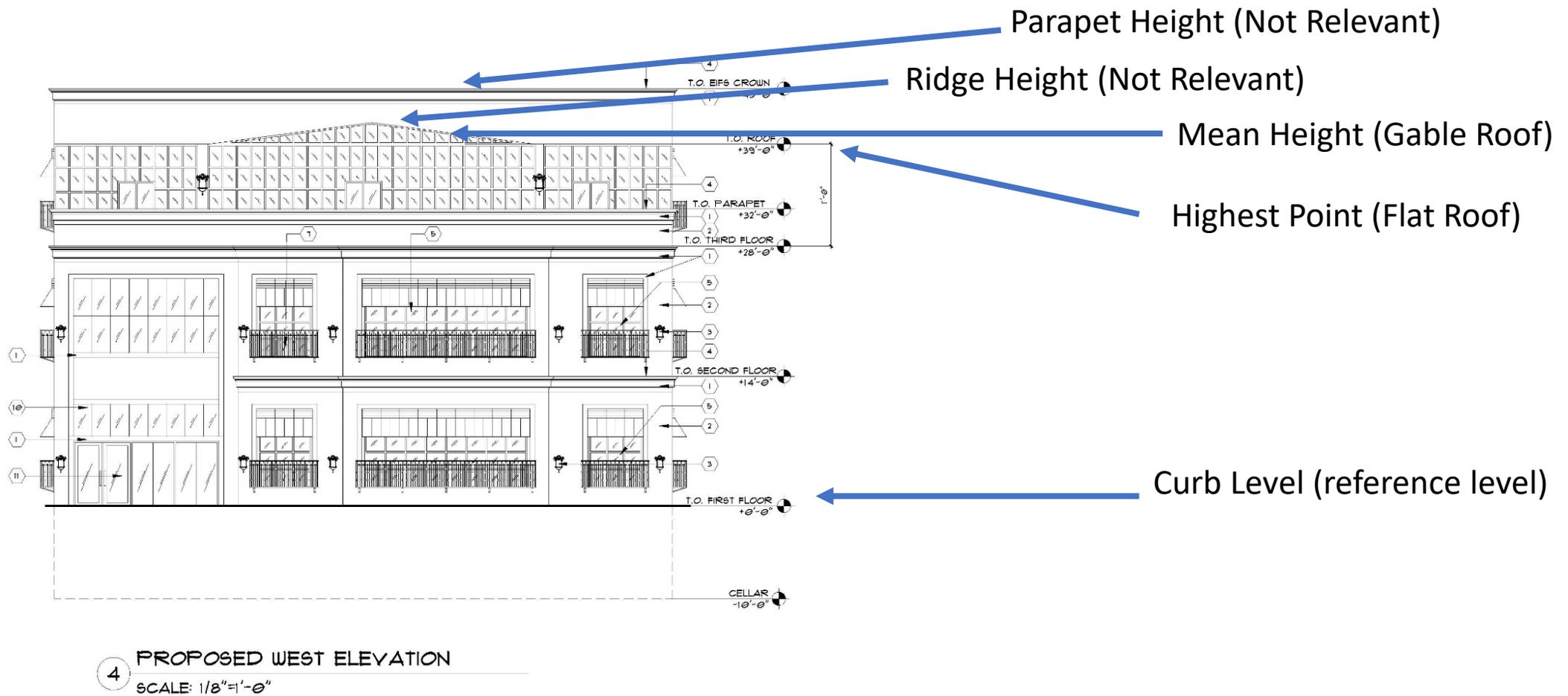
Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.47	0.33 - 0.58	0.38 / 0.58	***	0.10 (21%)

High-Turnover (Sit Down) Restaurant - Family (932)

Peak Period Parking Demand vs: 1000 Sq. Ft. GFA
On a: Saturday
Setting/Location: General Urban/Suburban
Peak Period of Parking Demand: 10:00 a.m. - 12:00 p.m.; 6:00 - 9:00 p.m.
 Number of Studies: 14
 Avg. 1000 Sq. Ft. GFA: 3.7

Peak Period Parking Demand per 1000 Sq. Ft. GFA

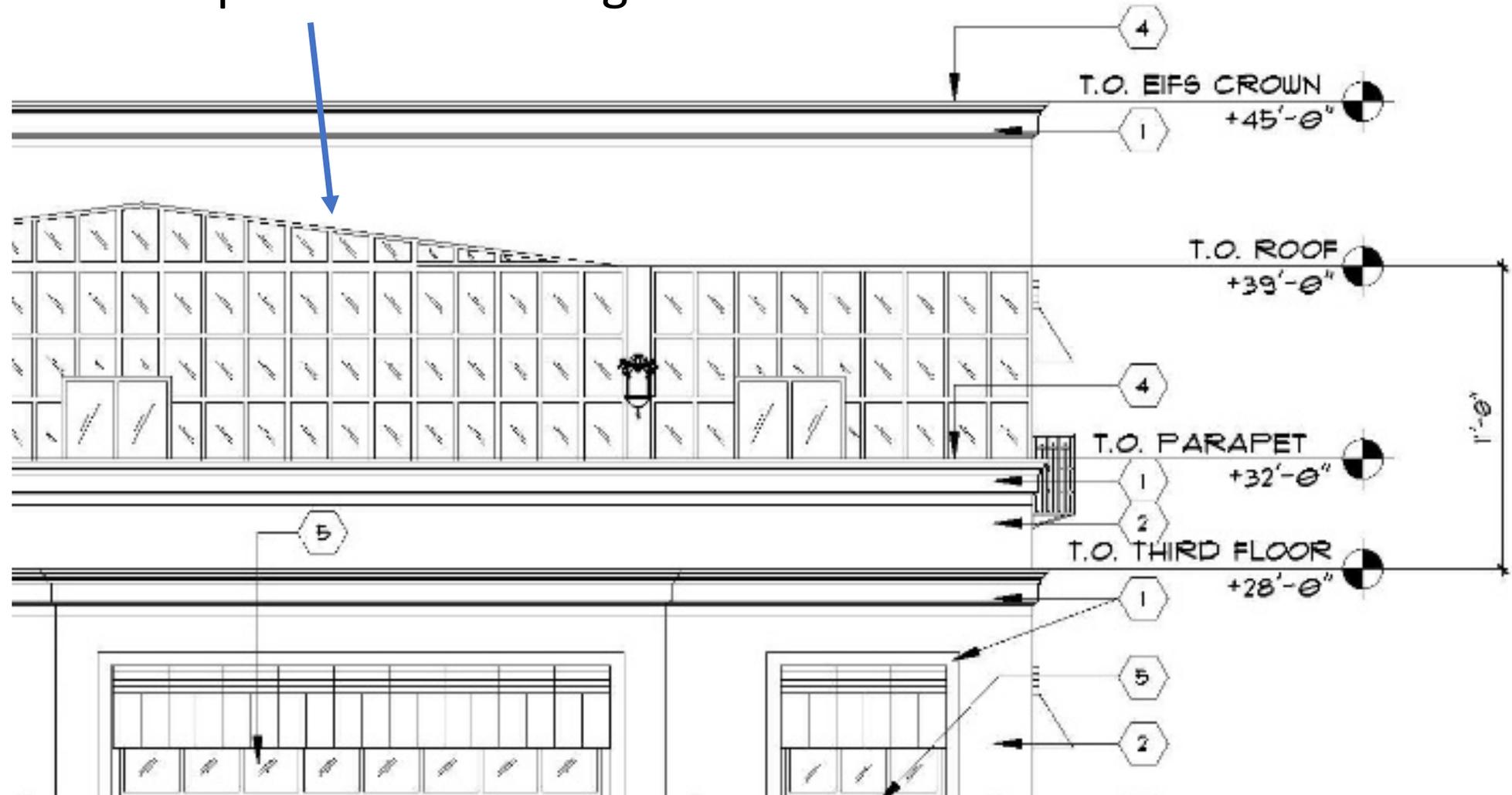
Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
12.28	7.03 - 26.49	8.17 / 24.91	***	6.10 (50%)



Building height is the vertical distance measured from the reference level (curb level, or its equivalent, or the average elevation of the finished lot grade in front of the building) to the highest point of the roof surface of a flat roof; to the deck of a mansard roof; and to the mean height level between eaves and ridge of gable, hip, pitch and gambrel roofs.

Applicant cannot determine height to mean until structural review and specifications for glass roof.

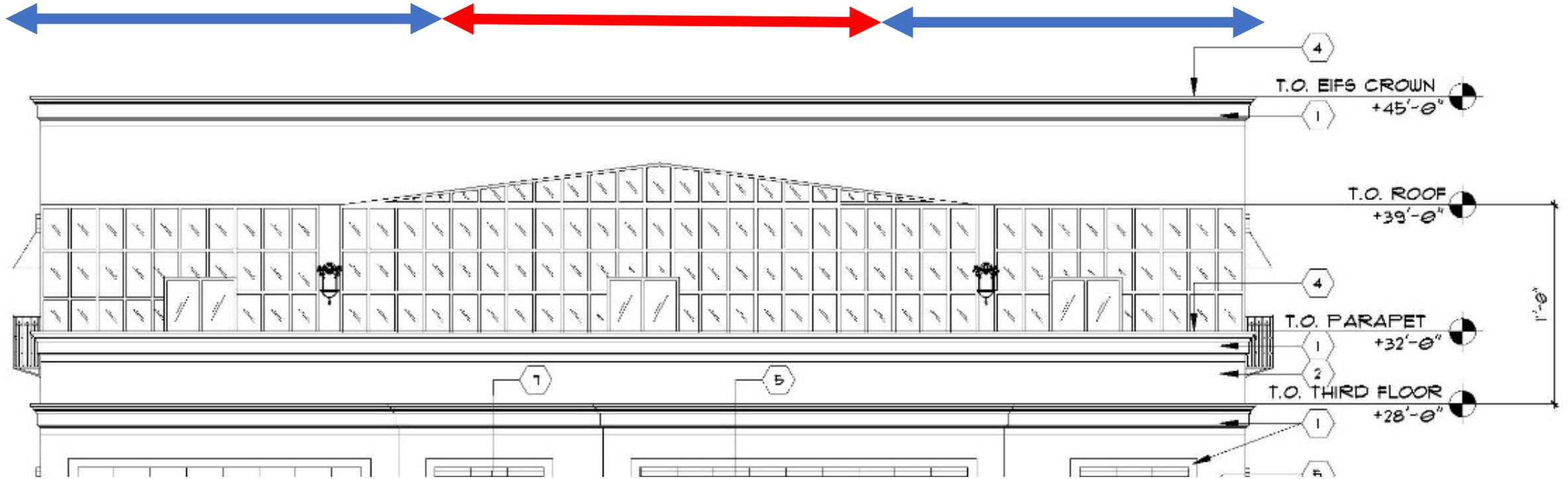
The height to mean may be 40 feet (which complies), but it will likely be 41-43 feet.



COMPLIES

20-42 SF of the glass roof,
appearing 2-3 feet below
a solid parapet, may
exceed the height limit.

COMPLIES

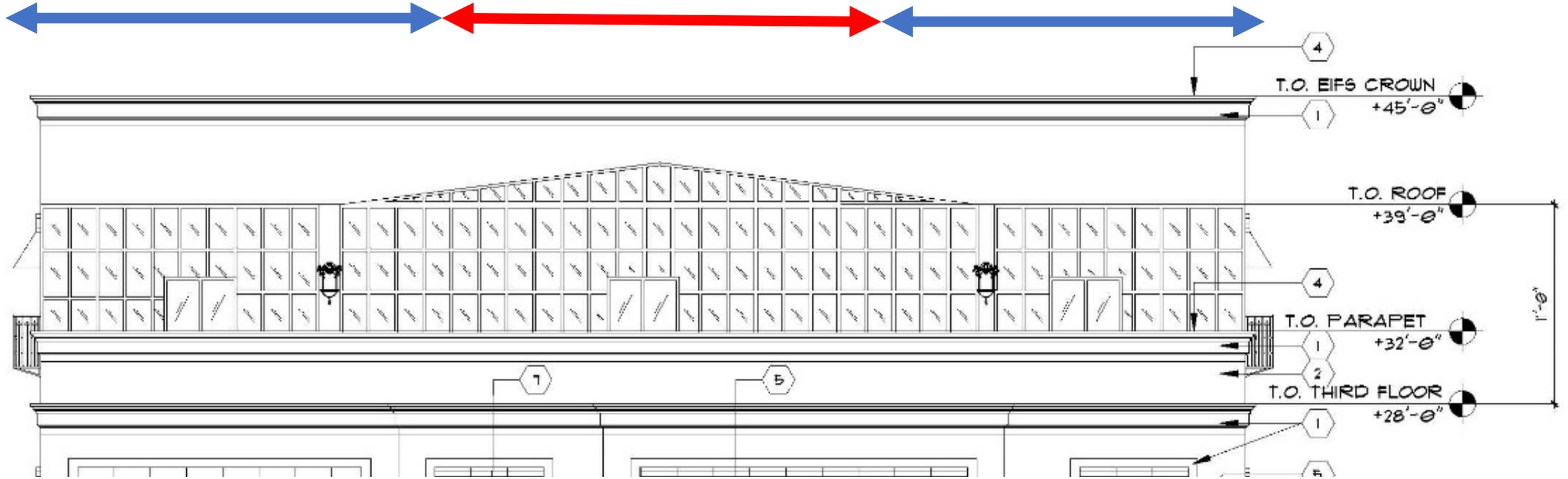


WEST ELEVATION

COMPLIES

20-42 SF of the glass roof,
appearing 2-3 feet below
a solid parapet, may
exceed the height limit.

COMPLIES

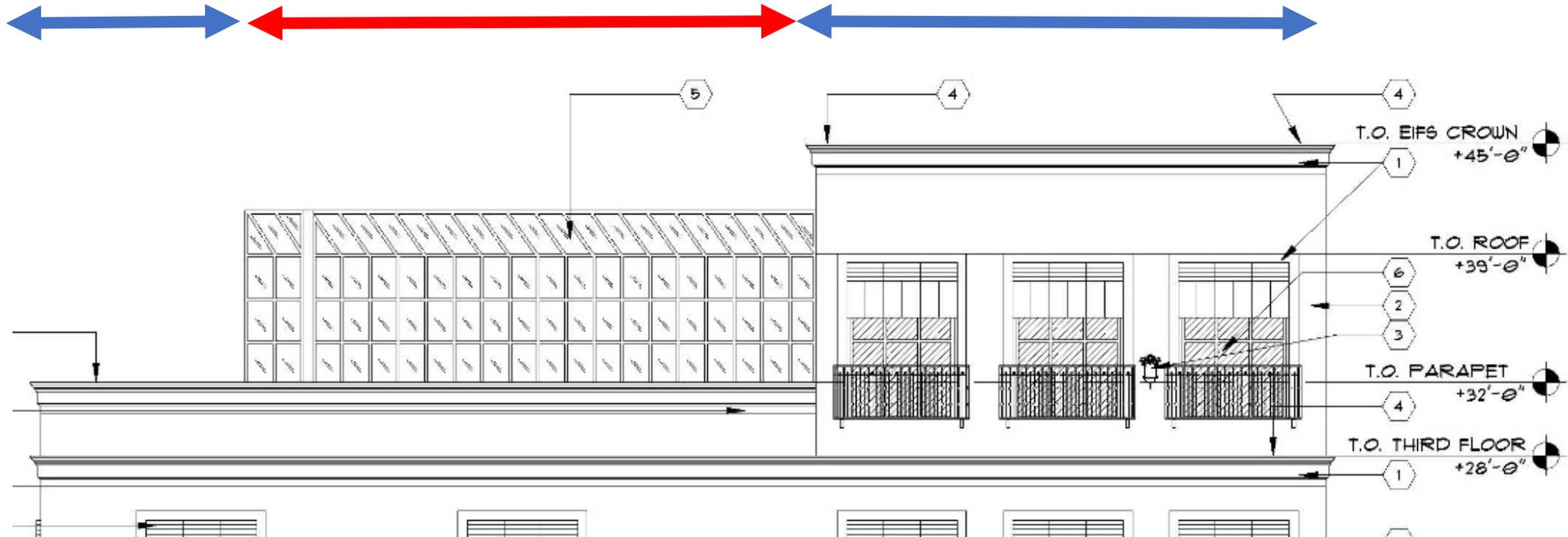


SOUTH ELEVATION

30-60 SF of the glass roof,
appearing 2-3 feet below
a solid parapet, may
exceed the height limit.

COMPLIES

COMPLIES





ELIMINATE LIGHT

PLAN FOR LIGHTING ZONES SO
UPPER TWO FLOORS CAN BE OFF WHILE
LOWER FLOOR CAN MEET DIMMED
CLOSED HOUR REQUIREMENTS



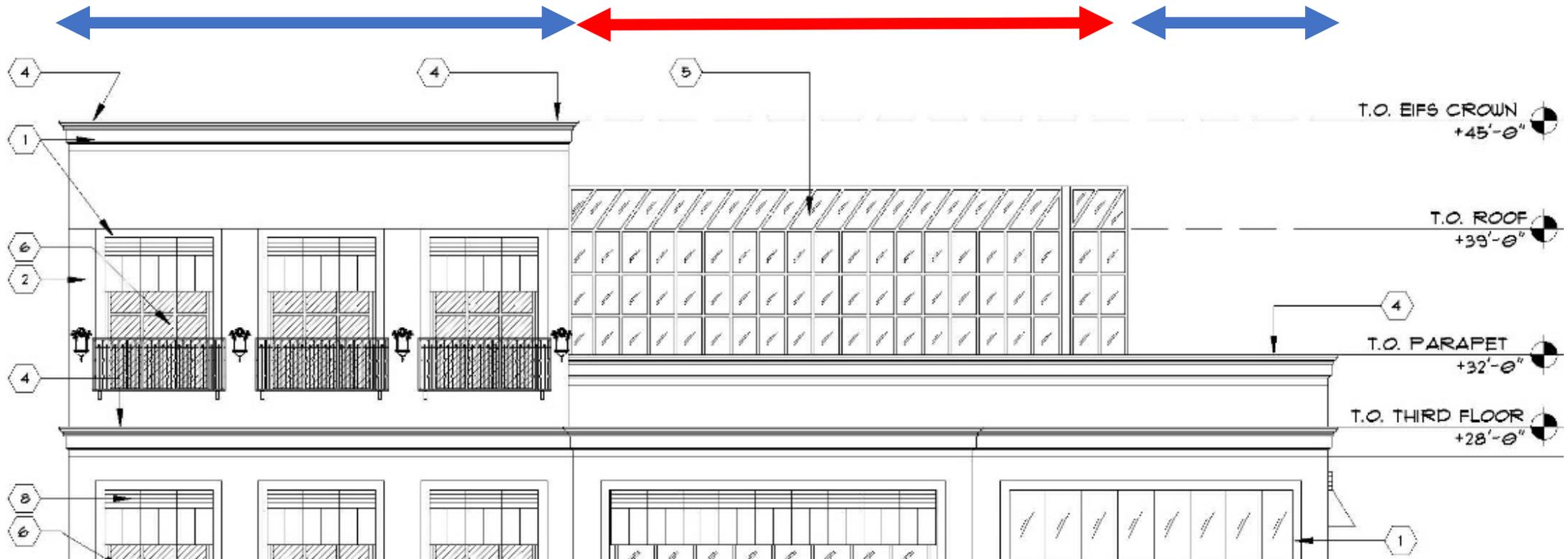


NORTH ELEVATION

30-60 SF of the glass roof, appearing 2-3 feet below a solid parapet, may exceed the height limit.

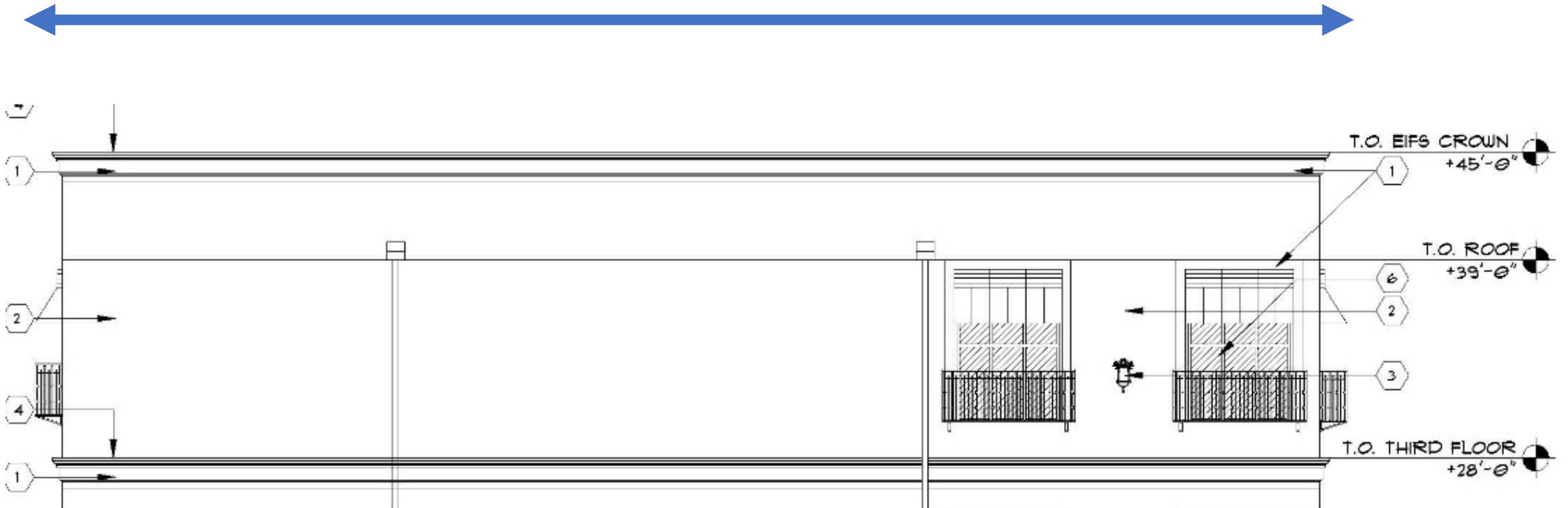
COMPLIES

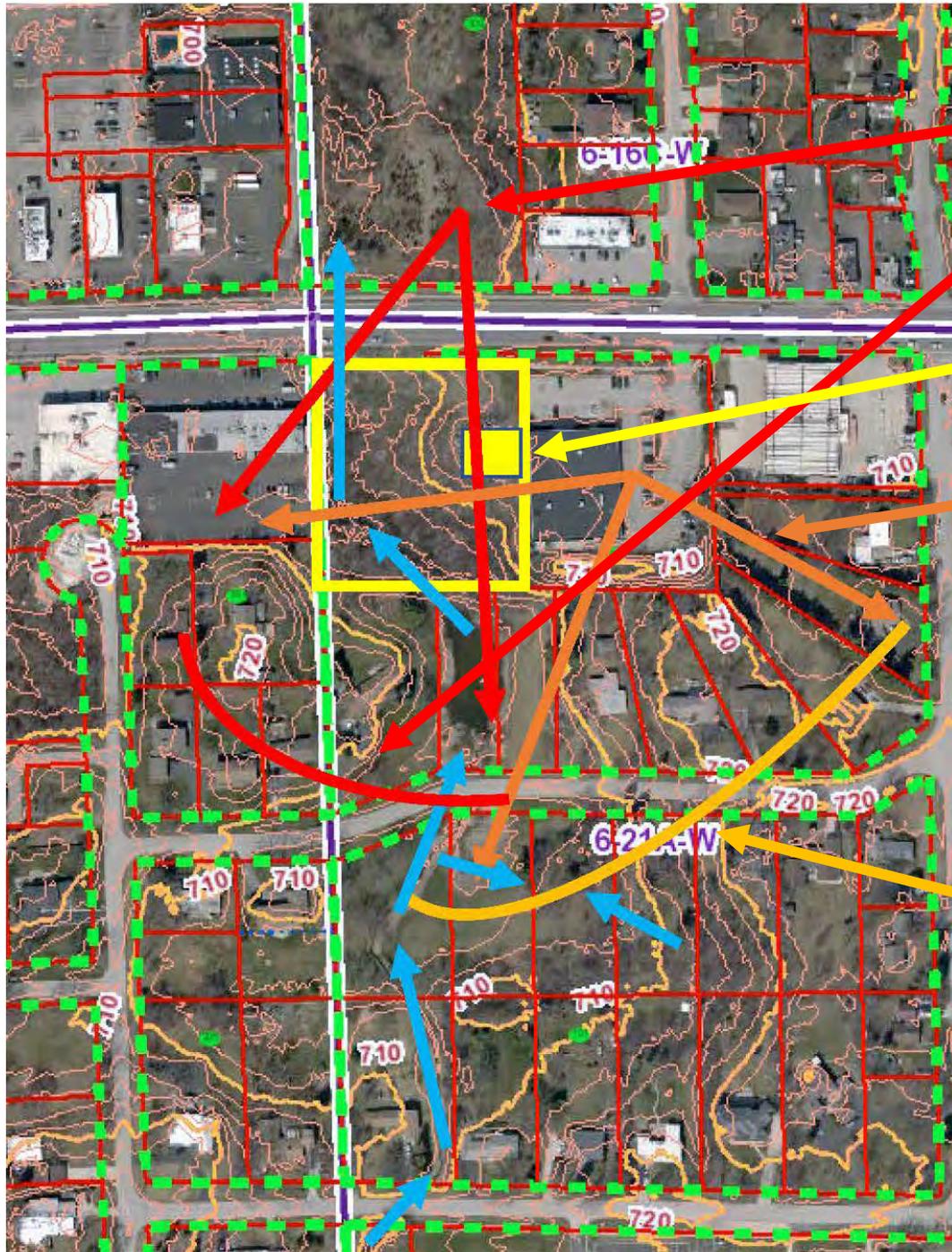
COMPLIES



EAST ELEVATION

COMPLIES



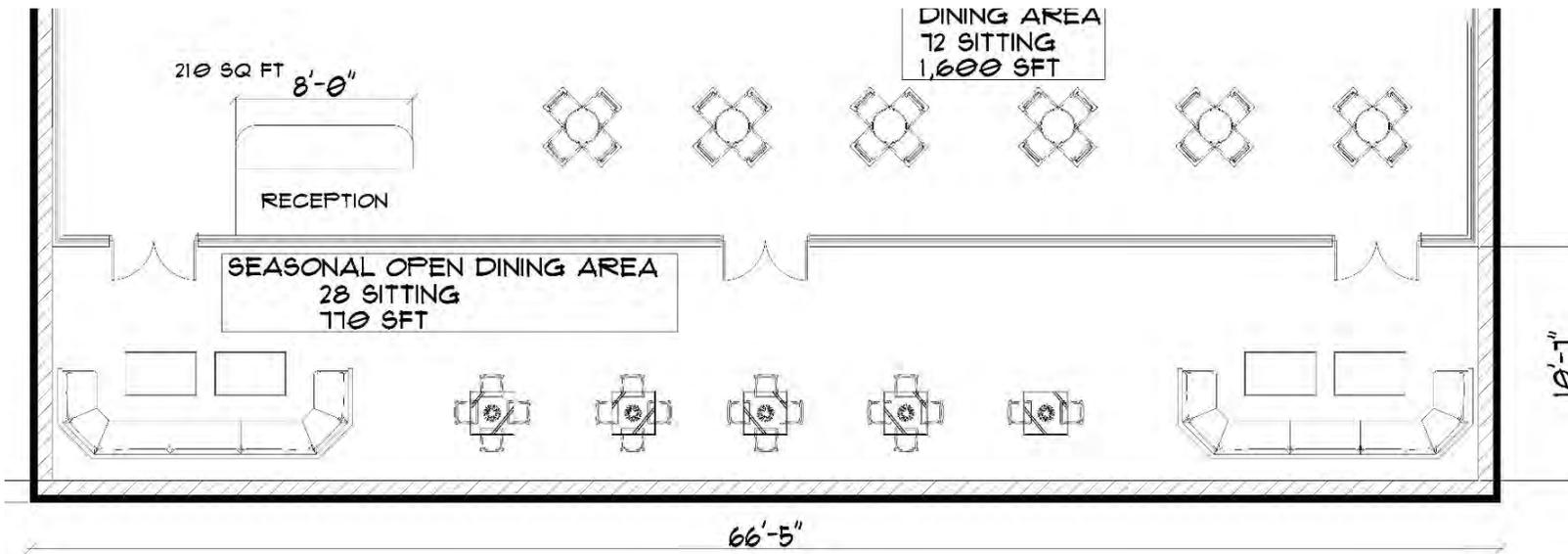


SELF STORAGE CONSTRUCTION NOISE

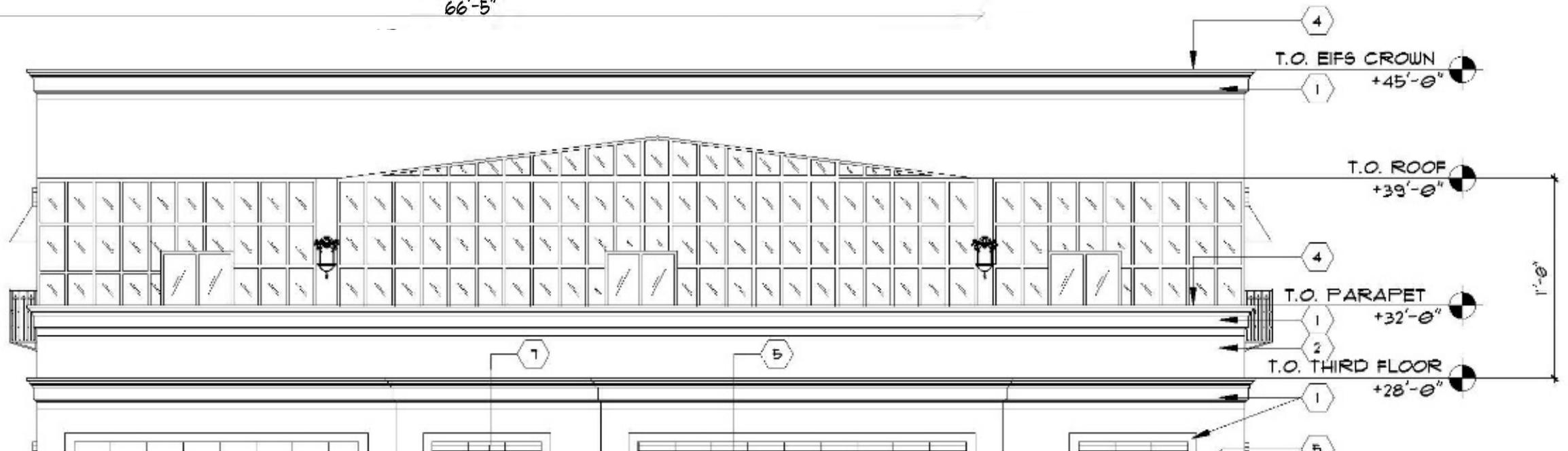
SUBJECT PROPERTY

PEPBOYS NOISE

RT 38/CONSTR/PEPBOYS NOISE



28 SEATS, 770 SQUARE FEET
 NO AMPLIFIED SOUND
 NONOPERATIONAL NOT AUDIBLE
 LIMITED HOURS
 SWINGING DOORS
 DCHD REQUIRES CLOSED



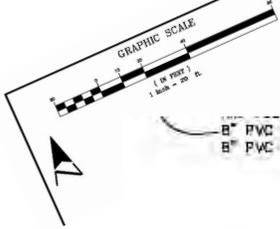
COMMENT ON CERTIFICATIONS

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

BY
GEYLER AND ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS

LOT 1 (EXCEPT THE NORTH 10 FEET OF THE FIRST 143 FEET THEREIN) IN DIVISION AND OTHER SUBDIVISION, BEING A SUBDIVISION IN THE NORTHWEST 1/4 OF THE NE 1/4 OF SECTION 14 OF TOWNSHIP 30 NORTH, RANGE 11 EAST, OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT MAP RECORDED APRIL 16, 1997, AS DOCUMENT 181-022877, IN DUPAGE COUNTY, ILLINOIS.
 TOTAL AREA: 105,372.71 SQ. FT., 2.40 AC. (MORE OR LESS)

510 S. ST. CHARLES PLACE
 LOMBARD, ILLINOIS 60148
 PHONE: (630) 348-0282



8" PVC W INV 705.96
 8" PVC E INV 706.01

6" PVC W INV 706.84
 6" PVC E INV 705.89



5.24. TABLE "A" ITEMS LISTED IN SURVEYOR'S CERTIFICATE NOT OTHERWISE SHOWN HEREON:
 7) NO NO BUILDCSS ON SUBJECT PROPERTY AT TIME OF SURVEY;
 8) NO PARKING SPACES ON SUBJECT PROPERTY AT TIME OF SURVEY.

STATE OF ILLINOIS) S.S.
 COUNTY OF DUPAGE)

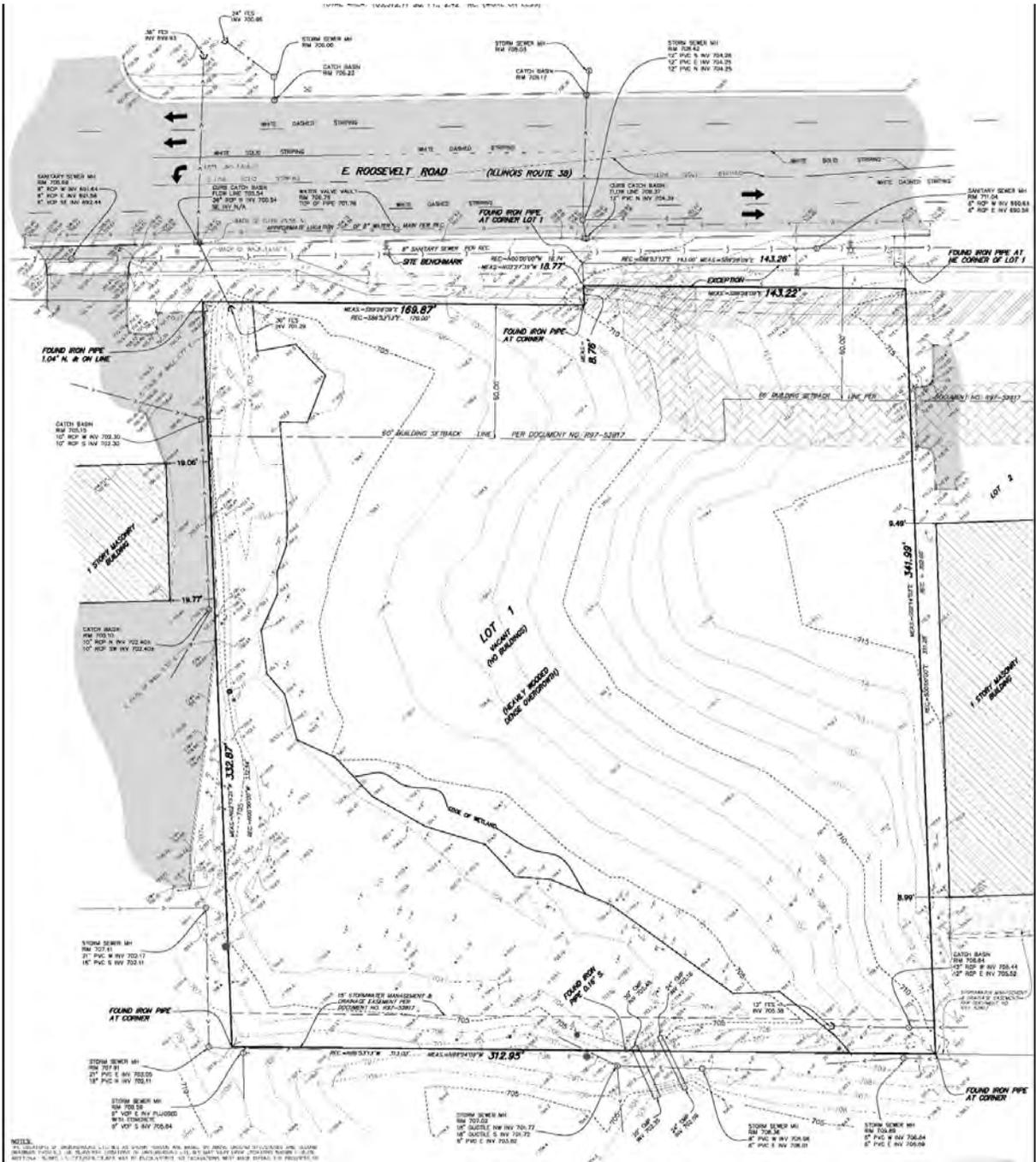
TO: 1) FIDELITY NATIONAL TITLE INSURANCE COMPANY
 2) ZARMIN INVESTMENTS, LLC, A LIMITED LIABILITY COMPANY
 3) SAFA PROPERTY LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7, 8, 9 AND 11 OF TABLE A THEREOF.

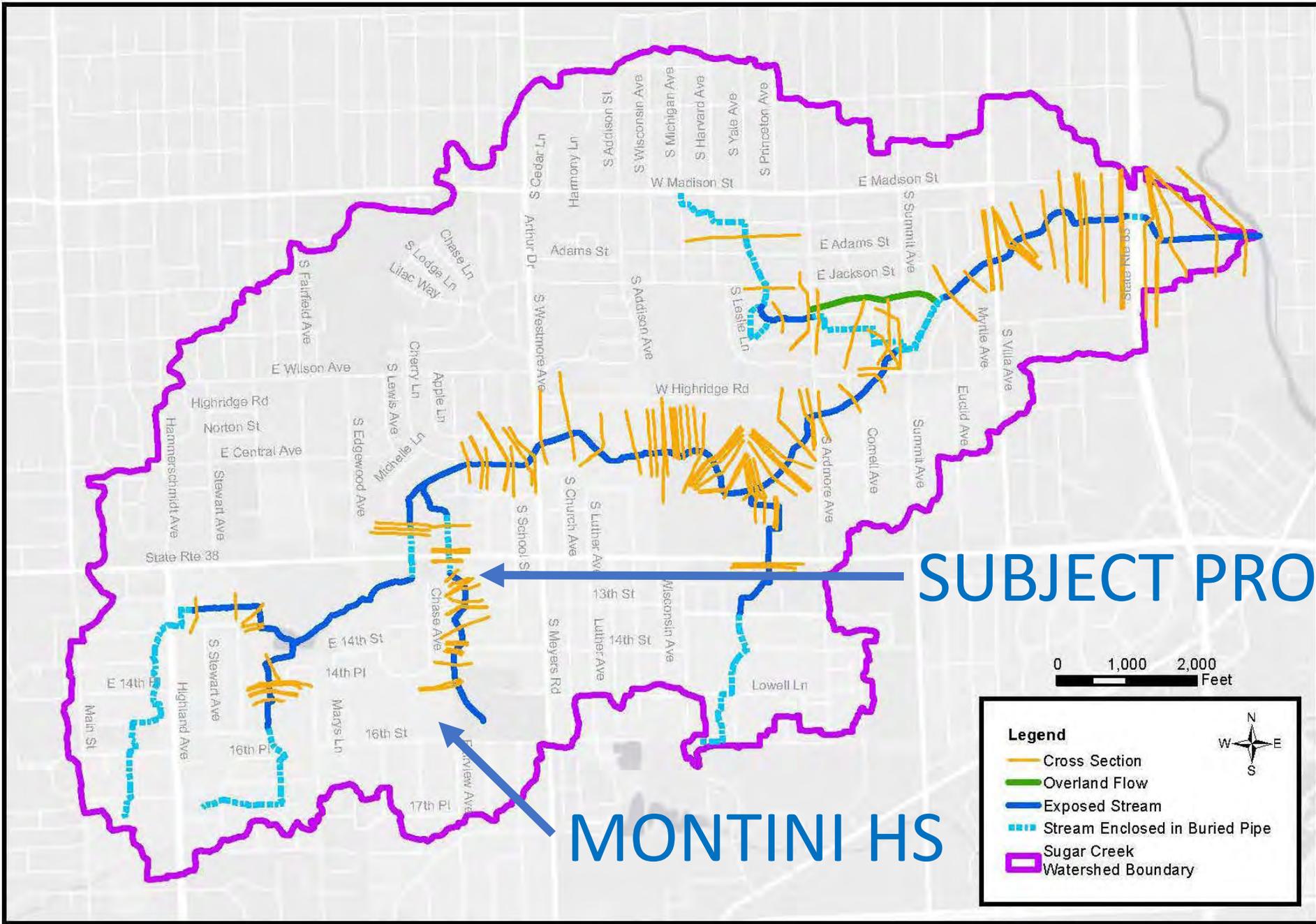
THE FIELD WORK WAS COMPLETED ON AUGUST 12, A.D. 2021.

DATE OF PLAT: AUGUST 16, A.D. 2021

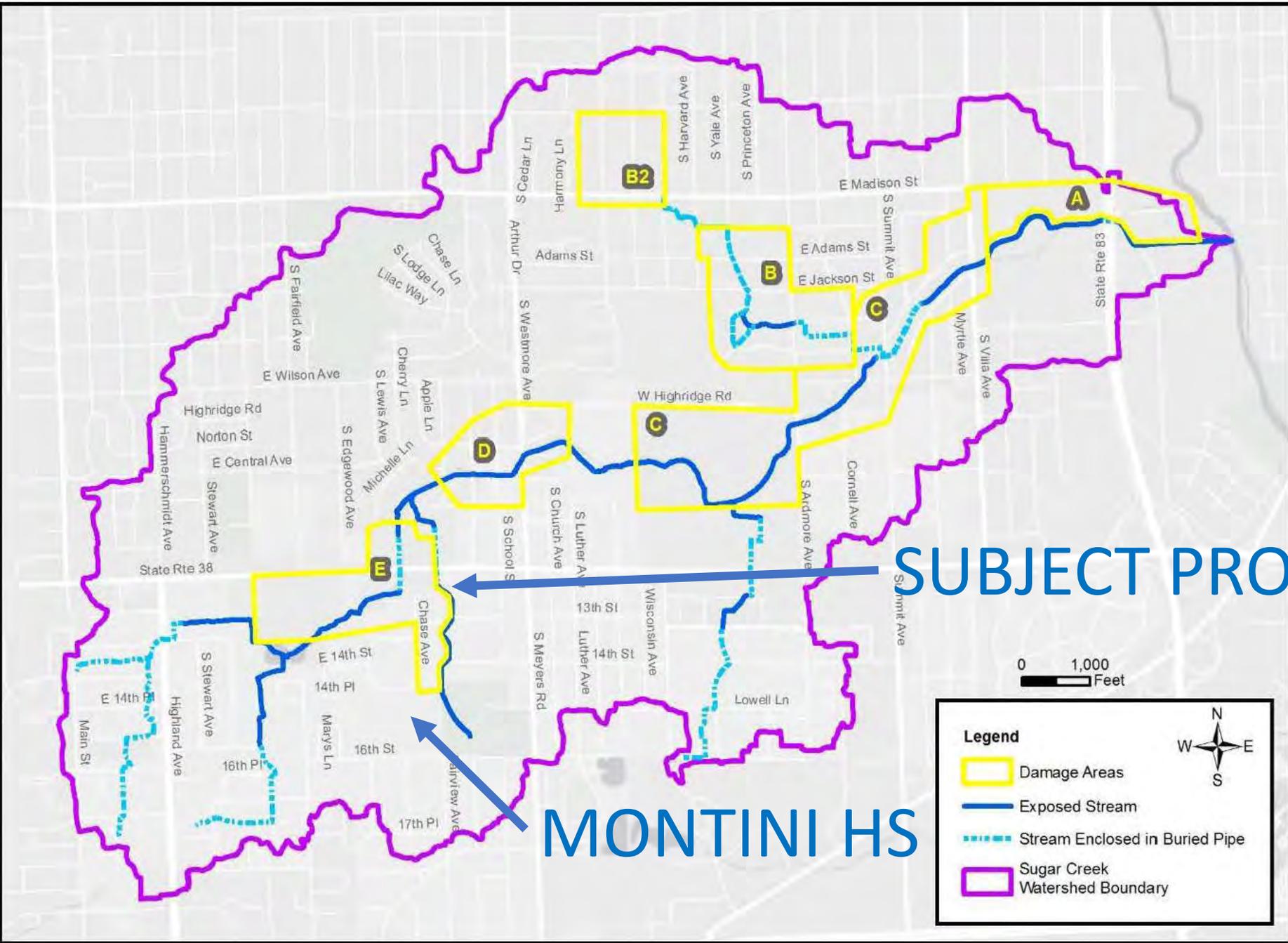
BY: *Joseph P. Martella*
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2925
 MY LICENSE EXPIRES NOVEMBER 30, 2022
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.002870



NOTES:
 1) SURVEYOR'S RESPONSIBILITY IS TO REPORT UNUSUAL FINDINGS AND RECORD ANY DISCREPANCIES BETWEEN THE FIELD DATA AND THE PLAT.
 2) THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA PROVIDED BY THE CLIENT OR FOR THE ACCURACY OF THE DATA PROVIDED BY OTHER SURVEYORS.
 3) THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA PROVIDED BY THE CLIENT OR FOR THE ACCURACY OF THE DATA PROVIDED BY OTHER SURVEYORS.



S Fairfield Ave
 E Wilson Ave
 Highridge Rd
 Norton St
 E Central Ave
 Stewart Ave
 State Rte 38
 E 14th St
 14th Pl
 16th Pl
 17th Pl
 Main St
 Highland Ave
 S Stewart Ave
 Chase Ave
 S Lewis Ave
 S Edgewood Ave
 Michelle Ln
 S Church Ave
 S School St
 S Meyers Rd
 S Cedar Ln
 Harmony Ln
 S Addison St
 S Wisconsin Ave
 S Michigan Ave
 S Harvard Ave
 S Yale Ave
 S Princeton Ave
 W Madison St
 Adams St
 S Westmore Ave
 S Addison Ave
 W Highridge Rd
 S Ardmore Ave
 S Luther Ave
 S Church Ave
 S School St
 S Meyers Rd
 13th St
 14th St
 15th St
 16th St
 17th St
 Lowell Ln
 E Madison St
 S Summit Ave
 E Adams St
 E Jackson St
 S Lester Ln
 Myrtle Ave
 S Villa Ave
 Euclid Ave
 Summit Ave
 Chase Ln
 S Lodge Ln
 Lilac Way
 Arthur Dr
 S Westmore Ave
 S Church Ave
 S School St
 S Meyers Rd
 13th St
 14th St
 15th St
 16th St
 17th St
 Lowell Ln
 E Madison St
 S Summit Ave
 E Adams St
 E Jackson St
 S Lester Ln
 Myrtle Ave
 S Villa Ave
 Euclid Ave
 Summit Ave



SUBJECT PROPERTY

MONTINI HS

Legend

- Damage Areas
- Exposed Stream
- Stream Enclosed in Buried Pipe
- Sugar Creek Watershed Boundary

**NO AREA E
RESIDENTIAL
FLOOD
DAMAGES IN
60 YEARS**

**\$2,000 IN
NON-RES
FLOOD
DAMAGES IN
60 YEARS**

Location (shown on Figure 4-1)	Total Computed Damages (60 year)	Number of Structures Flooded	Buyout Eligible Structures if No Further Action Is Taken	Number of Structures with Associated Damages Only
Residential				
Lower Sugar Creek, Damage Area A	\$0	0	0	1
Tributary No. 1 Damage Area B	\$1,316,000	15	11	3
Tributary No. 1 Damage Area B2	\$1,210,000	19	7	15
Middle Sugar Creek, Damage Area C	\$327,000	8	0	11
Upper Sugar Creek, Damage Area D	\$173,000	6	1	5
Businesses/Public Buildings				
Lower Sugar Creek, Damage Area A	\$4,000	1	0	1
Middle Sugar Creek, Damage Area C	\$1,336,000	1	0	0
Upper Sugar Creek, Damage Area E	\$2,000	0	0	1
Totals:	\$4,369,000	50	19	37
Average Annual Damages:	\$73,000			



Planned storage and retention outflow

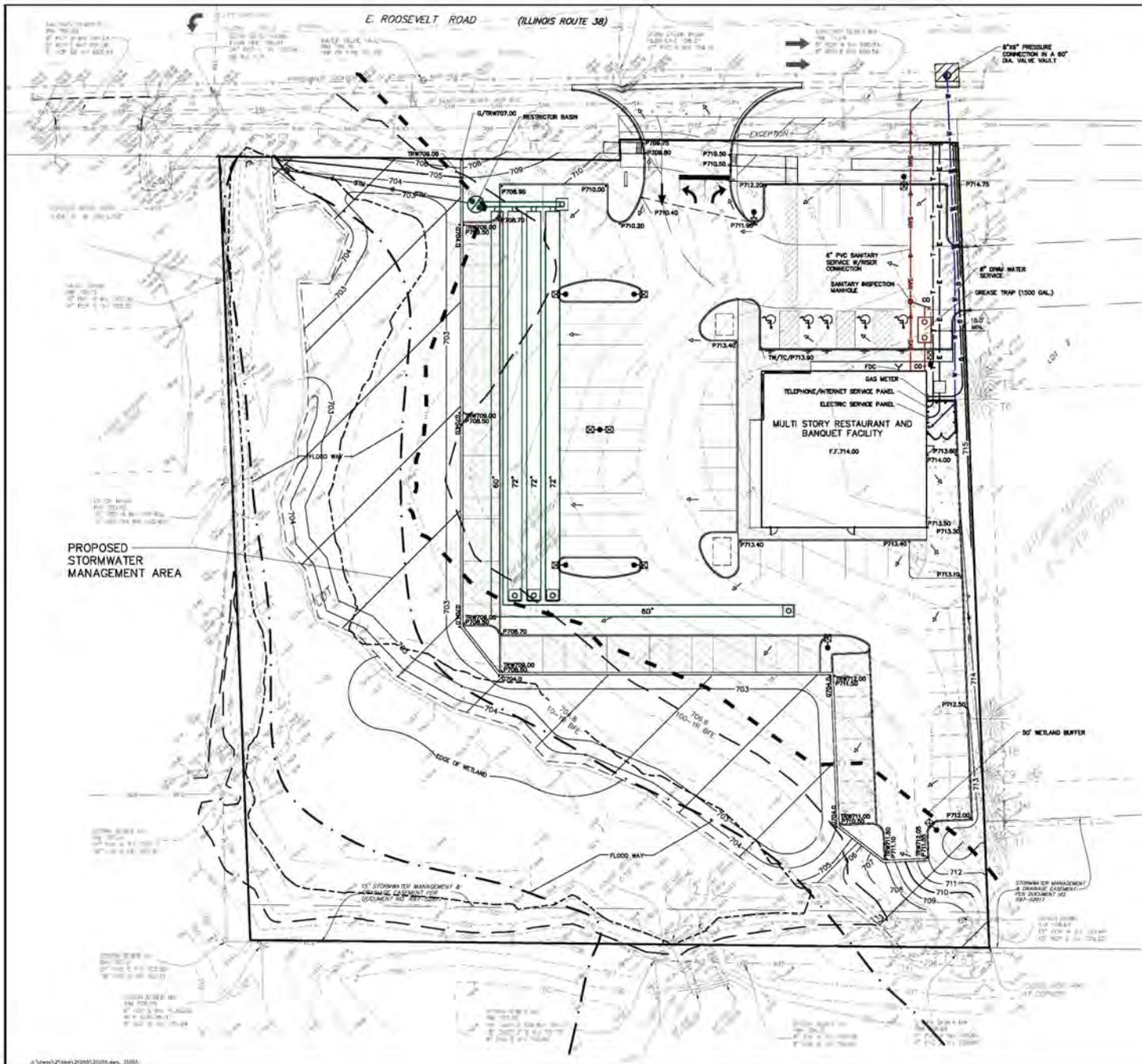
Planned surface retention

Planned underground storage

Surface retention high ground elevation

Current storm flow

Planned storm flow



GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/16/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 500 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60146 (630) 916-6262
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

REFERENCE BENCHMARK:
 DEPAGE COUNTY BENCHMARK #K05002 (HAND BSS DATUM) STATION IS LOCATED ALONG ADDISON AVENUE, BETWEEN THE ILLINOIS PRAIRIE PATH AND CENTRAL BOULEVARD. STATION IS 21.5 FT SOUTH OF THE CENTERLINE OF CENTRAL BOULEVARD, 54.0 FT EAST OF THE CENTERLINE OF ADDISON AVENUE, 67.0 FT NORTH OF THE CENTERLINE OF THE ILLINOIS PRAIRIE PATH, AND 146.0 FT NORTH OF PARK AVENUE MONUMENT IS 0.85 FT ABOVE THE ROAD SURFACE AND IS FERROMAGNETIC.
 ELEVATION = 709.33

SITE BENCHMARK:
 TAG BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF E. ROOSEVELT ROAD (ILLINOIS ROUTE 38), THE MOST WESTERLY FIRE HYDRANT IN FRONT OF SUBJECT PROPERTY.
 ELEVATION = 709.75

STORMWATER MANAGEMENT DATA

WETLAND:
 -NO IMPACT

WETLAND BUFFER:
 -50' REQUIRED, 19' TO 85' PROPOSED
 -25,321 sq ft @ 50', 25,365 sq ft @ PROPOSED

FLOODWAY:
 -NO IMPACT

FLOODPLAIN:
 -NO IMPACT
 -10 YR BFE = 706.6
 -10 YR BFE = 704.8
 -0-10 YR FILL = 0 cy
 -0-10 YR CUT/COMP. STORAGE REQ. = 0 cy
 -10-100 YR FILL = 93 cy
 -10-100 YR CUT/COMP. STORAGE REQ. = 140 cy (1.5M3 cy FILL)
 -10-100 YR CUT/COMP. STORAGE PROP. = 339 cy > 140 cy

NEW RUNOFF STORAGE:
 -REQUIRED STORAGE PER UNIT AREA DETENTION VOLUMES NIPC STUDY
 -DRAINAGE AREA = 1.21 AC
 -IMPERVIOUS AREA = 0.94 AC
 -UNIT DETENTION REQ. = 0.47 cc-ft/ac
 -REQUIRED STORAGE = 0.57 cc-ft (24,773 cf)
 -STORAGE PROPOSED = 0.59 cc-ft (25,857 cf)
 -0.59 cc-ft > 0.57 cc-ft OK
 -THE PROPOSED STORAGE IS PROVIDED IN OVERSIZED PIPE (19,767 cf) AND THE VOIDS IN THE STONE AROUND THE PIPE (6,089 cf USING A POROSITY OF 0.30)

WATER QUALITY-CORMPS:
 -THE PERMEABLE PAVERS AND STONE BELOW THE PAVERS WILL PROVIDE THE REQUIRED MITIGATION OF THE NEW IMPERVIOUS AREAS.
 -IMPERVIOUS AREA = 0.94 ac
 -FIRST FLUSH RUNOFF = 0.94 ac*43,580*1.25'/12 = 4,266 cf
 -AREA OF PAVERS = 5,868 sf
 -DEPTH OF STONE UNDER PAVERS = 30"
 -VOLUME PROPOSED = 5,281 cf > 4,266 cf OK
 -WATER TABLE ELEV = 925.6
 -LOWEST BMP ELEV = 701.58

DATE	
ISSUED	
REVISION	
NO. 1	ISSUED FOR PUBLIC CALL ON 10/16/2021
NO. 2	
NO. 3	
NO. 4	
NO. 5	
NO. 6	
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NO. 95	
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NO. 97	
NO. 98	
NO. 99	
NO. 100	

Prepared For:

SAFA PROPERTY, LLC
 8080 Lawndale
 Skokie, IL

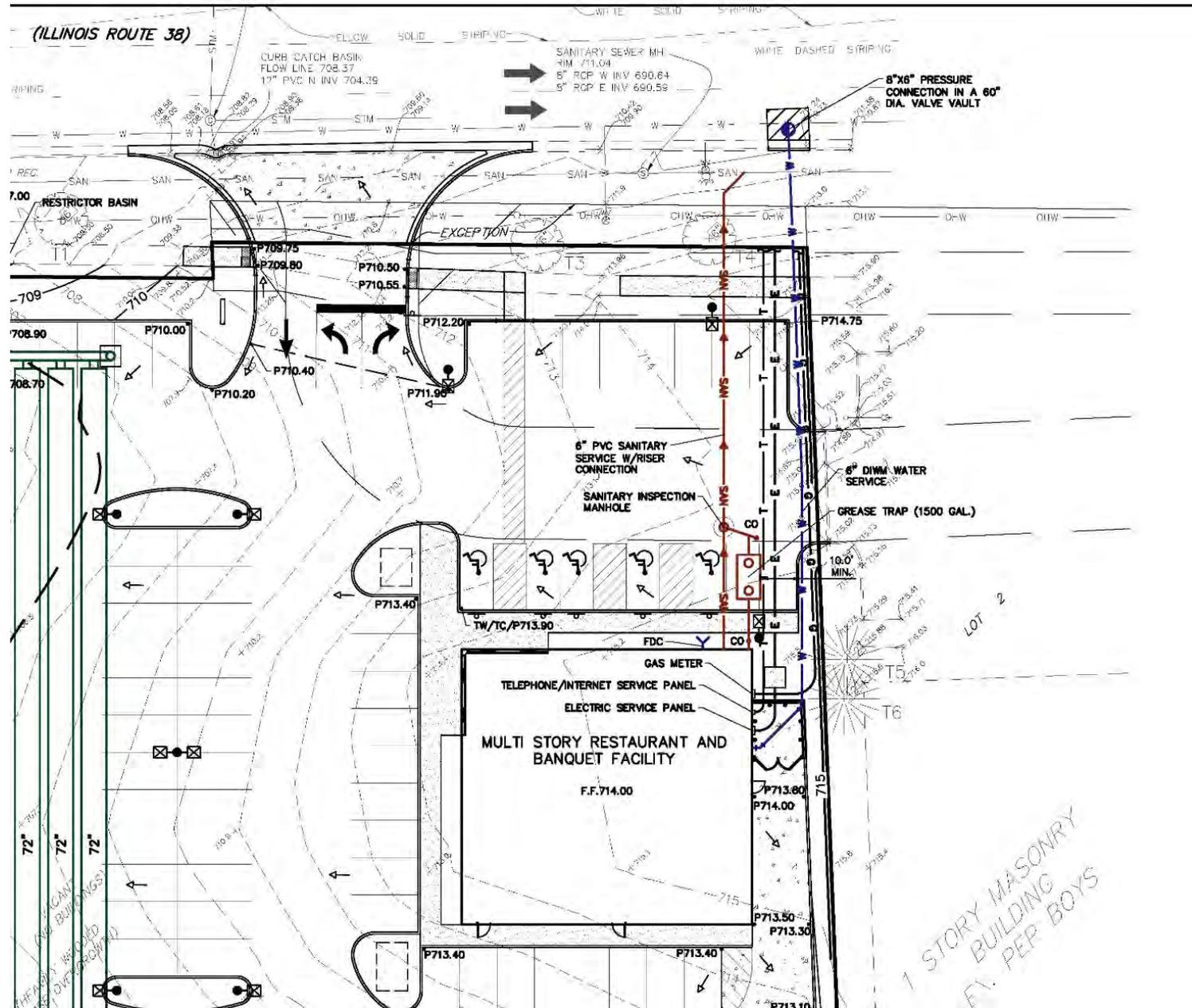
VP - LOMBARD
 855 E. Roosevelt Road
 Lombard, Illinois

Prepared By:

Watmark Engineering Resources
 www.watmark-engineering.com | 2831 Ogden Woods Drive | Aurora, IL 60202 | (630) 375-1800



PRELIMINARY ENGINEERING PLAN



1 STORY MASONRY BUILDING BY PER BOYS

GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE ALTA/NSP LAND TITLE AND TOPOGRAPHIC SURVEY (CURVEY PROJECT #21-22554 DATED 05/15/2021) PREPARED BY: CENTILE AND ASSOCIATES, INC. 200 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60146 (630) 918-4292
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
4. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

REFERENCE BENCHMARK:
 SURFACE COUNTY BENCHMARK #70002 (NAVD 85 DATUM) STATION IS LOCATED ALONG ADDISON AVENUE, BETWEEN THE ILLINOIS PRAIRIE PATH AND CENTRAL BOULEVARD, STATION IS 21.3 FT SOUTH OF THE CENTERLINE OF CENTRAL BOULEVARD, 54.0 FT EAST OF THE CENTERLINE OF ADDISON AVENUE, 67.0 FT NORTH OF THE CENTERLINE OF THE ILLINOIS PRAIRIE PATH, AND 148.5 FT NORTH OF PARK AVENUE. MONUMENT IS 0.88 FT ABOVE THE ROAD SURFACE AND IS FERROMAGNETIC.
 ELEVATION = 709.33

SITE BENCHMARK:
 TAG BOLT AND FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF E. ROOSEVELT ROAD (ILLINOIS ROUTE 38), THE MOST WESTERLY FIRE HYDRANT IN FRONT OF SUBJECT PROPERTY.
 ELEVATION = 706.75

STORMWATER MANAGEMENT DATA

WETLAND:
 -NO IMPACT

WETLAND BUFFER:
 -50' REQUIRED, 19' TO 80' PROPOSED
 -25,321 sq ft @ 50', 25,365 sq ft @ PROPOSED

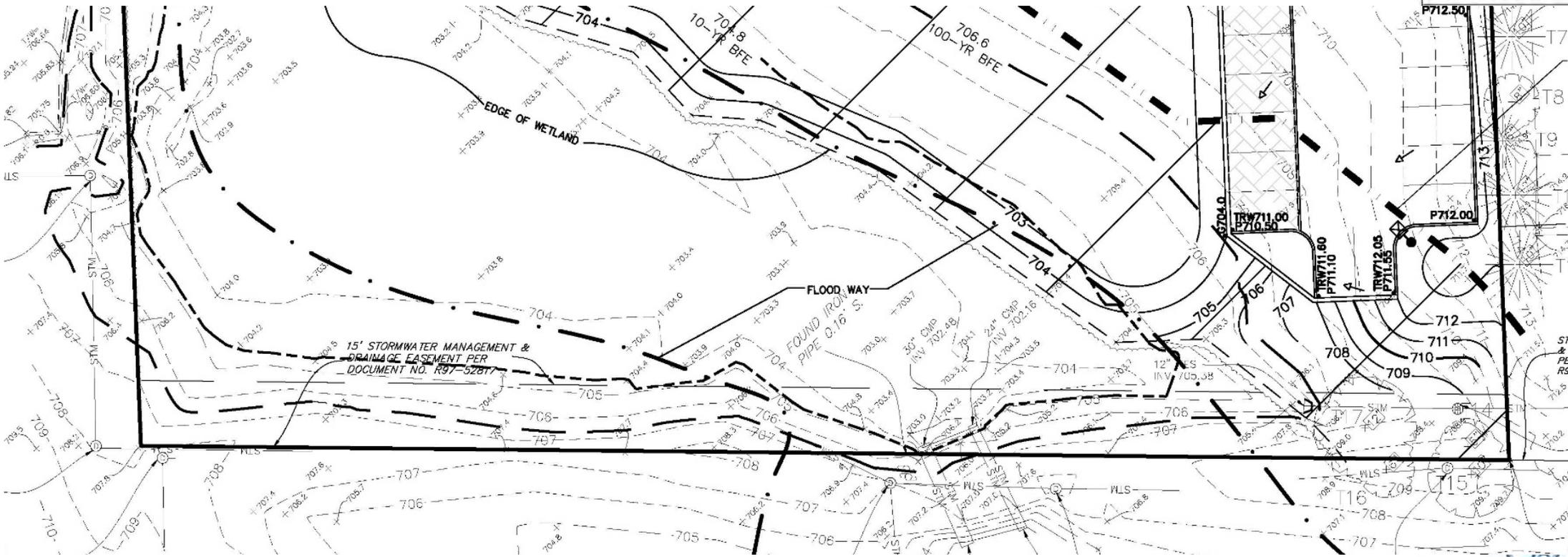
FLOODWAY:
 -NO IMPACT

CLASSELAIM:
 -100 YR FILL = 706.6
 -10 YR BFE = 704.8
 -5-10 YR FILL = 0 cy
 -0-10 YR CUT/COMP. STORAGE REQ. = 0 cy
 -10-100 YR FILL = 93 cy
 -10-100 YR CUT/COMP. STORAGE REQ. = 140 cy (1,943 sq ft fill)
 -10-100 YR CUT/COMP. STORAGE PROP. = 339 cy > 140 cy

NEW RUNOFF STORAGE:
 -REQUIRED STORAGE PER UNIT AREA DETENTION VOLUMES MFC STUDY
 -DRAINAGE AREA = 1.21 AC
 -IMPERVIOUS AREA = 0.94 AC
 -UNIT DETENTION REQ. = 0.47 ac-ft/ac
 -REQUIRED STORAGE = 0.57 ac-ft (24,773 cf)
 -STORAGE PROPOSED = 0.59 ac-ft (25,857 cf)
 -0.59 ac-ft > 0.57 ac-ft OK
 -THE PROPOSED STORAGE IS PROVIDED IN OVERSIZED PIPE (16,767 cf) AND THE VOIDS IN THE STONE AROUND THE PIPE (6,089 cf USING A POROSITY OF 0.30)

WATER QUALITY - PAVEMENTS:
 -THE PERMEABLE PAVERS AND STONE BELOW THE PAVERS WILL PROVIDE THE REQUIRED MITIGATION OF THE NEW IMPERVIOUS AREAS.
 -IMPERVIOUS AREA = 0.94 ac
 -FIRST FLUSH RUNOFF = 0.94 ac*43.500*1.25*1/2 = 4,268 cf
 -AREA OF PAVERS = 5,889 sq ft
 -DEPTH OF STONE UNDER PAVERS = 30"
 -VOLUME PROPOSED = 5,281 cf > 4,268 cf OK
 -WATER TABLE ELEV = 585.5
 -LOWEST BMP ELEV = 701.53

SAFEA PROPERTY, LLC 8000 Lakeshore Skokie, IL	Prepared For
	VJP LOWBOARD 885 E. Roosevelt Road Lombard, Illinois
	Prepared By
	W&G Engineering Resources 2301 Ogden West Hwy Aurora, IL 60202 (630) 275-1800
OWNER: J. WALKER CONTRACT NO. 18-00 DRAWING NO. 18-00-001 DATE: 05/15/2021 SCALE: 1" = 40' SHEET NO. 1 OF 1	PRELIMINARY ENGINEERING PLAN 1 of 1



GENERAL NOTES:

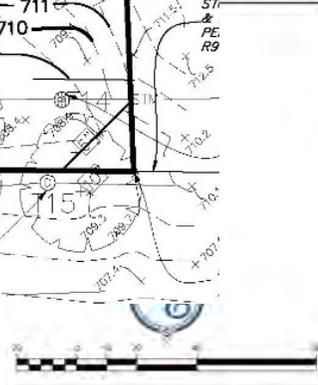
1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 05/15/2021) PREPARED BY: CENTILE AND ASSOCIATES, INC. 200 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60146 (630) 918-4292
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

REFERENCE BENCHMARK:
 SURFACE COUNTY BENCHMARK #R05002 (NAVD 85 DATUM) STATION IS LOCATED ALONG ADDISON AVENUE, BETWEEN THE ILLINOIS PRAIRIE PATH AND CENTRAL BOULEVARD. STATION IS 21.3 FT SOUTH OF THE CENTERLINE OF CENTRAL BOULEVARD, 54.0 FT EAST OF THE CENTERLINE OF ADDISON AVENUE, 67.0 FT NORTH OF THE CENTERLINE OF THE ILLINOIS PRAIRIE PATH, AND 148.5 FT NORTH OF FRANK AVENUE. MONUMENT IS 0.88 FT ABOVE THE ROAD SURFACE AND IS FERROMAGNETIC.
 ELEVATION = 709.33

SITE BENCHMARK:
 TAG BOLT AND FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF E. ROOSEVELT ROAD (ILLINOIS ROUTE 38). THE MOST WESTERLY FIRE HYDRANT IN FRONT OF SUBJECT PROPERTY.
 ELEVATION = 706.75

STORMWATER MANAGEMENT DATA

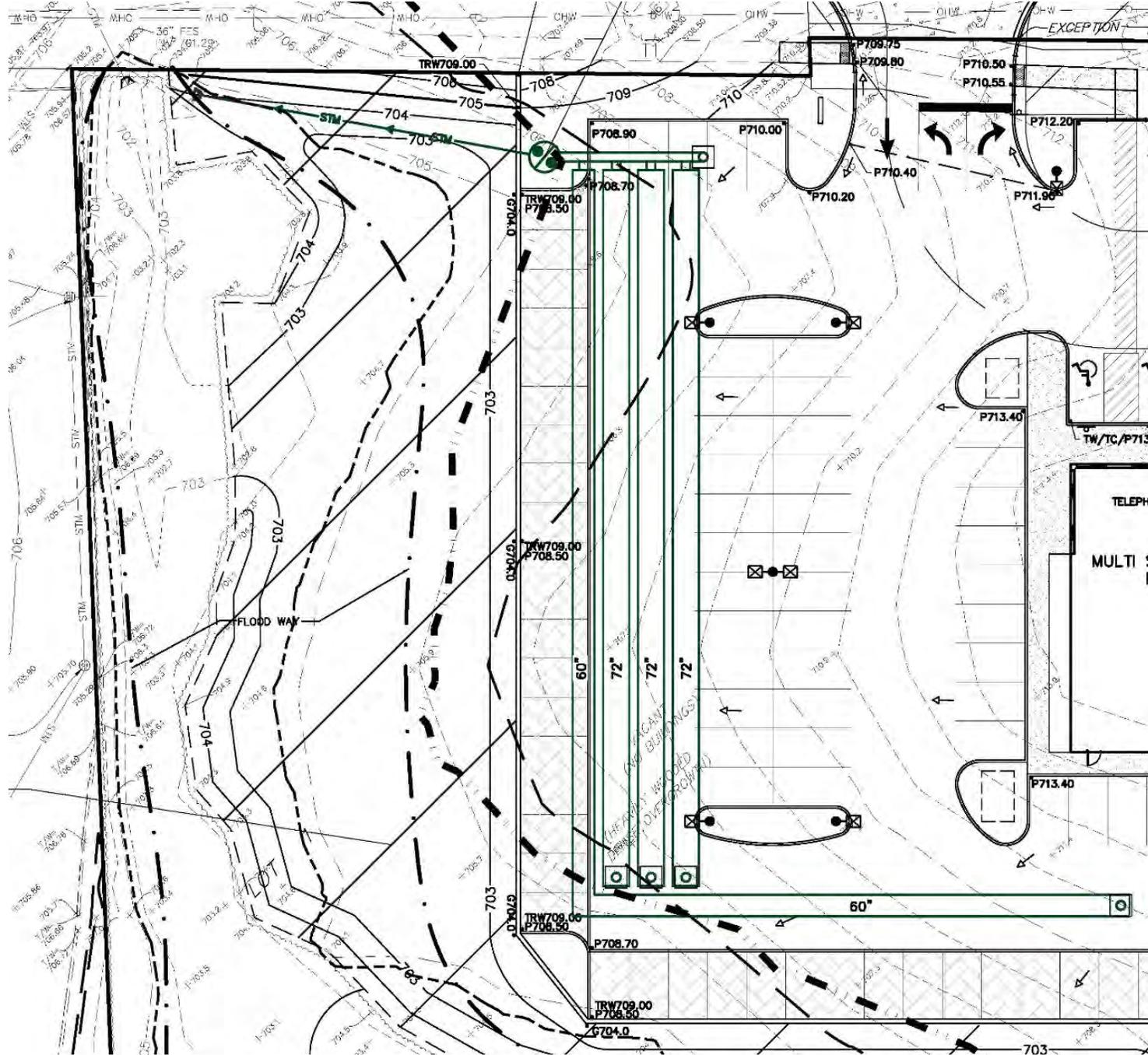
cy	140 cy
• 339 cy > 140 cy	
STATION VOLUMES MFC	
17 cft	
OVERSIZED PIPE	
E AROUND THE PIPE	
HOW THE PAVERS WILL	
E NEW IMPERVIOUS	
1.25"/12 = 4.268 of	
of OK	
57' & FE	
R9	



PRELIMINARY ENGINEERING PLAN

OWNER: SAFA PROPERTY, LLC 8000 Lisle Ave Lisle, Illinois, IL	PREPARED FOR: VIP LOMBARD 885 E. Roosevelt Road Lombard, Illinois
ENGINEER: WATSON ENGINEERING RESOURCES	DATE: 05/15/2021
PROJECT NO: 21-22354	SCALE: 1" = 40'
PROJECT LOCATION: 885 E. ROOSEVELT ROAD, LOMBARD, IL	PROJECT AREA: 1.25 AC

1 of 1



GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY.
2. SURVEY PROJECT #21-22554 DATED 05/15/2021 PREPARED BY: GENTLE AND ASSOCIATES, INC. 200 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60146 (630) 918-9292
3. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

SURFACE BENCHMARK:
 DUPAGE COUNTY BENCHMARK #P00502 (NAVD 85 DATUM) STATION IS LOCATED ALONG ADDISON AVENUE, BETWEEN THE ILLINOIS PRAIRIE PATH AND CENTRAL BOULEVARD, STATION IS 21.3 FT SOUTH OF THE CENTERLINE OF CENTRAL BOULEVARD, 54.0 FT EAST OF THE CENTERLINE OF ADDISON AVENUE, 67.0 FT NORTH OF THE CENTERLINE OF THE ILLINOIS PRAIRIE PATH, AND 144.5 FT NORTH OF FRANK AVENUE. MONUMENT IS 0.88 FT ABOVE THE ROAD SURFACE AND IS FERROMAGNETIC.
 ELEVATION = 709.33

SITE BENCHMARK:
 TAG BOLT (NO FIRE HYDRANT) LOCATED ON THE SOUTH SIDE OF E. ROOSEVELT ROAD (ILLINOIS ROUTE 38), THE MOST WESTERLY FIRE HYDRANT IN FRONT OF SUBJECT PROPERTY.
 ELEVATION = 706.75

STORMWATER MANAGEMENT DATA

WETLAND
 -NO IMPACT

WETLAND BUFFER
 -50' REQUIRED, 19' TO 80' PROPOSED
 -25,321 sq ft @ 50', 25,365 sq ft @ PROPOSED

FLOODWAY
 -NO IMPACT

CLASSELAIN
 -10' OF PIPE = 706.6
 -10' OF BPE = 704.8
 -0-10 YR FILL = 0 cy
 -0-10 YR CUT/COMP. STORAGE REQ. = 0 cy
 -10-100 YR FILL = 93 cy
 -10-100 YR CUT/COMP. STORAGE REQ. = 140 cy (1,943 sq ft FILL)
 -10-100 YR CUT/COMP. STORAGE PROP. = 339 cy > 140 cy

NEW RUNOFF STORAGE
 -REQUIRED STORAGE PER UNIT AREA DETENTION VOLUMES MFC STUDY
 -DRAINAGE AREA = 1.21 AC
 -IMPERVIOUS AREA = 0.94 AC
 -UNIT DETENTION REQ. = 0.47 ac-ft/ac
 -REQUIRED STORAGE = 0.57 ac-ft (24,773 cf)
 -STORAGE PROPOSED = 0.59 ac-ft (25,857 cf)
 -0.59 ac-ft > 0.57 ac-ft OK
 -THE PROPOSED STORAGE IS PROVIDED IN OVERSIZED PIPE (16,767 cf) AND THE Voids IN THE STONE AROUND THE PIPE (6,089 cf USING A POROSITY OF 0.30)

WATER QUALITY-POROSITY
 -THE PERMEABLE PAVERS AND STONE BELOW THE PAVERS WILL PROVIDE THE REQUIRED MITIGATION OF THE NEW IMPERVIOUS AREAS.
 -IMPERVIOUS AREA = 0.94 ac
 -FIRST FLUSH RUNOFF = 0.94 ac * 43,500 * 1.25 / 12 = 4,268 cf
 -AREA OF PAVERS = 5,889 sq ft
 -DEPTH OF STONE UNDER PAVERS = 30"
 -VOLUME PROPOSED = 5,281 cf > 4,268 cf OK
 -WATER TABLE ELEV = 595.6
 -LOWEST BMP ELEV = 701.53

SAFA PROPERTY, LLC
 8000 Lincoln Ave
 Skokie, IL

VIP LOWBARO
 885 E. Roosevelt Road
 Lombard, Illinois

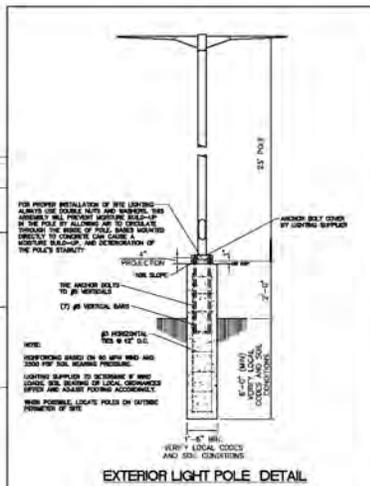
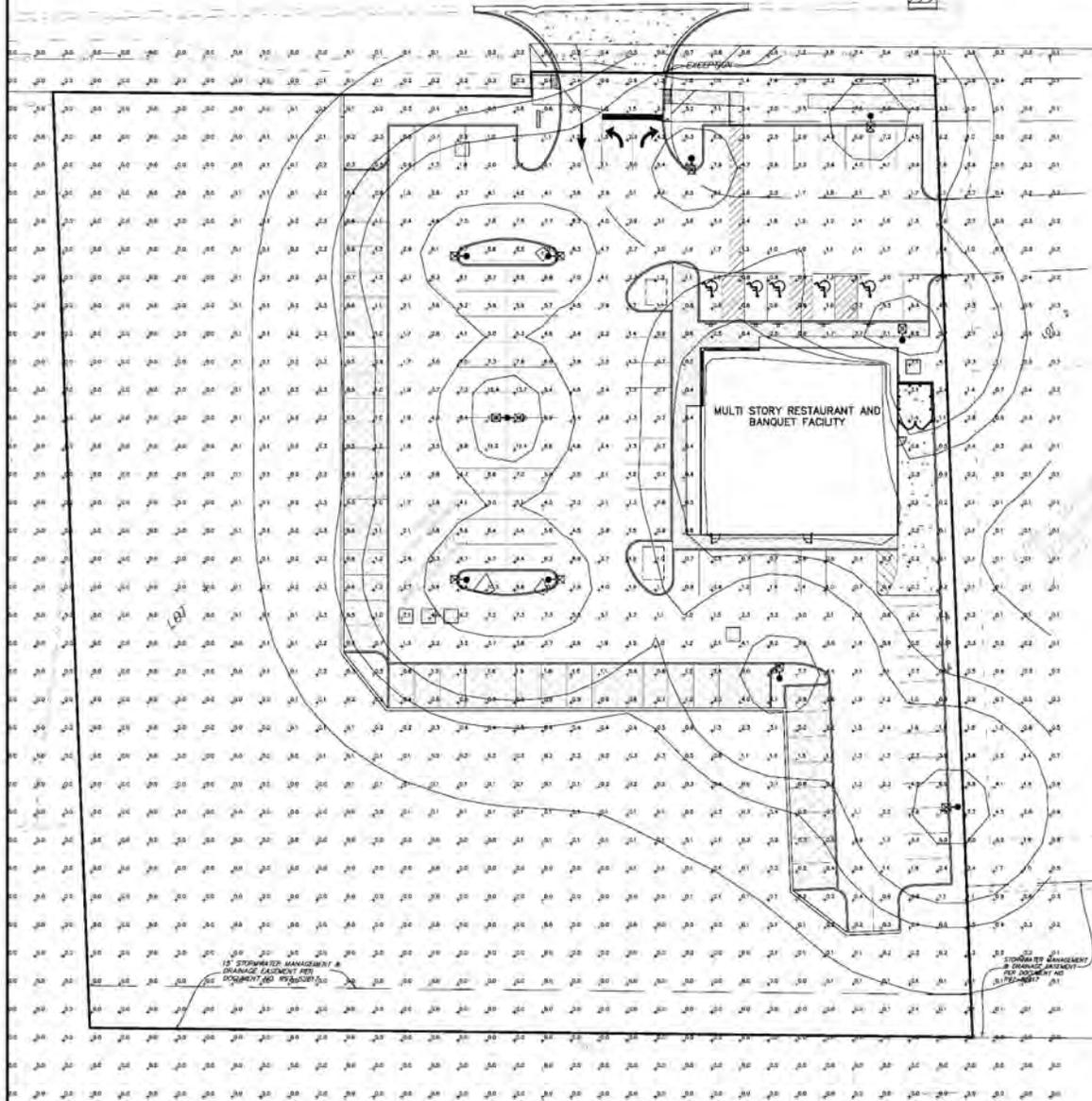
Prepared For

Prepared By

Watmark Engineering Resources
 2011 Ogden West Hwy | Aurora, IL 60502 | (630) 275-1800

OWNER: J. MILLER
 ENGINEER: M. BARK
 EXAMINER: M. BARK
 DATE: 05/15/2021
 SCALE: 1" = 30'
 TITLE: PRELIMINARY ENGINEERING PLAN

PRELIMINARY ENGINEERING PLAN



R27 Series Pole Luminaires

Technical specifications and product information for the R27 Series Pole Luminaires, including a list of features and a list of compatible luminaire models.

LITHONIA LIGHTING

Technical specifications and product information for Lithonia Lighting fixtures, including a list of features and a list of compatible luminaire models.

GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE ALTA/NSP LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/18/2021) PREPARED BY: GENTLE AND ASSOCIATES, INC. 500 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (030) 910-6282
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. METRIC PEDESTRIANS HAVE TO CROSS A TAPERING RAMP ON CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

QUANTITIES

FIXTURE TYPE:	SYMBOL:	QUANTITY
REFUG (FIXTURE COLOR, LENS TYPE, ETC. TO BE SELECTED BY OWNER)		11
POLE TYPE:	SYMBOL:	QUANTITY
SEA 23' 50" (POLE COLOR, MOUNTING, ETC. TO BE SELECTED BY OWNER)		10
FIXTURE SUPPLIER TO DETERMINE IF POLE IS COMPATIBLE WITH FIXTURE.		

PHOTOMETRIC SUMMARY

VEHICULAR USE AREA:	
AVERAGE:	3.0
MAXIMUM:	13.7
MINIMUM:	0.2
AVG/MIN:	15.0/1

- NOTES:**
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE CRITERIA SHOWN IN THE "QUANTITIES" NOTE LOCATED ON THIS SHEET. ANY SUBSTITUTIONS OR SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF WATERMARK ENGINEERING RESOURCES, LLC.
 2. MOUNTING HEIGHT OF FIXTURES = 23' MOUNTING HEIGHT INCLUDES A 2" HIGH CONCRETE BASE, TO BE PROVIDED BY THE CONTRACTOR AS PART OF THIS PLAN, AND A 23' HIGH POLE.
 3. DISTANCE BETWEEN READINGS = 10'
 4. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED, MAINTENANCE FACTOR USED ON THIS DRAWING IS 1.00
 5. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJACENT PROPERTIES OR ROADWAY.
 6. HOUSE SIDE SHELVES ARE NOT ALWAYS ABLE TO BE MOULDED DUE TO THE UNAVAILABILITY OF THE PROPER JES FILES. IN THESE INSTANCES OTHER MANUAL ACCOMMODATIONS MAY BE MADE DURING THE MODELING PROCESS TO SIMULATE CUT OFF AT PROPERTY LINES OR ELIMINATE.
 7. CONTRACTOR TO VERIFY PROPER ORDERING INFORMATION INCLUDING BUT NOT LIMITED TO, VOLTAGE AND MOUNTING. PRIOR TO ORDERING OR INSTALLING SPECIFIED LUMINAIRES AND/OR POLES, ALL LIGHT FIXTURES TO BE FULL CUT OFF.
 8. LOCATE WALL PAGES AS NOTED. CONTRACTOR SHALL FIELD ADJUST MOUNTING ON BUILDING TO ACHIEVE A LIGHTING HEIGHT AND SPACING. WALL PAGES SHALL BE PLACED IN A SYMMETRICAL PATTERN TO MATCH BUILDING ARCHITECTURE AND FINAL LOCATION SHALL BE WORKED WITH THE ARCHITECT PRIOR TO INSTALLATION.
 9. ALL LIGHTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND ELECTRICAL CODES.
 10. CONTRACTOR IS RESPONSIBLE TO VERIFY AND CONTROL MATERIALS AND LABS FOR ALL ELECTRICAL SUPPLIES, CONDUIT, SLEEVES, CONCRETE FOUNDATIONS, POLES, LUMINAIRES AND ACCESSORIES PRIOR TO LIGHTING INSTALLATION. ALL PROPOSED LIGHTING WORK SHALL NOT INTERFERE WITH EXISTING UTILITY WORKS AND EXISTING LIGHTING SYSTEMS.
 11. PROPOSED LIGHTING SHALL INCLUDE PHOTOCELL ON/OFF SWITCHES. CONTRACTOR TO VERIFY IF ANY LIGHTS NEED MANUAL OR WIRELESS ON/OFF SWITCHES WITH OWNER'S REPRESENTATIVE.
 12. THIS PLAN IS FOR LIGHTING PERFORMANCE, ALL MEANS, METHODS, AND ASSOCIATED EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE AND AT THEIR SOLE RISK. INSTALLATIONS SHALL BE COMPLETE AND FINISHED. ANY GAPS OR EXPOSED MOUNTINGS WILL BE REJECTED.
 13. ALL PROPOSED CONDUIT AND WIRE SERVICES SHALL BE CONCEALED AND PROVED AS NOT TO BE SEEN OR READILY REVERSIBLE. FINAL LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 14. ALL PAINTING NEEDS SHALL BE DONE BY A PROFESSIONAL COLORIST AND TYPES OF PAINT TO MATCH EXISTING CONDITIONS AND MATERIALS. VERIFY AND COORDINATE WITH OWNER'S REPRESENTATIVE ALL WORK.
 15. ALL RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT NO CHARGE OR EXPENSE TO THE OWNER.
 16. WHETHER NOTED ON THE PLANS OR NOT ALL ASSOCIATED WORK WITH THE PHOTOGRAPHIC PLAN INSTALLATION AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL AS NOTED.
 17. CONTRACTOR SHALL FIELD ADJUST BASED ON ELECTRICAL SUPPLY AND PROVIDE WIRING AS NEEDED FOR PROPER INSTALLATION. IF NEEDED, CONTRACTOR SHALL CONSULT AN ELECTRICAL ENGINEER.
 18. CONTRACTOR RESPONSIBLE FOR ALL LUMINAIRE INSTALLATIONS, REPLACEMENTS, CONSTRUCTION REMOVALS AND DISPOSALS.
 19. CONTRACTOR SHALL FIELD ADJUST AS APPROVED BY OWNER. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL RESTORATION OR FABRICATIONS NEEDS. SHOP DRAWINGS OR WELD UPS WARE NECESSARY FOR APPROVAL PRIOR TO INSTALLATION. NOTIFY AS NEEDED.
 20. ANY FABRICATIONS SHALL BE DONE WITH NON-COMBUSTIBLE EXTERIOR GRADE MATERIALS AND FINISHES TO PROTECT BUILDING FROM ANY STAINING.

NOTES:

1. THESE PLANS ARE BASED ON THE ALTA/NSP LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/18/2021) PREPARED BY: GENTLE AND ASSOCIATES, INC. 500 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (030) 910-6282
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. METRIC PEDESTRIANS HAVE TO CROSS A TAPERING RAMP ON CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

WATERMARK ENGINEERING RESOURCES

Company logo and contact information for Watermark Engineering Resources, LLC.

SAFA PROPERTY, LLC
8080 Laramie
Skokie, IL

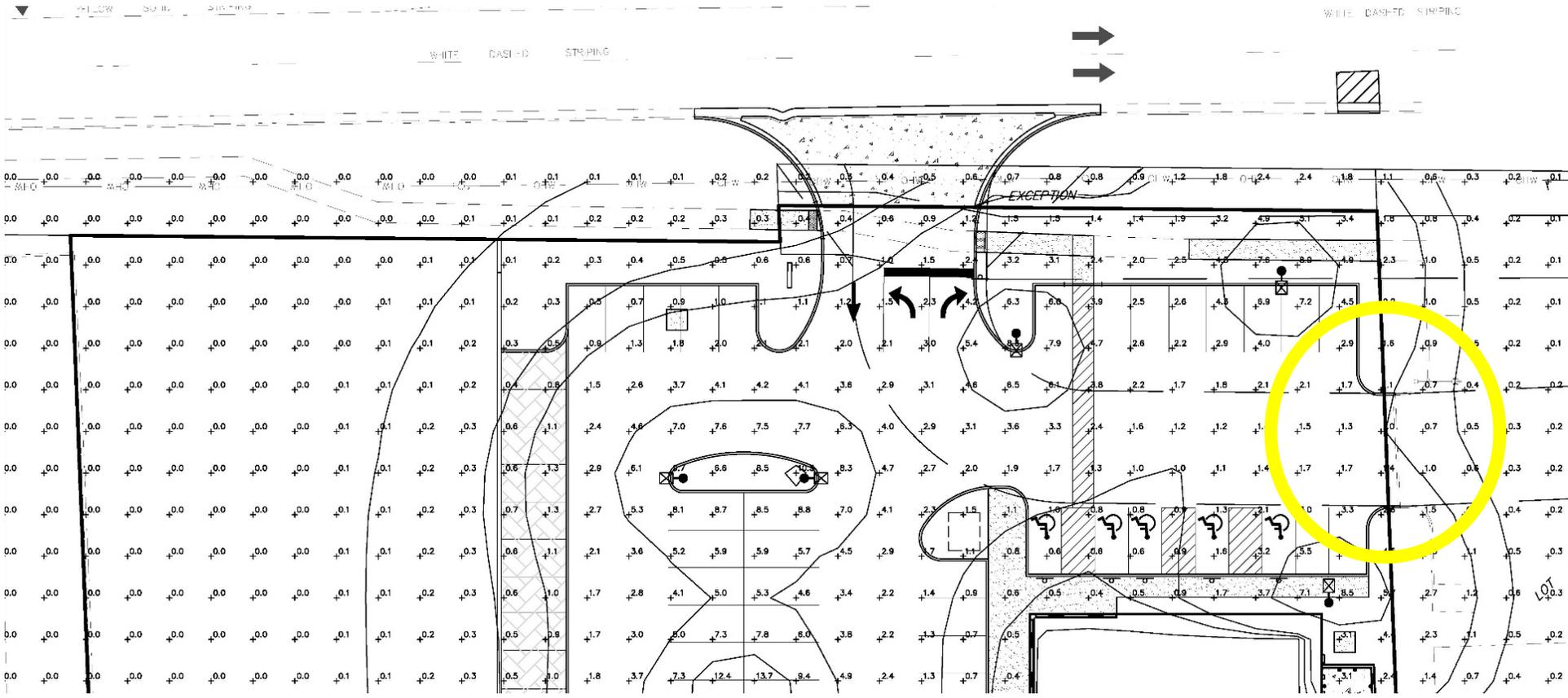
WATERMARK ENGINEERING RESOURCES
1175 W. LOMBARD ROAD
855 E. Lombard
Lombard, Illinois

DESIGNED BY: J. MILLER
DRAWN BY: K. SACK
DATE: JANUARY 14, 2022
SCALE: 1"=20'
PROJECT NO.: 21-002

PREPARED FOR:

PREPARED BY:

PHOTOMETRIC PLAN



GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-2334 DATED 08/16/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 500 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 916-0252
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

QUANTITIES

FIXTURE TYPE:	SYMBOL	QUANTITY
R2135 (REFLECTOR COLOR, LENS TYPE, ETC. TO BE SELECTED BY OWNER)		11
POLE TYPE:	SYMBOL	QUANTITY
350 23 30 (POLE COLOR, MOUNTING, ETC. TO BE SELECTED BY OWNER. FIXTURE SUPPLIER TO DETERMINE IF POLE IS COMPATIBLE WITH FIXTURE)		15

PHOTOMETRIC SUMMARY

VEHICULAR USE AREA:

AVERAGE	3.0
MAXIMUM	13.7
MINIMUM	0.2
AVG/MIN	(5.0/1)

- NOTES:**
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE OUTLINE SHOWN IN THE "QUANTITIES" NOTE LOCATED ON THIS SHEET. ANY SUBSTITUTIONS OR SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF WATERMAK ENGINEERING CONSULTANTS, LTD.
 2. MOUNTING HEIGHT OF FIXTURES = 20'. MOUNTING HEIGHT VARIATIONS AS PART OF THIS PLAN, ARE A 20' HIGH POLE.
 3. DISTANCE BETWEEN READINGS = 10'
 4. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS 0.8.
 5. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJACENT PROPERTIES OR ROADSWAYS.
 6. HOUSE SOFFIT SHEETS ARE NOT ALWAYS ABLE TO BE MOODED DUE TO THE UNAVAILABILITY OF THE PROPER SES FILES. IN THESE INSTANCES OTHER MANUAL ACCOMMODATIONS MAY BE MADE DURING THE MODELING PROCESS TO SIMULATE CUT OFF AT PROPERTY LINE OR ELEVATION.
 7. CONTRACTOR TO VERIFY PROPER ORDERING INFORMATION INCLUDING BUT NOT LIMITED TO VOLTAGE AND MOUNTING. PRIOR TO ORDERING OR INSTALLING SPECIFIED LUMINAIRE AND/OR POLES. ALL LIGHT FIXTURES TO BE PAUL CUT OFF.
 8. LIGHTING SHALL BE AS NOTED. CONTRACTOR SHALL FIELD ADJUST MOUNTING ON BUILDING TO OBTAIN A UNIFORM HEIGHT AND SPACING. WALL MOUNT SHALL BE PLACED IN A SYMMETRICAL PATTERN TO MATCH BUILDING ARCHITECTURE AND FINAL LOCATION SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATION.
 9. ALL LIGHTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND ELECTRICAL CODES.
 10. CONTRACTOR IS RESPONSIBLE TO VERIFY AND CORRECT MATERIALS AND LABOR FOR ALL ELECTRICAL, WIRING, CONDUIT, RIGGING, CONCRETE FOUNDATION, WELDS, REBAR, AND FOUNDATION. CONTRACTOR SHALL VERIFY ALL LIGHTING INSTALLATIONS AND ASSOCIATED WORK SHALL NOT INTERFERE OR IMPROVE EMERGENCY EGRESS AND EXIT LIGHTING FIXTURES OF SECURITY SYSTEMS.
 11. PROPOSED LIGHTING SHALL INCLUDE PHOTOCELL ON/OFF SYSTEMS. CONTRACTOR TO VERIFY IF ANY LIGHTS NEED MANUAL ON/OFF SWITCHES WITH OWNER'S REPRESENTATIVE.
 12. THIS PLAN IS FOR LIGHTING PERFORMANCE. ALL MEASUREMENTS AND ASSOCIATED EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE AND AT THEIR DISCRETION ALL INSTALLATIONS SHALL BE COMPLETED AND FINISHED. ANY SAFFS OR EXPOSED MOUNTINGS WILL BE REJECTED.
 13. ALL PROPOSED CONDUIT AND WIRE SERVICES SHALL BE CONCEALED AND HIDDEN SO AS NOT TO BE SEEN OR IMMEDIATELY NOTICEABLE. FINAL LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 14. ALL PAINTING SHALL BE DONE BY A PROFESSIONAL PAINTER AND MATERIALS SHALL BE MATCHED TO MATCH EXISTING SURFACES. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE ALL WORK.
 15. ALL RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT NO CHARGE OR EXPENSE TO THE OWNER.
 16. NOTES NOTED ON THE PLANS OR NOT ALL ASSOCIATED WORK WITH THE PHOTOMETRIC PLAN INSTALLATION AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL AS NEEDED.
 17. CONTRACTOR SHALL FIELD ADJUST BASED ON ELECTRICAL SUPPLY AND SHALL VERIFY AS NEEDED FOR PROPER INSTALLATION. IF NEEDED, CONTRACTOR SHALL CORRECT AN ELECTRICAL PROBLEM.
 18. CONTRACTOR RESPONSIBLE FOR ALL LUMINAIRE INSTALLATION, REPLACEMENTS, CONSTRUCTION REMOVALS AND DISPOSALS.
 19. CONTRACTOR SHALL FIELD ADJUST AS APPROVED BY OWNER. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL RESTORATION OR FABRICATIONS NEEDED. SHOP DRAWINGS OR MATCH UPS MAY BE NECESSARY FOR APPROVALS PRIOR TO INSTALLATION WORK AS NEEDED.
 20. ANY FABRICATIONS SHALL BE DONE WITH NON-CORROSIVE EXTERIOR GRADE MATERIALS AND FINISHES TO PREVENT BUILDING FROM ANY STAINING.



PHOTOMETRIC PLAN

SAFA PROPERTY, LLC
8080 Lombard
Skokie, IL

Prepared For:
VIP - LOMBARD
855 E. Roosevelt Road
Lombard, Illinois

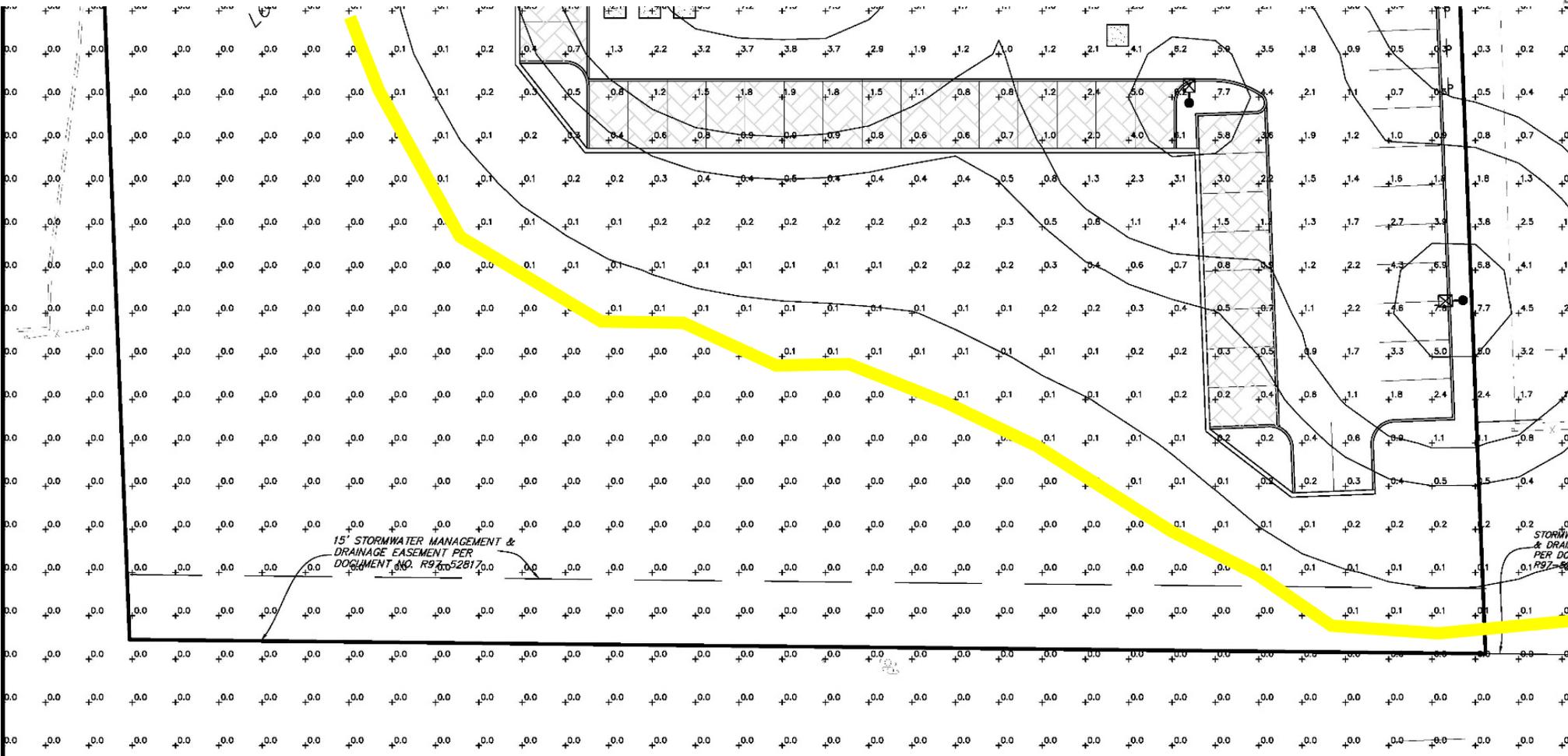
Prepared By:
Watermark Engineering Resources

Checked By: J. MILLER
Designed By: C. SACK
Drawn By: E. SACK
Date: JANUARY 14, 2023
Scale: 1" = 20'

PROJECT NO.: 23-02E

PHOTOMETRIC PLAN

1 of 1



15' STORMWATER MANAGEMENT & DRAINAGE EASEMENT PER DOCUMENT NO. R910052817

STORMWATER & DRAINAGE PER DOCUMENT NO. R910052817

GENERAL NOTES:
 1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-2334 DATED 08/16/2021) PREPARED BY: GENTLE AND ASSOCIATES, INC. 500 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 916-6252
 2. ALL RADIIUS DIMENSIONS ARE TO BACK OF CURB.
 3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
 5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

TITLE	SYMBOL	QUANTITY
RE TYPE: (REFLECTIVE COLOR, LENS TYPE, BE SELECTED BY OWNER)		11
TYPE: SUPPLIER TO DETERMINE IF POLE FINISH (WITH FEATURE)		15

PHOTOMETRIC SUMMARY

ULAR USE AREA:

AGE	3.0
NUM	13.7
UM	0.2
MIN	(5.0-)

FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE CRITERIA SHOWN IN THE "QUANTITIES" NOTE LOCATED ON THIS SHEET. ANY SUBSTITUTIONS OF EQUIPMENT OR FEATURES OF CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF WATERMARK ENGINEERING, INC.

WIND HEIGHT OF FIXTURES = 25'. MOUNTING HEIGHT INCLUDES A 2' CONCRETE BASE. TO BE PROVIDED BY THE CONTRACTOR AS PART OF PLAN. AND A 2" HIGH POLE.

ANGLE BETWEEN READINGS = 12'

IRREPARABLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED IN THIS DRAWING IS 0.8.

ALL ADJUSTMENTS TO AIMING ANGLE/ORIENTATION OF FIXTURES MAY BE USED TO ELIMINATE LIGHT TRESPASS OR SLARE ONTO ADJACENT PROPERTIES OR ROADSWAYS.

BE SURE SHIELDS ARE NOT ALWAYS ABLE TO BE HOODED DUE TO THE VARIABILITY OF THE PROXIMITY SET FILES. IN THESE INSTANCES OTHER LIGHT ACCOMMODATIONS MAY BE MADE DURING THE MODELING PROCESS. INDICATE CUT OFF AT PROPERTY LINES OR EASEMENTS.

TRACTOR TO VERIFY PROPER ORIENTATION INFORMATION INCLUDING BUT NOT LIMITED TO VOLTAGE AND MOUNTING. PRIOR TO ORDERING OR HAVING SPECIFIED LUMINAIRE AND/OR POLES. ALL LIGHT FIXTURES TO BE VAL CUT OFF.

THE WALL PAGES AN HOTEL CONTRACTOR SHALL FIELD ADJUST MOUNTING ON ONE TO DETERMINE A UNIFORM HEIGHT AND SPACING WALL PAGES SHALL BE SET IN A SYMMETRICAL PATTERN TO MATCH BUILDING ARCHITECTURE AND LOCATION SHALL BE VERIFIED WITH THE ARCHITECT'S PROOF OF INSTALLATION.

LIGHTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND LOCAL CODES.

TRACTOR IS RESPONSIBLE TO VERIFY AND CORRECT MATERIALS AND LABOR FOR ELECTRICAL, CONDUIT, SERVICES, CONCRETE FOUNDATIONS, HOLES, LIGHTING INSTALLATION. LIGHTING INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL AS NEEDED. PROPOSED LIGHTING WORK SHALL NOT INTERFERE OR OBSTRUCT EMERGENCY EXIT AND EXISTING LIGHTING FIXTURES OF SECURITY SYSTEMS.

USED LIGHTING SHALL INCLUDE PROTECTIVE OR SHIELDING CONTRACTOR VERIFY IF ANY LIGHTS NEED MANUAL OR WIRELESS ON/OFF SWITCHES WITH 30'S REPRESENTATIVE.

PLAN IS FOR LIGHTING PERFORMANCE. ALL MEANS, METHODS, AND EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE AT THEIR DISCRETION. ALL INSTALLATIONS SHALL BE COMPLETE AND FINISHED. SHAPES OR EXPOSED MOUNTINGS WILL BE REJECTED.

PROPOSED CONDUIT AND WIRE SERVICES SHALL BE CONCEALED AND HIDDEN IS NOT NECESSARY. FINISH LOCATION SHALL BE DETERMINED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

PAINTING HEIGHTS SHALL BE DONE BY A PROFESSIONAL COLORIST AND TYPES OF FINISH SHALL ACCORDINGLY TO ADJUST COLOR AND MATERIALS VERIFY COORDINATE WITH OWNER'S REPRESENTATIVE ALL WORK.

RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT HIS RISK OR EXPENSE TO THE OWNER.

RES NOTED ON THE PLANS OR NOT ALL ASSOCIATED WORK WITH THE PHOTOMETRIC PLAN INSTALLATION AND CONSTRUCTION. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL AS NEEDED.

TRACTOR SHALL FIELD ADJUST BASED ON ELECTRICAL SUPPLY AND PROVIDE AS NEEDED FOR PROPER INSTALLATION. IF NEEDED, CONTRACTOR SHALL CALL AN ELECTRICAL ENGINEER.

TRACTOR RESPONSIBLE FOR ALL LUMINAIRE INSTALLATIONS, REPLACEMENTS, TRACTOR REMOVALS AND DISPOSALS.

TRACTOR SHALL FIELD ADJUST AS APPROVED BY OWNER. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL RESTORATION OR REPAIRS. NEEDS, SHOP DRAWINGS OR EACH UNIT MAY BE NECESSARY FOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL AS NEEDED.

FABRICATIONS SHALL BE DONE WITH NON-CORROSIVE. EXTERIOR GRADE SHALL BE FINISHED TO PREVENT BUILDING FROM ANY STAINING.

NO RECORDS
 WITH BLIND CALL ON THESE
 PROJECTS
 3/1/22

Prepared For:
 SAFETY PROPERTY, LLC
 8080 Limestone
 Skokie, IL

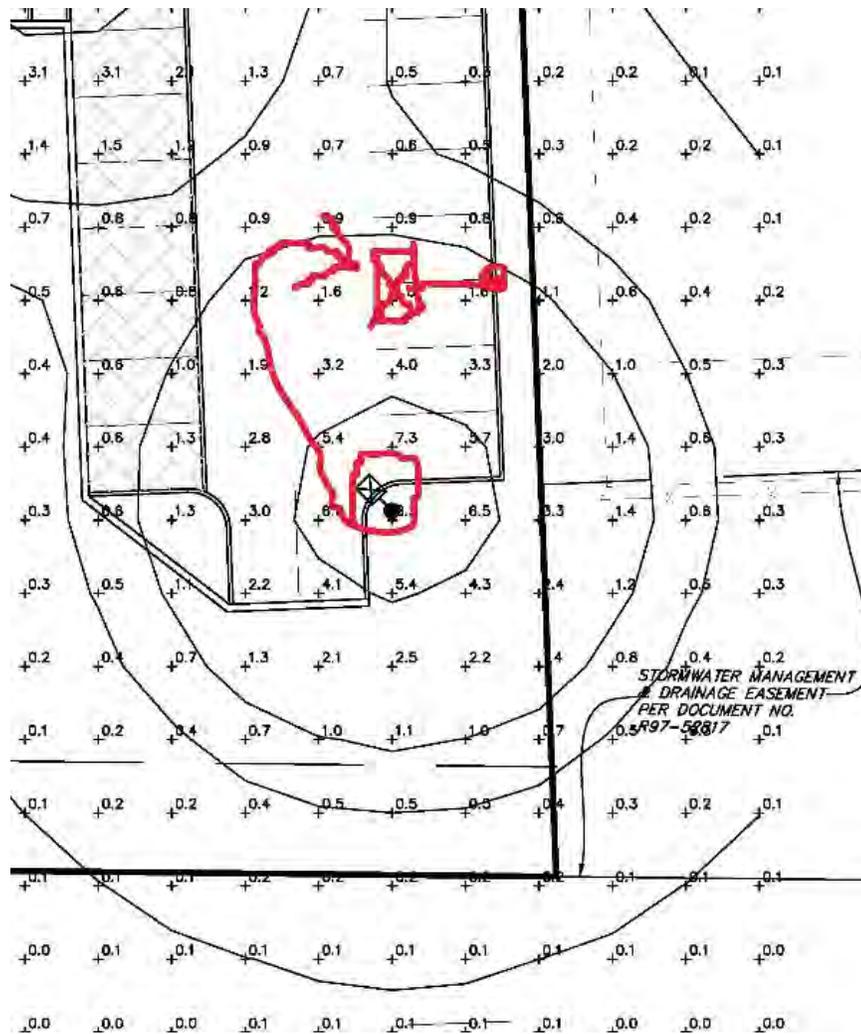
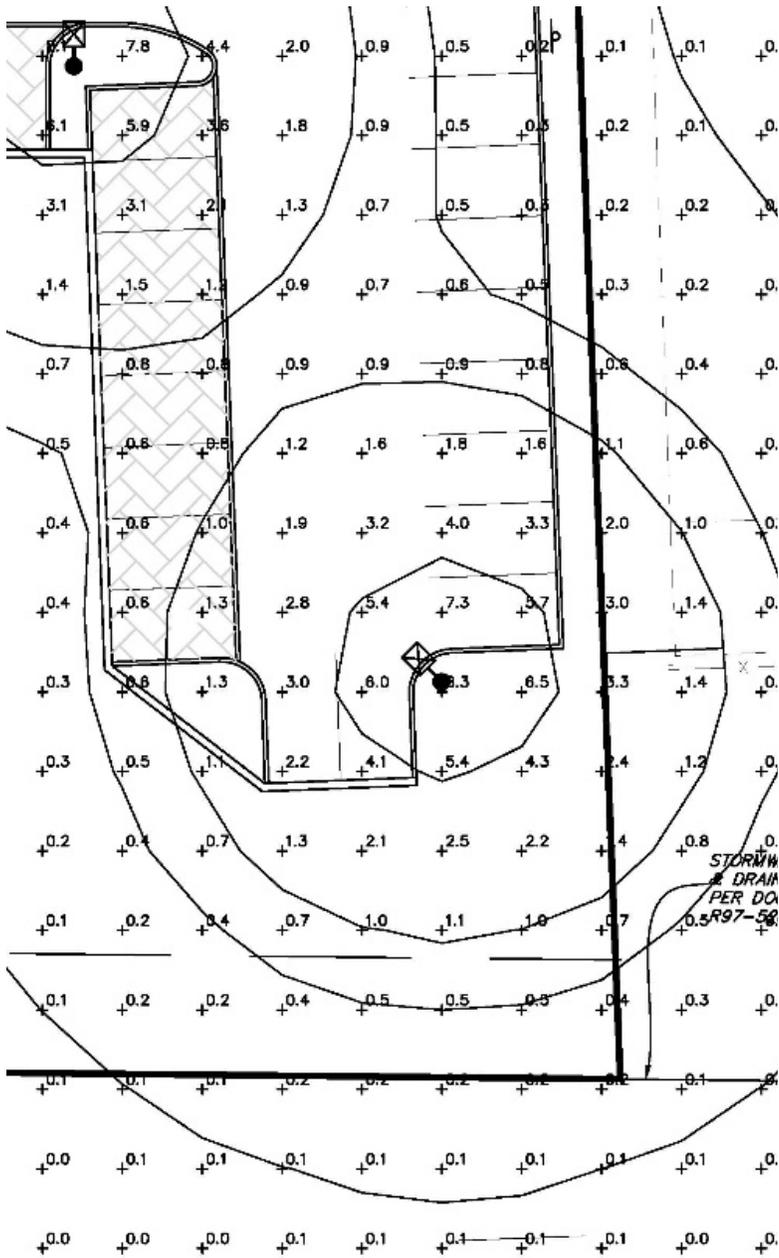
Prepared By:
 Watermark Engineering Resources

PROJECT NO.: 21-025
 DATE: JANUARY 14, 2023
 DRAWN BY: E. SACK
 CHECKED BY: J. MILLER

PHOTOMETRIC PLAN
 1 of 1



PHOTOMETRIC PLAN



GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE ALTA/MSIS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #1-2354 DATED 08/16/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 500 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 916-6052
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED, 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW SLIP RESISTANT PAINT.

QUANTITIES

FIXTURE TYPE:	SYMBOL	QUANTITY
POSTS (FORMER COLOR, LENS TYPE, ETC. TO BE SELECTED BY OWNER)		11
POLE TYPE:	SYMBOL	QUANTITY
SEA 25.50 (POLE COLOR, MOUNTING, ETC. TO BE SELECTED BY OWNER)		10

FIXTURE SUPPLIER TO DETERMINE IF POLE IS COMPATIBLE WITH FIXTURE

PHOTOMETRIC SUMMARY

VEHICULAR USE AREA:

AVERAGE:	3.0
MAXIMUM:	12.7
MINIMUM:	0.2
AVG/VIEW:	15.0:1

- NOTES:**
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE CRITERIA SHOWN IN THE "QUANTITIES" NOTE. LOCATED ON THIS SHEET, ANY SUBSTITUTIONS, IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF NATEMARK ENGINEERING RESOURCES, LLC.
 2. MOUNTING HEIGHT OF FIXTURES = SET. MOUNTING HEIGHT INCLUDES A 2" HIGH CONCRETE BASE, TO BE PROVIDED BY THE CONTRACTOR AS PART OF THIS PLAN, AND A 25' HIGH POLE.
 3. DISTANCE BETWEEN READINGS = 10'
 4. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS 1.0.
 5. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE INTO ADJACENT PROPERTIES OR ROADWAYS.
 6. HOUSE SIDE SHELDS ARE NOT ALWAYS ABLE TO BE MODELED DUE TO THE UNAVAILABILITY OF THE PROPER IES FILES. IN THESE INSTANCES OWNER MANUAL ACCOMMODATION ARRANGEMENTS MAY BE MADE DURING THE INSTALLATION PROCESS TO SIMULATE LIGHT OFF AT PROPERTY LINES OR ELSEWHERE.
 7. CONTRACTOR TO VERIFY PROPER ORDERING INFORMATION INCLUDING BUT NOT LIMITED TO: VOLTAGE AND WIRING. PRIOR TO ORDERING OR INSTALLING SPECIFIED LUMINAIRE AND/OR FIXTURES, ALL LIGHT FIXTURES TO BE FULL CUT OFF.
 8. LOCATE WALL FACES OF MODEL. CONTRACTOR SHALL FIELD ADJUST MOUNTING ON BUILDING TO OBTAIN A LIGHTING FOOT CANDLE UNIFORMITY. WALL FACES SHALL BE PLACED IN A SYMMETRICAL PATTERN TO MATCH BUILDING ARCHITECTURE AND FINAL LOCATION SHALL BE NOTED WITH THE ARCHITECT PRIOR TO INSTALLATION.
 9. ALL LIGHTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND ELECTRICAL CODES.
 10. CONTRACTOR IS RESPONSIBLE TO VERIFY AND CORRECT MATERIALS AND LABOR FOR ALL ELECTRICAL SOURCES, CONDUIT, SIZES, CONCRETE FOUNDATIONS, POLES, MOUNTING AND ALL RELATED ITEMS. ALL INSTALLATIONS SHALL BE COMPLETE, AND PROVED ANY GAPS OR DEFECTS WILL BE RECTIFIED.
 11. PREPARED LIGHTING SHALL INCLUDE PHOTOCELL, DAY/ NIGHT SENSING. CONTRACTOR TO VERIFY IF ANY LIGHTS NEED MANUAL OR UNLESS CUT OFF SWITCHES WITH OWNER'S REPRESENTATIVE.
 12. THIS PLAN IS FOR LIGHTING PERFORMANCE. ALL DESIGN METHODS AND ASSOCIATED EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO OBTAIN AND AT THEIR OWNERS RISK. ALL INSTALLATIONS SHALL BE COMPLETE, AND PROVED ANY GAPS OR DEFECTS WILL BE RECTIFIED.
 13. ALL PROPOSED CONDUIT AND WIRE DEVICES SHALL BE CONCEALED AND HIDDEN SO AS NOT TO BE SEEN OR VISUALLY NOTICEABLE. FINAL LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 14. ALL PAINTING NEEDS SHALL BE DONE BY A PROFESSIONAL. COLORS AND TYPES OF PAINT SHALL MATCH EXISTING TO MAINTAIN CURB AND MATERIALS. VERIFY AND COORDINATE WITH OWNER'S REPRESENTATIVE ALL WORK.
 15. ALL RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT NO CHARGE OR COST TO THE OWNER.
 16. WHETHER NOTED ON THE PLANS OR NOT ALL ASSOCIATED WORK WITH THE PHOTOMETRIC PLAN INSTALLATION AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL AS NEEDED.
 17. CONTRACTOR SHALL FIELD ADJUST BASES ON ELECTRICAL SUPPLY AND PROVIDE WIRING AS NEEDED FOR PROPER INSTALLATION. IF NEEDED, CONTRACTOR SHALL CONSULT AN ELECTRICAL ENGINEER.
 18. CONTRACTOR RESPONSIBLE FOR ALL LUMINAIRE INSTALLATIONS, REPLACEMENTS, CONSTRUCTION, MAINTENANCE AND REPAIRS.
 19. CONTRACTOR SHALL FIELD ADJUST AS APPROVED BY OWNER. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL RESTORATION OR FABRICATIONS NEEDS. SHOP DRAWINGS ON SUCH ITEMS MAY BE NECESSARY FOR APPROVALS PRIOR TO INSTALLATION, WHERE AS NEEDED.
 20. ALL FABRICATIONS SHALL BE DONE WITH NON-CORROSIVE EXTERIOR GRADE MATERIALS AND TRIMMED TO PROTECT BUILDING FROM ANY STAINING.



PHOTOMETRIC PLAN

DATE: 01/14/2022	PROJECT: 05R97-58
DESIGNED BY: J. MILLER	PROJECT NO.: 21-005
DRAWN BY: K. SOK	DATE: JANUARY 14, 2022
CHECKED BY: J. MILLER	SCALE: 1" = 30'
DATE: JANUARY 14, 2022	PROJECT NO.: 21-005

Prepared For: SAFA PROPERTY, LLC
8080 Lawlridge
Stokely, IL
VIP - LOMBARD
855 E. Roosevelt Road
Lombard, Illinois

Prepared By: Natemark Engineering Resources
1000 W. Roosevelt Road
Lombard, IL 60148
www.natemarkeng.com | 312.719.9100 | (630) 916.6052

PHOTOMETRIC PLAN

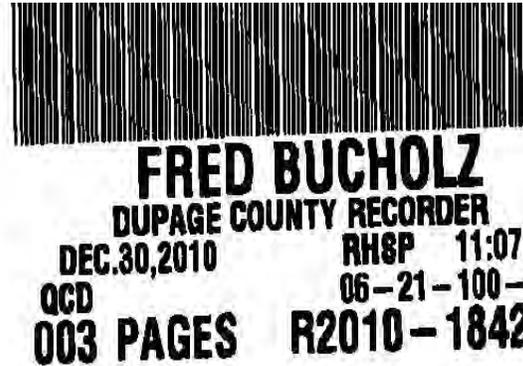
1 of 1

York Center Park District

QUIT CLAIM DEED

Statutory (ILLINOIS)
(Individual to Individual)

Grantee and
After Recording, mail to:
York Center Park District
1609 S. Luther Ave.
Lombard, IL 60148



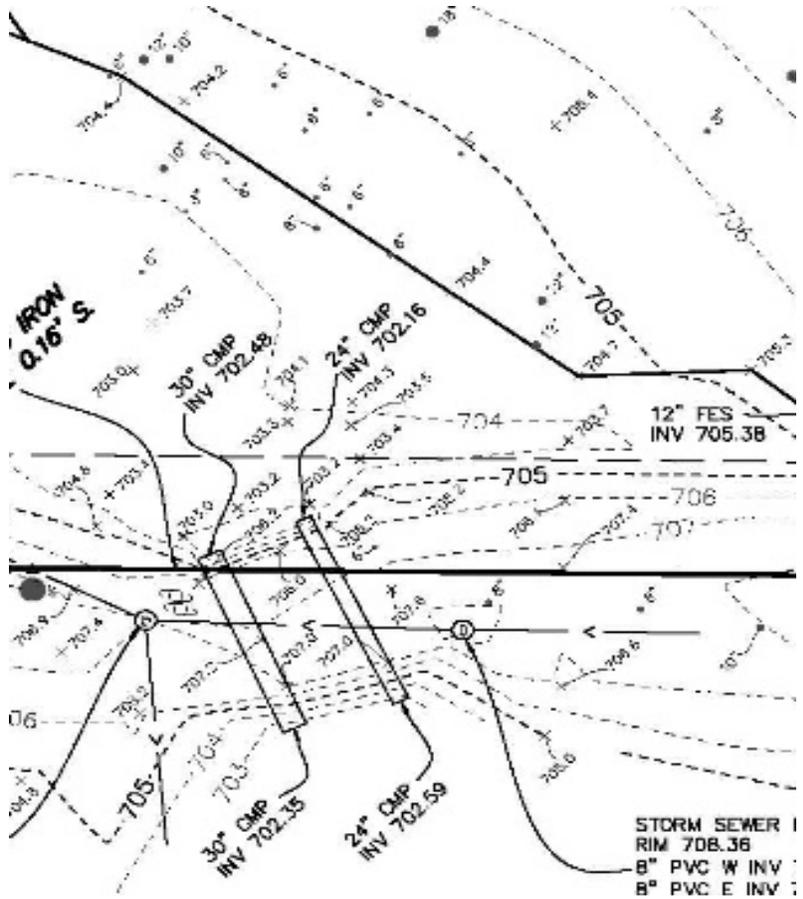
THE GRANTOR, York Center Community Cooperative, Inc., a judicially dissolved Illinois not-for-profit corporation, of the County of DuPage, State of Illinois, for and in consideration of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration in hand paid, CONVEYS AND QUIT CLAIMS to the York Center Park District, a political subdivision of the State of Illinois, of Lombard, County of DuPage, State of Illinois, in fee simple, the following described Real Estate situated in the County of DuPage in the State of Illinois, to wit:

- The York Center Park District may not have acted like it on March 15, 2022, but it is a political subdivision of the State of Illinois
- Any neighbor claiming to be a “member” must be confusing the membership fees charged for programs. There are no members.
- In 2010, YCPD took over the land after years of neglect by the York Center Cooperative.

YORK CENTER PARK DISTRICT OPPOSITION

- Daniel observations at least monthly since September 2021 show minimal use of the south park and zero use of the north pond which has expanded to cover portions of two private parcels.
- Several calls/emails with E.D. Scott Nadeau from February 23, 2022 (no opposition).
- Comm'r Bob Fritz was on Neighbor Zoom Meeting March 2, 2022 (no opposition).
- New plan visits with all neighbors, call/email Nadeau (March 8, 2022)
- March 16, 2022 letter opposes variations but not conditional uses and expresses no basis for opposition to variations.
- March 15, 2022 illegal meeting to allow neighbors to vent (no notice, no agenda, no call or email to Daniel despite contact).

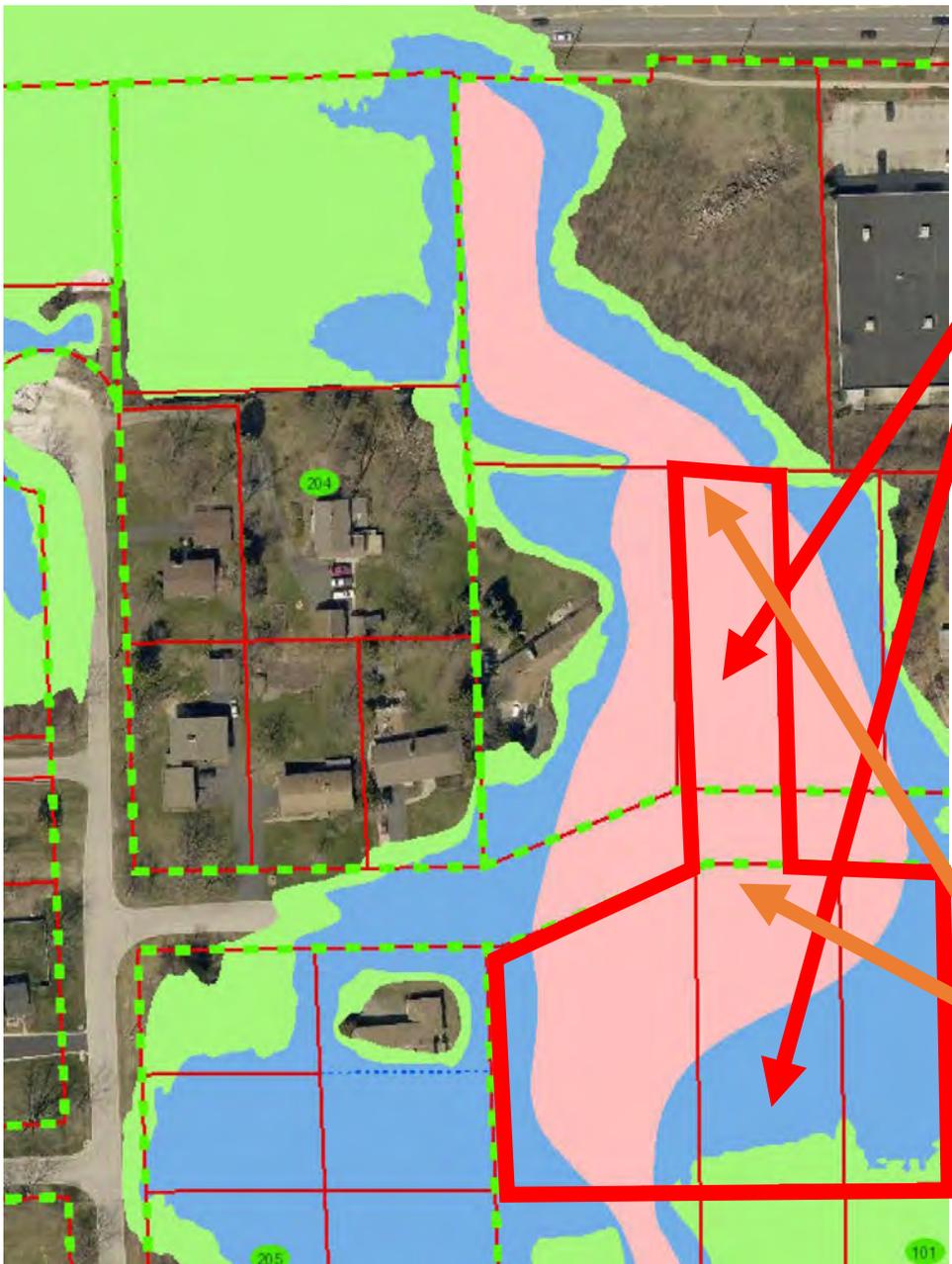
Co-Op Park is a drainage way; unplanned passive recreation, if that. Not maintained well.



2021



2021

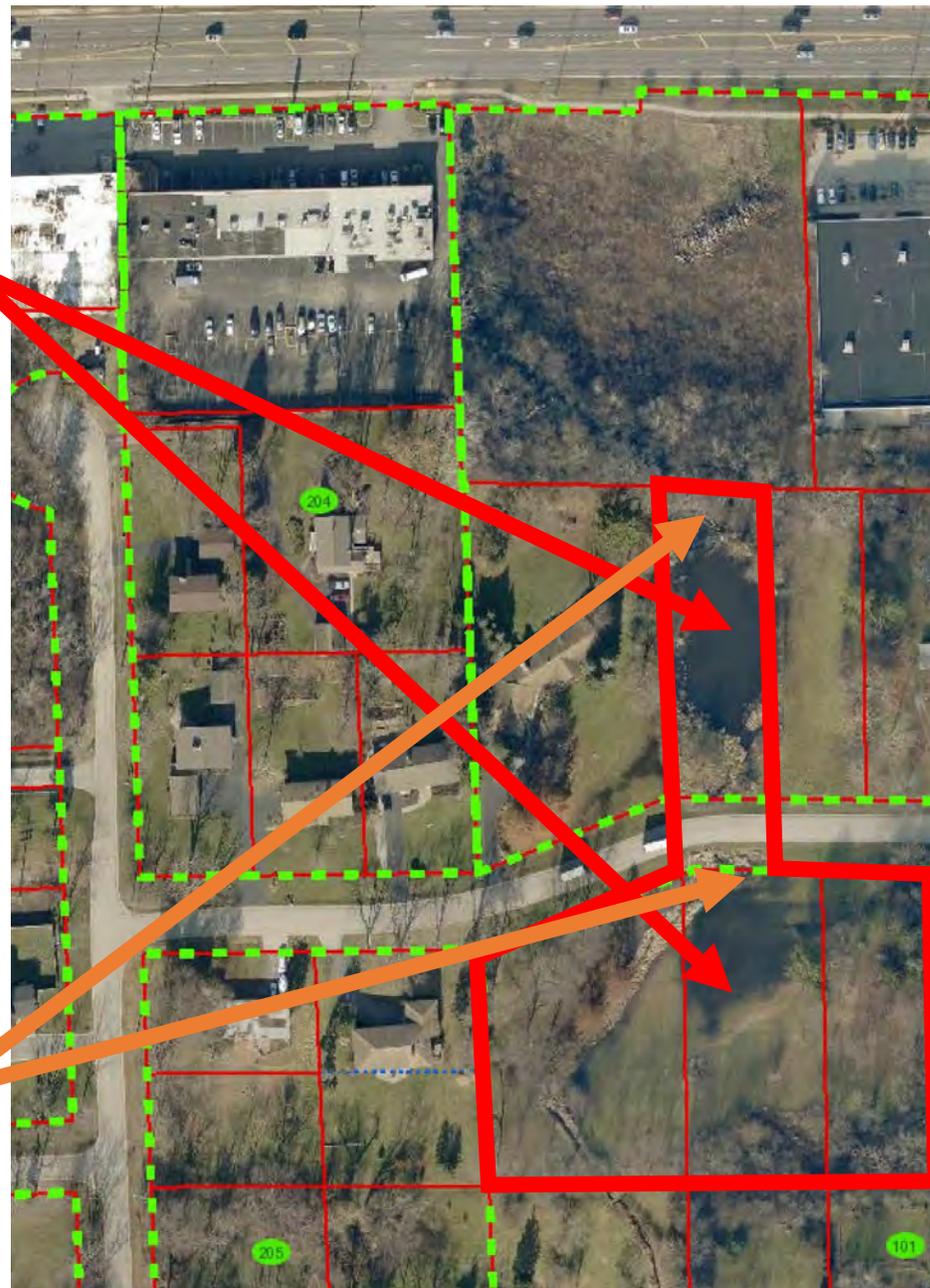


**CO-OP
PARK**

COOPERATIVE
UNTIL 2010

YCPD
AFTER 2010

**FAILED
MAINTENANCE**

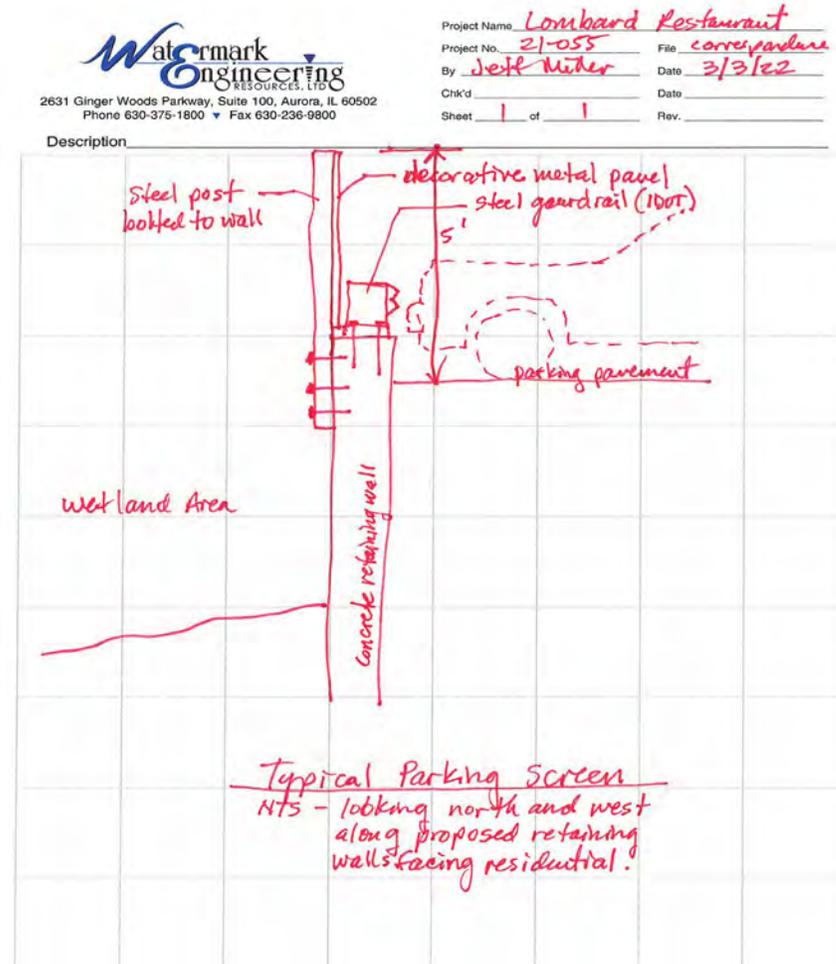


Standard Obstructionist Operating Procedure

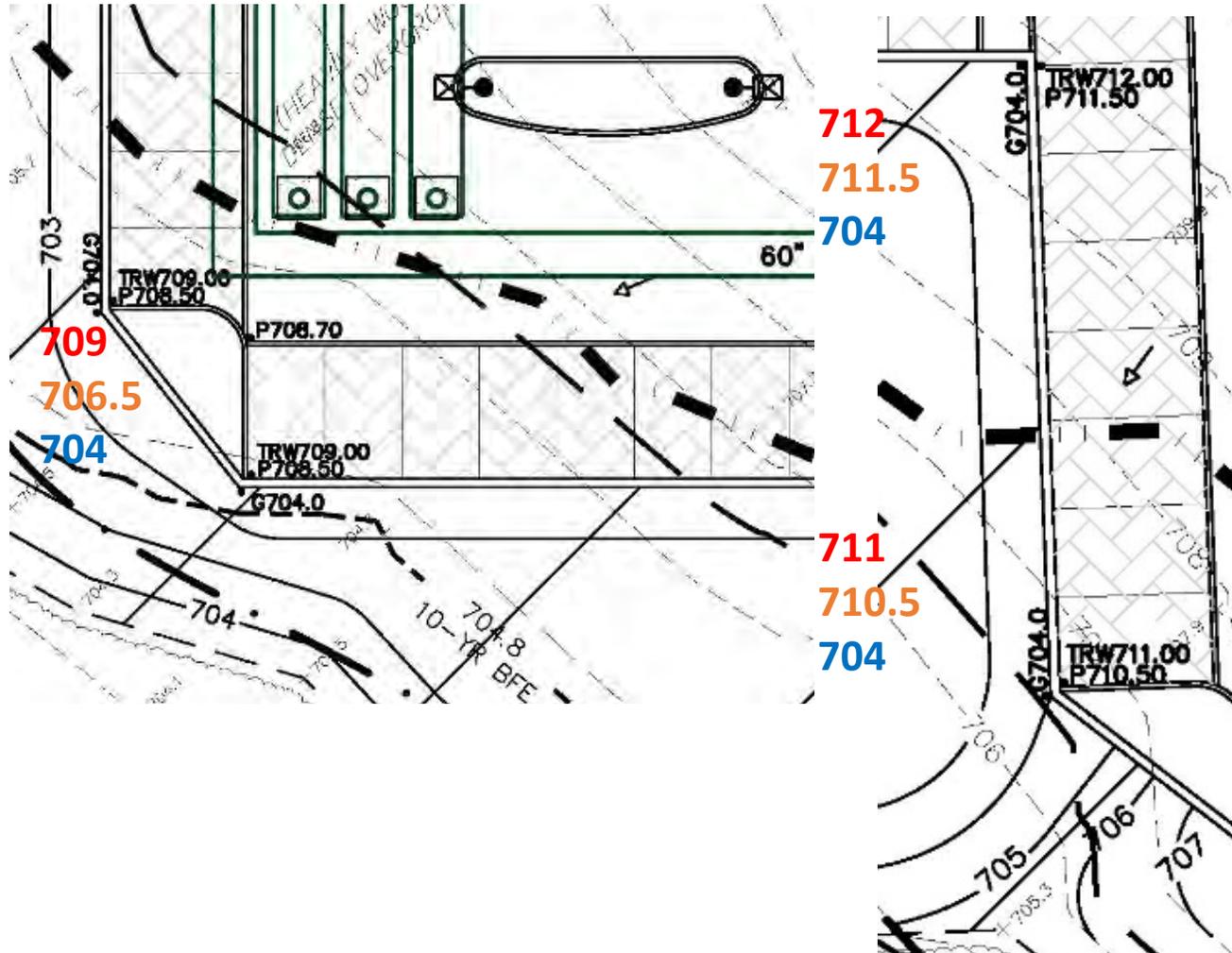
- Informational meeting held due to importance of sharing project information in advance of zoning hearing and obtaining feedback.
- Plan modifications in coordination with neighbors and YCPD executive director at the urging of a neighbor (screening, pole lighting, wall lighting, lighting dimming and switches, no outdoor amplified sound).
- Neighbors ask for more trees on Roosevelt and seek elimination of lighting variations they will not see, soundproofing of walls, and trees south of 13th.
- Neighbor/YCPD seek bald cypress trees despite existing screen (provided).
- Neighbors falsely claim windows and doors stay open.
- Park district hosts an illegal meeting with no notice, no agenda on Internet, no phone call or email and allow neighbors to vent while never having a presentation of the project by anyone with appropriate knowledge.

Some Neighbors Want Fence at Head of Spaces

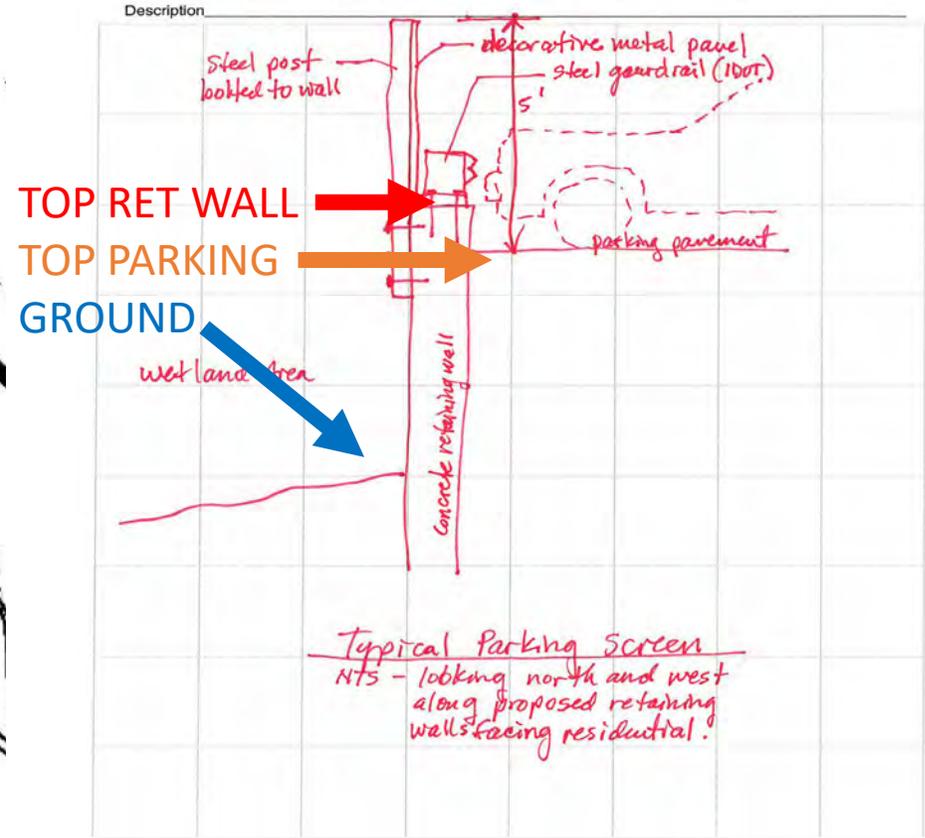
- Denies Safa the benefit of the wetland and natural area it is spending money to preserve.
- Creates a sound chamber for noise reverberation from the use and from PepBoys and west neighbor (harming the south and southeast).
- Impractical as the existing screen already works well and it will be supplemented by neighbor's chosen trees (bald cypress).
- Poses maintenance and hazard issues.



Some Neighbors Want Evergreens at Spaces




 Project Name Lombard Restaurant
 Project No. 21-055 File correspondance
 By Jeff Miller Date 3/3/22
 Chk'd _____ Date _____
 Sheet 1 of 1 Rev. _____
 2631 Ginger Woods Parkway, Suite 100, Aurora, IL 60502
 Phone 630-375-1800 Fax 630-236-9800

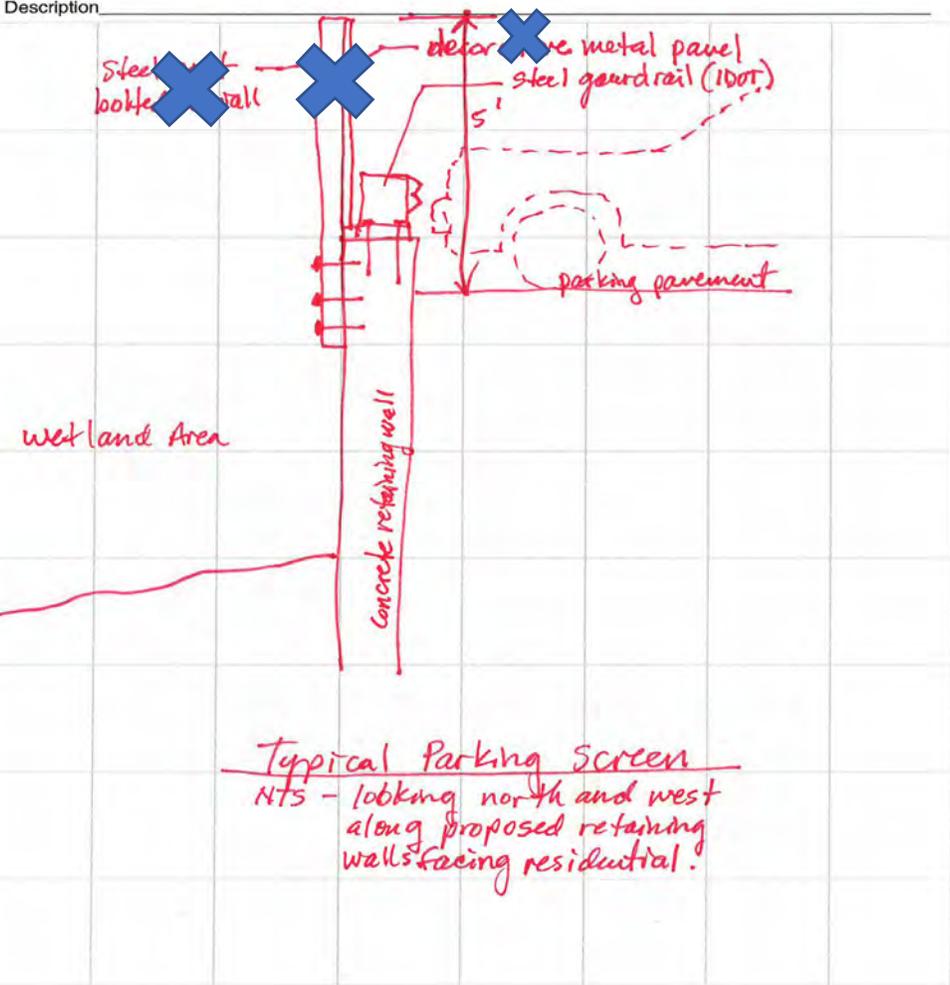
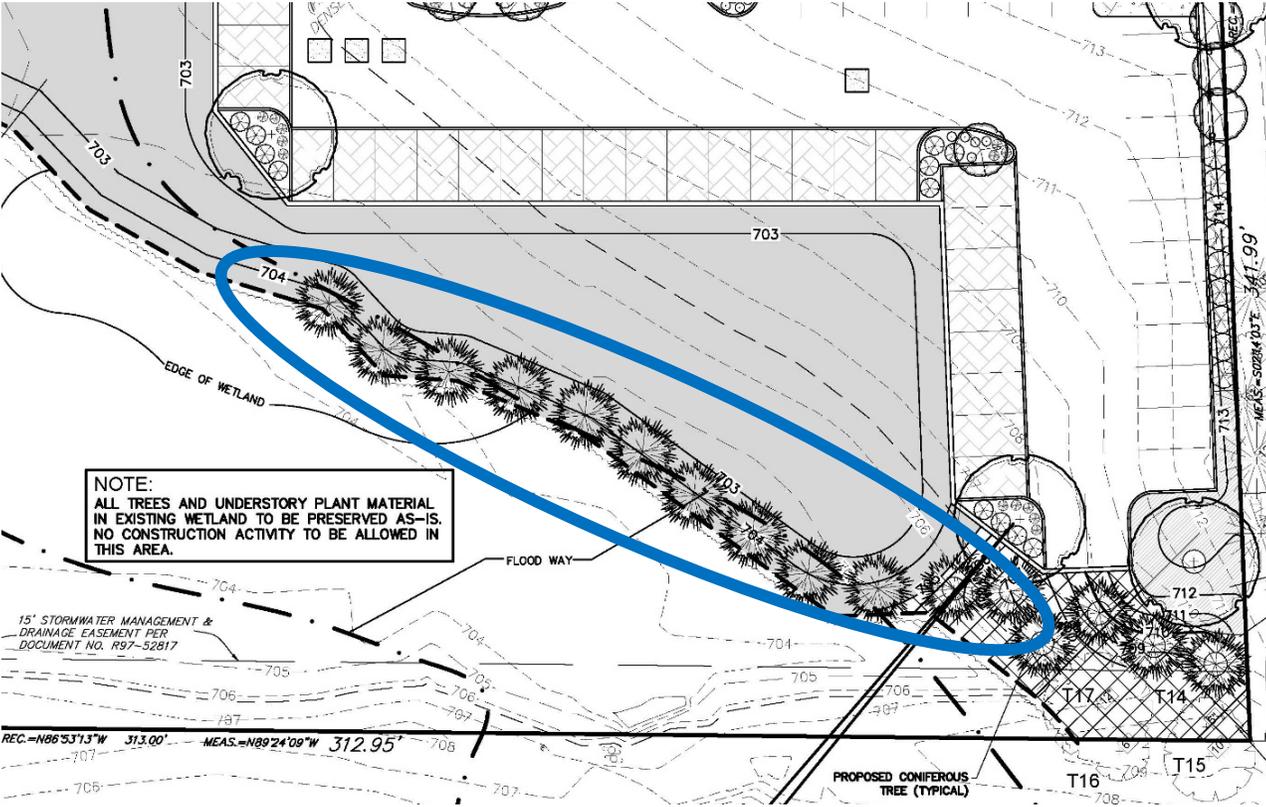


RESOLUTION



2631 Ginger Woods Parkway, Suite 100, Aurora, IL 60502
 Phone 630-375-1800 Fax 630-236-9800

Project Name Lombard Restaurant
 Project No. 21-055 File correspondance
 By Jeff Miller Date 3/3/22
 Chk'd _____ Date _____
 Sheet 1 of 1 Rev. _____



OTHER NEIGHBOR COMMENTS

- Three stories is too tall
 - Allowed by code
 - 3 stories directly north
 - Limited building area pushes height
- Traffic, parking, lighting too much
 - Exactly as intended in B4A district
- Lighting will impact homes
 - False, zero footcandles
 - 0.3-0.5=full moon, see photometric
- Wildlife
 - EcoCAT clearance (report if seen)
- Impact on property values
 - No evidence, this any residence north or south of the B4A would be similar
 - Lighting variances imperceptible
- Noise
 - No homes within 330 feet
 - Nearest usable park, 450-500 feet
 - No outdoor amplified sound
 - Windows and doors not open
- Flooding
 - False, see plans which reduce sheet flow, store and retain water, move outlet along Roosevelt Road
 - Water quality per County PCBMPs
 - YCPD failed to maintain pipes, affecting owners east and south
- It will rain more in the future
 - County SWFPO covers this
 - Lombard and County will insist on proper planning and drainage

OTHER NEIGHBOR COMMENTS (continued)

- Go someplace else
 - Allowed at site by code
 - 3 stories directly north
 - Looked for four years
 - Not a shopping center use (High Point)
 - Not environmentally friendly (waste)
 - Conflicts with retail needs
- “My experience with Bucky’s”
 - Not relevant at all
- Windows or doors will stay open
 - False (knowingly false at YCPD)
- Multiple variations in drainage sought
 - False. No drainage variations in requests.
- Variations impact habitat and species
 - False, see EcoCAT
 - False, wetland untouched with better low flow management and retention
 - False, variations are all near or north of building
 - False, having the right amount of parking is better for habitat than excessive parking
 - False, 1.23 acres on site remains open and properly connected to the 3.11 acres in Co-Op Park, 0.56 north
 - Eliminated rows of parking
 - Removed wall lights, dimming, shutoff
 - Relocated south light pole 30’ further north
 - Relocated dumpster to east of building
 - Added two trees and ten bald cypress

OTHER NEIGHBOR COMMENTS (continued)

- Impact on Public Land
 - Public land actually impacts the Subject Property because the tributary would not exist but for Montini and other schools and the drainage needs of York Center
 - The passive recreation purpose relates as much to stormwater as it does any habitat concern
- “Enraged to hear Daniel refer to wetland as insignificant”
 - The wetland is not a significant wetland
- “... and the park as insignificant”
 - The attached park space offers only the slightest ability to recreate even passively
- Pursue a Dark Skies community
 - The cooperative was a collection of city dwellers who escaped to a Christian-run farm community--not a forested woodland area
- Chicago Region Trees Initiative
 - Our goal is to make a significant, measurable improvement to the regional forest and the lives of its inhabitants by the year 2050.
 - Preserves a diverse 1.23 acre open area that includes wetland tree stand
 - Adds three times the same species the YCPD has added in Co-Op Park recently
- Variances that allow more lights to showcase the building on the south AND west side of the building are unacceptable.
 - Variances do not allow more light south and west. Variances do not allow showcasing of the building.
- We, the members of the Co-Op Park, deserve a dark skies compliant neighbor.
 - False. The Cooperative failed to maintain the park area and the drainage for 30-40 years before it was dissolved in 2010. The YCPD continued this.

OTHER NEIGHBOR COMMENTS (continued)

- It will ruin Co-Op Park
 - False, drainage will continue
 - Usable park is 450-500 feet south
 - Large wetland and tree stands
 - Co-Op Park is not an active park
 - Nothing interferes with passive rec
 - 10 bald cypress requested by YCPD
 - YCPD failed to maintain at outflows in two locations
 - YCPD vote was a sham proceeding
- Sightlines affected
 - Building is 2 degrees above PepBoys on the northerly horizon
 - Wetland screen, SE landscaping.
- Our neighborhood park land is significantly impacted by the development of this property.
 - False. Sugar Creek tributary flows from south to north.
 - For decades, the cooperative did not have paved roads, leading to erosion and sediment that was so bad the federal government referred to it as blighted.
 - It is this sediment that has robbed 13th Street property owners of land and caused ponding in the park.
- Drainage is more important north of Roosevelt
 - True. They suffer many times more damage than York Center (Area E).

Other Neighbor Comments (continued)

- “The design calls for lighting on all four stories & all four sides.”
 - False. On three stories except east.
- “include[e] ground lighting that shines skyward”
 - True. At rickshaws and plantings.
 - Lighting shines up. Not skyward.
- The parking lot does not have a fence that will block car headlights from shining into surrounding houses
 - East line has full arbor vitae screen with full wrap of the corner
 - West and south have bald cypress
- The neighborhood already deals with water issues in the park and surrounding houses.
 - Co-Op Park was always a drainage way and intended as such
 - Cooperative and YCPD neglect leads to downed trees, eroded support for pipes and excess ponding near 13th Street culvert.
 - “In surrounding houses” is false inasmuch as there is no report of property damage in Area E over the last 60 years.
- [T]he developer has indicated they would like to primarily utilize existing foliage in flood-ways for screening.
 - See landscape plan.

Other Neighbor Comments (continued)

- Customers parking in residential areas and trespassing for egress/regress of the site
 - No pedestrian connection, no reasonable access between any residential area and the site.
 - The park north of 13th is a bog.
- The square footage can maintain a larger occupancy than what is published
 - Preliminary kitchen and FFE indicates the area for diners is less than “published,” seats remain at 348
- On 28 rooftop seats, “The philosophy of the Plan Commission is to foresee this type of situation and address before a structure is built.”
 - False. The Village permits outdoor dining. Applicant has committed to no outdoor amplified sound and limited hours of rooftop operation.
- The current square footage assigned to the kitchens would easily be able to serve double the occupancy listed.
 - Ignores catering and three styles of kitchens.

Other Neighbor Comments (continued)

- I am asking that events in the parking lot and on the patio not be given a variance as there is no limitation as to how often, when or to what capacity these events can be held.
 - Saturdays, 12P-7P only adjacent to south wall of building
 - No events on rooftop

About Tomas Novickas (not a neighbor)

- “I would respectfully ask that at minimum the consideration of variances is postponed to allow the developer to work on solutions.”
 - Mr. Novickas refused to accept geometry.
 - Mr. Novickas insisted on non-native species and, following Daniel’s rejection of planting bald cypress, had the YCPD call Daniel to tell him that the YCPD had success with bald cypress and it would appreciate using those for a screen (as would Mr. Novickas).
 - As a result, a line of ten or more bald cypress is shown in the plans despite Mr. Novickas being aware that these trees lose their needles.
 - With that said, it is difficult for Mr. Novickas to now shift to insisting on another planting and disingenuous to claim that there is no continuous arbor vitae planting on the east line and no parking lot screen other than the *substantial* existing wetland screen.

Tomas Novickas (continued)

- “While I do not expect the property at 855 Roosevelt to remain undeveloped, it is critical that any development of the property maintain the historical integrity of the park's serenity.”
 - Historical integrity (the park became serene only when it became permanently flooded; it was farmland before)
 - 1.23 acres is sufficient (the pond lot to the south is less than 50% this size)
- The B4a Roosevelt Road zoning language supports keeping the park serene.
 - This interpretation is incorrect. A transition yard or area is necessary and Applicant meets the B4A regulations south of the building curtilage—well north of the “park” that primarily exists south of 13th Street, upstream from the pond the cooperative and YCPD allowed to develop and continue north of 13th Street.

Tomas Novickas (continued)

- [W]e have proposed specific, reasonable, and actionable solutions--which so far have largely not been included.
 - Soundproofing walls is not a reasonable solution.
 - Depriving the owner of year-round views and access to 1.23 acres of land is not a reasonable solution.
 - Constructing fences along the parking lot to reflect sound from PepBoys back to the east and southeast or from the bar back to the west and southwest is not a reasonable solution.
 - Planting trees in an area where they will impact a retaining wall is not a reasonable solution.
 - Eliminating all lighting on the south elevation rather than some is not a reasonable solution.
 - Removal of a light relocated to a point adjacent to the wall of PepBoys is not a reasonable solution.
 - Eliminating lighting for the access route and accent lighting for the rickshaws and landscaping to “protect a pond and park further south” is not a reasonable solution.
 - Dark Skies planning at this location is not a reasonable solution.
 - Adding new street trees where neither IDOT nor Lombard nor the County desires them is not a reasonable solution.

Tomas Novickas (continued)

- [U]pon the restaurant closing, the employee designated parking (another variance related request) --the last people to leave-- is almost directly adjacent to neighboring properties.
 - Employee designated parking is not a variation
 - The designation places those who will lose a job in a position of respecting neighbors near the lot line rather than a guest who we lack control over
- The developer has verbally indicated that noise would be minimal simply because there is no alcohol served, however there is no written guarantee (that we are aware of) that would ensure this form of "noise mitigation" would be perpetual.
 - Usmania does not serve alcohol. Mr. Novickas and others refuse to investigate this or accept the proposition that a restaurant can succeed without alcohol. There is no more to discuss on this front. Alcohol is not served due to personal beliefs that have nothing to do with noise.
- The developer has indicated they would self-enforce noise issues related to parties and employees leaving at the end of the night (early morning hours) but no clear process or guidelines have been shared.
 - Closed doors and windows
 - Limited rooftop hours
 - No alcohol
 - No amplified sound outdoors
 - Avoidance of a fence where reflective sound issues would arise
 - Employee parking closest to the park and abutting neighbor
- Section 155.417 (2) "Site landscaping shall buffer unwanted views and sound"
 - He reads "buffer" as "blocks"

Tomas Novickas (continued)

- “[C]ritically, 155.417(G)(14) also states that "Screening of lights from residential areas ... shall be required" which is not being accomplished by the developer's proposal.”
 - False, see photometric plan
 - False, all lights for which a variance is requested are situated near or north of the building and screened from any home
- The rooftop deck with apparent "VIP" lounge areas
 - He is making this up based on his own apparent lifestyle
 - The deck will close well before the restaurant.
- “[N]o provisions have been made to reduce noise from the rooftop deck to adjacent properties nor park.”
 - False. No outdoor amplified sound.

The building will tower over our existing trees.

USMANIA



USMANIA

The building will tower over our existing trees.



The building will tower
over our existing trees. USMANIA



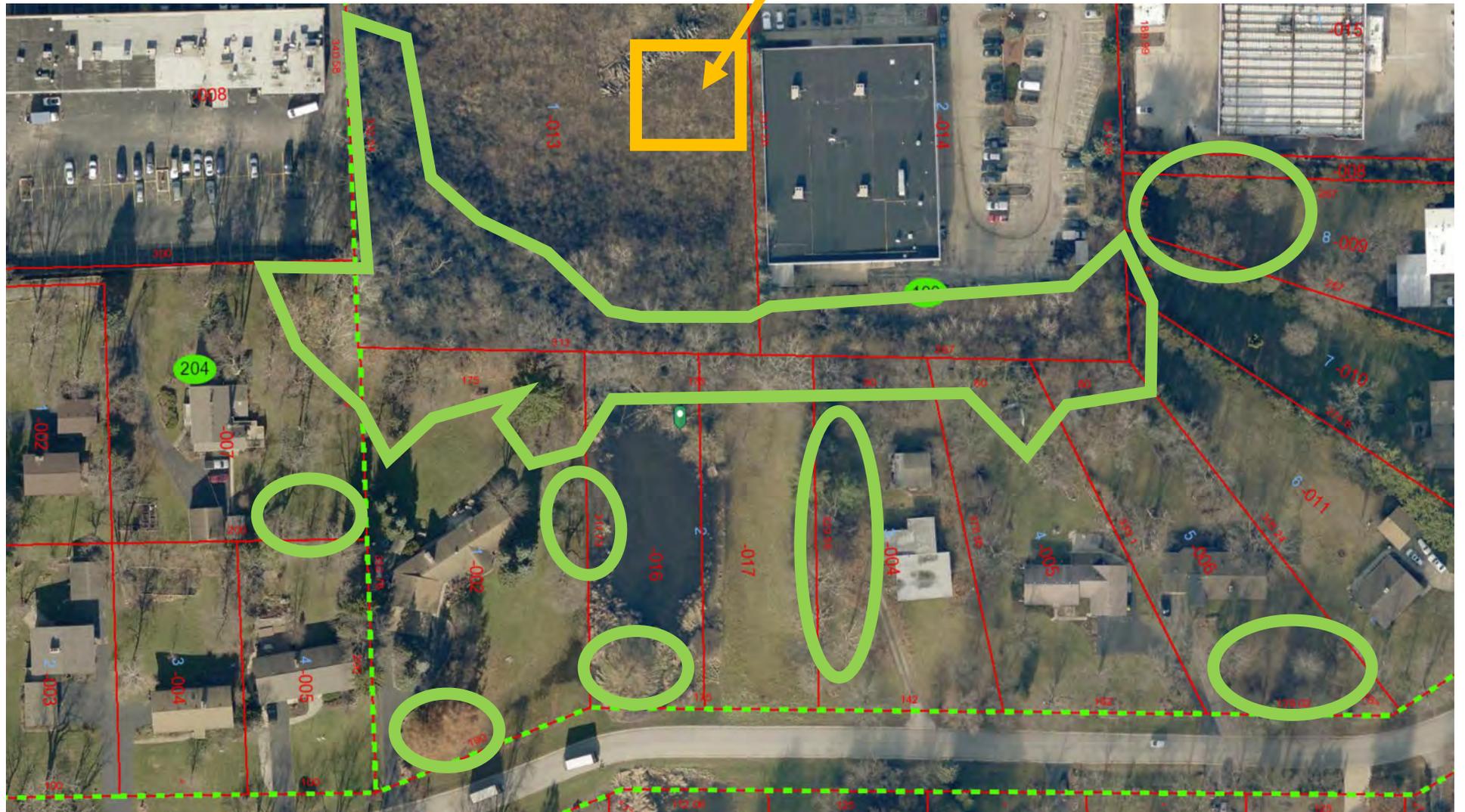
USMANIA

The building will tower over our existing trees.



It's not true...

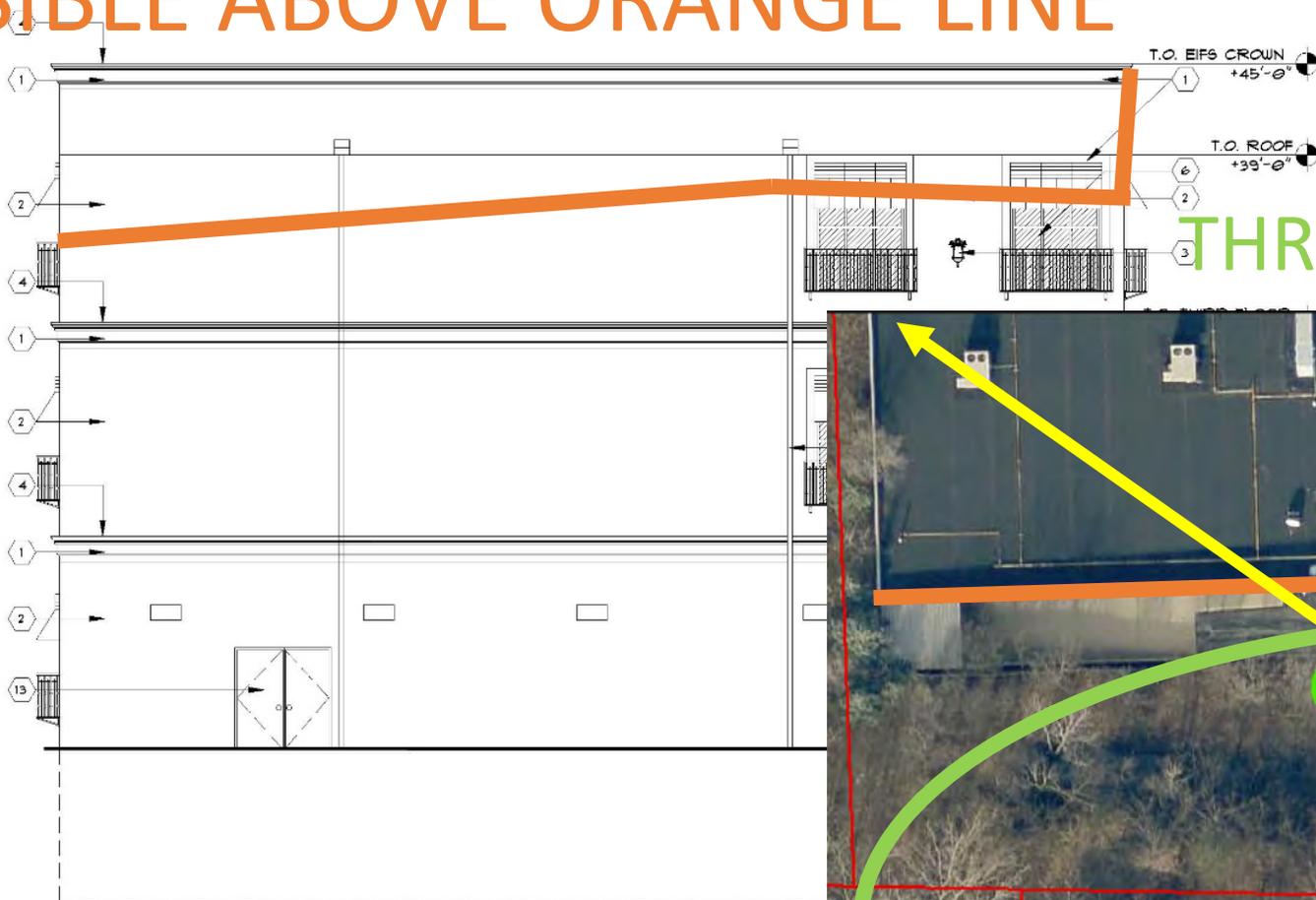
USMANIA



828 13th Street

- I am asking that the lighting on the west and south sides of the building be baffled so that the intensity of the lighting in my back yard are minimized. I suggest the same for the parking lights. That they be baffled and angled down toward the parking lot.
 - Reduced wall lighting on south; upper will turn off, lower will dim late.
 - Relocated light pole near southeast corner as noted above.
- Happy if a line of shrubs and 40' trees could be planted on the south and west sides of the parking lot
 - YCPD/"Neighbor" specified line of bald cypress will reach 40'
 - Placed at first available location west and south of parking lot
- Concerned about three story height of building
 - 45' to parapet from southeast (E/SE elevation complies with 40' roof height limit)
 - A two story building would disturb more of the site

VISIBLE ABOVE ORANGE LINE



TOP OF PARAPET = 45'0"

TOP OF ROOF = 39'0"

THROUGH +80' OF TALL CANOPY

3 PROPOSED EAST ELEVATION
SCALE: 1/8"=1'-0"

THE EAST ELEVATION IS 1' SHORTER
THAN MAXIMUM ROOF HEIGHT



Questions from Neighbors

- Where is it written that there will not be alcohol served on this development for the next 50 years. The developing owners may not serve alcohol, but what happens if/ when ownership changes?
 - If a license is available, the owner who decides to serve alcohol will comply with the liquor control ordinance.
 - The liquor control ordinance does not amend the relief provided or the conditions imposed.
- Where would overflow guests park?
 - If valet is required, the east aisle would be used for this parking.
- Please use sound dampening walls.
 - This will not be required.

Questions from Neighbors (continued)

- The increased light will lower the quality of life for near by houses. Please address.
 - Some lighting was removed from south wall, upper floors shut off, first floor will dim at closing. Lighting on east elevation was limited before March 2.
- People trying to find or leave the restaurant will eventually end up on 13th Street in confusion and drive too fast. We already have a speeding problem on that road. Signs have minimal impact and they look bad. Please address traffic safety concern.
 - These are York Center residents and guests. There is no pedestrian connection to Usmania from 13th Street. No traffic heading to or from Usmania will benefit from using 13th or School. Zero cut-through risk. Westmore-Meyers and Roosevelt Road are the principal nearby street routes.

Questions from Neighbors (continued)

- What study has been done to understand the impact this development will have on the local park natural space and animals?

- See photometrics
- See also the preliminary civil engineering plans



Applicant: SAFA PROPERTY LLC
Contact: MARK W DANIEL
Address: 2608 WEST PETERSON
SUITE 201
CHICAGO, IL 60659

IDNR Project Number: 2207130
Date: 11/18/2021

Project: USMANIA PRIME
Address: 849 E. ROOSEVELT ROAD, LOMBARD

Description: CONSTRUCTION OF A RESTAURANT AND ACCESSORY PARKING AND LOADING, DETENTION.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains **no record of State-listed threatened or endangered species**, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Questions from Neighbors (continued)

- What happens if someone happens to see a nest for the first short-eared owl observed in DuPage County since 2016? (a fair and polite rewording of comments from a neighbors concerning endangered species review
 - Even if the EcoCAT review from IDNR did not turn up anything, we are obligated to stop work and report if we see signs of an endangered species.
 - These signs would have to be more than a bird on an adjacent parcel or a bird in a tree on our parcel, though if we did see such a bird, we would look for a nest and notify.
 - IDNR is aware that the short-eared owl is endangered in DuPage County, but it did not identify this site as being known to be the host of the species.

Questions from Neighbors (continued)

- What is being done at this location and surrounding for appropriate management of the vulnerable areas once the project is "completed"?
- DuPage County will determine the permitting aspects of work that affects the amount of water discharged into the wetland
- Historically, dirt and stone have migrated into the wetland from unpaved roads south of the site
- Historically, erosion from sheet flow has migrated into the wetland
- There should be an improvement to the water quality in general, and in particular, in the wetland

Questions from Neighbors (continued)

- What will the county/village/investor/park district dedicate as resources to improve the natural habitat on both the "developed" and "undeveloped" (adjoining) land at this location? Footprint of the project leaves a significant part of the vulnerable areas "untouched", but that begs the question of what level of land management will encourage a healthy development of the surrounding natural/wetlands/wooded areas and who will share in this common interest?
 - The County will have a blanket easement and continue to evaluate the tributary. The owner will remove low volume dead trees and fly dumping. The YCPD should repair its pipes and removed dead trees and obstructions to the pipes.
 - No one is required to dedicate funds, but they cannot kill off a wetland or remove trees from the wetland without a proper permit and, in this case other authorizations.

Questions from Neighbors (continued)

- This would lead me to think that plantings may be more useful in the undeveloped lot to the north of 13th street (privately owned).
 - Applicant refused to plant trees for YCPD, but the owners of land east of the park area north of 13th know that Applicant would be willing to plant a few trees if needed in an area sufficiently south of the berm. Applicant is certain that screening will be adequate to buffer the use from homes, but these owners know that three trees south of the SE corner and berm are an option.
- [V]ehicle headlights should be able to be mitigated by the suggested (guard rails) enhanced by a fence or natural screen above the guard rails to mitigate the lights from traffic movement in the parking lot.
 - Applicant added 12-13 trees from the SE corner along the wetland buffer in a northwesterly direction. A fence on the guard rail is not recommended due to concerns over reflective noise.

Questions from Neighbors (continued)

- Is there an obligation to the York Center Park District arising from intergovernmental relationships?
 - Lombard owes an obligation to the YCPD to consider the park as a neighbor.
 - In the Applicant's view, the YCPD violated state law in convening a meeting to address action items that were not on a properly published agenda.
 - This prevented the Applicant from being present and presenting accurate information available to the YCPD even though Applicant was checking the YCPD's website daily.
 - The YCPD's action is a nullity and it knows it does not have jurisdiction.
 - With that in mind the executive director will confirm that Applicant has been in touch with him since February 23 and that Applicant added 12 trees to the project and avoided a fence due to sound reflection or reverberation concerns. The YCPD also will acknowledge that the Applicant has identified YCPD maintenance and repair issues that contribute to excessive ponding.

REQUESTED CONDITIONAL USES

- To allow a restaurant, including entertainment and dancing when conducted as part of the restaurant operations and secondary to the principal use (155.4177(G)(2)(a)(vii));
- To allow a building containing a restaurant as a principal use that will exceed 40 feet in height (155.417(G)(2)(c)(vii));
- To allow outdoor display and sales on a seasonal or periodic basis in the row of parking along the south elevation of the building and in the rooftop area (155.417(G)(10)(b));

STANDARDS FOR CONDITIONAL USE

- (a) That the establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare;
- (b) That the conditional use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood in which it is to be located.
- (c) That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;
- (d) That adequate public utilities, access roads, drainage and/or necessary facilities have been or will be provided;

STANDARDS FOR CONDITIONAL USE

- (e) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
- (f) That the proposed conditional use is not contrary to the objectives of the current comprehensive plan for the Village of Lombard; and
- (g) That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.

Illinois Supreme Court

- The listing of the conditional use(s) in the B4A conditional use list is a legislative determination that the use is appropriate at properties in the district.
- The requested conditional use(s) should be approved unless a particular aspect of the use at this particular location renders the use improper at the site when compared to other locations in the B4A district.
- Denial on the basis of impacts from aspects of the permitted use (restaurant smells, outdoor dining noise, parking lot lighting, people talking as they walk to cars, building lighting) is improper.
- Denial based on an impact caused by an aspect of the conditional use that occurs elsewhere in the B4A district is improper.

Dancing and Entertainment

- The dancing and entertainment is on the inside of a building that is 330 feet from any residence. Most uses in the B4A zoning district have buildings closer to homes.
- Uses that would allow dancing or entertainment often serve alcohol, but the proposed use will not be serving alcohol.
- Dancing and entertainment will be consistent with events and the style of dining and not detrimental to, or an endangerment to public health, safety, morals, comfort, or welfare.
- Since dancing and entertainment will only occur inside a building with closed doors and windows, the use will not be injurious to the uses and enjoyment of other property, nor substantially diminish and impair property values in the B4A neighborhood.
- The dancing will occur on the last of properties to develop in the district and no aspect of the use will cause more traffic or extend beyond the lot lines so as to impede development and improvement of property for uses permitted in the B4A district.
- Adequate public utilities, access roads, drainage and/or necessary facilities are planned.
- The use implicates no aspect of traffic or parking that has not already been addressed.
- The use is consistent with the comprehensive plan.
- The use of which the dancing and entertainment is a part of a use that will conform to B4A regulations, except as modified.

Conditional Use of Height Above 40 Feet

- The height above 40 feet rises above the glass enclosed dining on the third floor, but remains below the top of parapet.
- The building is 330 feet from any residence. Most uses in the B4A zoning district have buildings closer to homes.
- Dancing and entertainment will be consistent with events and the style of dining and not detrimental to, or an endangerment to public health, safety, morals, comfort, or welfare.
- Since dancing and entertainment will only occur inside a building with closed doors and windows, the use will not be injurious to the uses and enjoyment of other property, nor substantially diminish and impair property values in the B4A neighborhood.
- The dancing will occur on the last of properties to develop in the district and no aspect of the use will cause more traffic or extend beyond the lot lines so as to impede development and improvement of property for uses permitted in the B4A district.
- Adequate public utilities, access roads, drainage and/or necessary facilities are planned.
- The use implicates no aspect of traffic or parking that has not already been addressed.
- The use is consistent with the comprehensive plan.
- The use of which the dancing and entertainment is a part of a use that will conform to B4A regulations, except as modified.

Outdoor Events (Saturdays, Noon-7:00 PM)

- The area adjacent to the south wall is 330 feet from any home and having tables and tents set up for cultural events or bazaars in this area will not affect nearby owners.
- Outdoor activities offering goods, services and education will not be detrimental to, or an endangerment to public health, safety, morals, comfort, or general welfare.
- Event timing is concurrent with the busy daytime hours in the area and before busy dining hours, so the use will not be injurious to the uses and enjoyment of other property, nor substantially diminish and impair property values in the B4A neighborhood.
- The events will operate within the capacity of the site, away from the shared access and entrance drive and no aspect of the use will extend beyond the lot lines so as to impede development and improvement of property for uses permitted in the B4A district.
- Adequate public utilities, access roads, drainage and/or necessary facilities are planned.
- The use implicates no aspect of traffic or parking that has not already been addressed.
- The use is consistent with the comprehensive plan and retains people in the district.
- The events will conform to B4A regulations, except as modified, and also comply with Village ordinances applicable to equipment and use.

GENERAL STANDARD FOR VARIATIONS

The variations from the Zoning Ordinance are “in harmony with its general purpose and intent” (155.103(C)(2)(A))

- The variations meet the standards.
- The project and the variations are consistent with the Lombard Comprehensive Plan.
- Kane DuPage Soil and Water Conservation District Land Use Opinion does not indicate that the project or any variations will be a problem.
- The Illinois Department of Natural Resources EcoCAT report did not indicate concerns for flora or fauna or any endangered species.

155.103(C)(7)(A) FINDINGS

Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience if the strict letter of the regulations were to be applied.

- Water impacts on 1.23 acres of 2.45-acre site



DuPage County DFIRM2019

155.103(C)(7)(A) FINDINGS (continued)

- The wetland is densely wooded and will not be disturbed, leaving ample buffers to allow interior parking lot landscaping relief.
- In 1997, the Village authorized reciprocal access and shared driveways in order to accomplish preferred driveway spacing along IL 38.
- The development must complete this access route and direct lighting to attain a level of illumination appropriate for the cross-access, requiring a variation to direct lighting to the access route where it crosses the lot line and to allow greater footcandles than are allowed on the other side of the lot line for safe operations.
- Conditions (a) reduce area for parking, voluntary loading as well as foundation plantings, (b) impact lighting planning, and (c) support use of planting areas for plants and cultural elements (rickshaws)

155.103(C)(7)(B) FINDINGS

The conditions upon which an application for a variation is based are unique to the property for which the variation is sought, and are not generally applicable to other property within the same zoning classification.

- The only B4A parcel impacted in this fashion.
- 1 other similarly impacted IL 38 commercial lot in DuPage County.
- No other B4A lot features such a dense wooded area to screen and buffer active on-site areas.
- 1.23 acres will be governed by maintenance and landscape planning due to the special management areas

155.103(C)(7)(C) FINDINGS

The purpose of the variation is not based primarily upon a desire to increase financial gain.

- Avoidance of the apron allows loading east of the building to benefit residential neighbors and adds nothing to the bottom line.
- Decorative lighting for the rickshaws and some plantings allows for creative planning, and does not add to profits.
- Lighting access routes relates to safety across the lot line, not profit.
- The parking variation allows continuation of the wetland and floodway (no amendment to FEMA map) rather than compel loss of the area for parking that is not necessary to the use.
- Planting variations for the special management area are not profit matters.
- Avoidance of southerly foundation landscaping and planning for cultural events is primarily a community benefit even though some profit may result.

155.103(C)(7)(D) FINDINGS

The alleged difficulty or hardship is caused by this ordinance and has not been created by any person presently having an interest in the property.

- Applicant acquired the property in Fall 2021, well after:
 - The farmstead extending from Roosevelt Road into York Center was divided for commercial and residential use;
 - The Sugar Creek tributary developed south of the Subject Property;
 - Illinois Route 38 constricted the flow of the tributary as it continued north;
 - Trees grew, were cleared, re-grew, were cleared again and re-grew; and
- Applicant avoids overparking under regulations it did not develop.

155.103(C)(7)(E) FINDINGS

The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

- The cultural event area is south of the building and 80-100 feet north of the south wall of PepBoys (320 feet from any home).
- The lighting variations enhance values and are not a detriment.
- The landscape variations to avoid plantings in a wetland continue the longstanding screen for homes to the south and southwest.
- The apron waiver allows relocation of the dumpster from near the south lot line and allows loading east of the building rather than south.
- The variations support a project that will reduce substantial sheet flow towards the south lot line.

155.103(C)(7)(F) FINDINGS

The granting of the variation will not alter the essential character of the neighborhood.

- The neighborhood is the B4A stretch of Roosevelt Road, not the wholly disconnected area that is York Center.
- The project fulfills the character by improving land for hospitality use in an area where there are numerous food and beverage operations and most of these operations do not provide foundation plantings, full loading aprons, full parking or trees in all landscape islands.
- The lighting variations benefit the neighborhood.
- Some of the variations benefit the adjacent residential neighborhood.
- None of the variations have impacts extending into this area to the south.

155.103(C)(7)(G) FINDINGS

The proposed variation will not impair an adequate supply of light and air to adjacent property. . . .

- The apron variation assists in increasing light and air by allowing relocation of the waste enclosure to an area between buildings.
- The only physical variations south of the building relate to avoiding unnatural landscaping in the longstanding wetland.
- The parking variations do not affect light and air.
- The lighting variations do not affect light and air.

155.103(C)(7)(G) FINDINGS

The proposed variation will not . . . substantially increase the congestion of the public streets. . . .

- The apron variation occurs in the deep interior of the property and use of the voluntary loading zone avoids congestion in the public streets when necessary parking spaces are not used by a truck.
- The lighting variation supports illumination of the reciprocal easement area and improves access, thereby avoiding congestion of the access were not illuminated.
- The parking variation allows a volume of spaces adequate to serve the use (acceptable under ITE ranges, area municipalities) to avoid multiple same-trip usage of IL 38.
- The timing of cultural events on the south side of the building is such that the use of the area will not be during times of high parking demand.
- Landscape variations for style of trees along IL 38 avoids overly planting along and in the right of way where there are multiple aggregations of utility lines.

155.103(C)(7)(G) FINDINGS

The proposed variation will not . . . increase the danger of fire. . . .

- None of the variations relate to matters of fire safety.
- The apron variation is for a loading area and not required for fire safety.
- The planned use of the property allows for fire fighting from three of four side of the building, and the east side can be accessed easily.
- There is no structure south of the building, so the parking variation's contemplation of a valet plan will not affect fire safety.
- The variation to allow rickshaws in two planting beds and the other landscape variations do not affect fire planning or rescue.

155.103(C)(7)(G) FINDINGS

The proposed variation will not . . . impair natural drainage. . . .

- The reduction of parking by two rows situated south and west of proposed parking avoids impairing natural drainage.
- The County and Village have reviewed preliminary engineering and no aspect of the plans indicates that there could be such an impairment.
- The project will be properly permitted under applicable ordinances.
- The project will actually restore some of the natural drainage across the south property line by eliminating sheet flow that currently impedes flow from the south.
- None of the variations diminish respect for the floodway and wetland.
- The wetland and floodway did not develop naturally.

155.103(C)(7)(G) FINDINGS

The proposed variation will not . . . create drainage problems on adjacent properties. . . .

- The reduction of sheet flow from most of the site will avoid a large volume of water flowing south against the volume passing through the pipes in Co-Op Park.
- None of the drainage planning impacts properties to the east or west.
- The project will improve low volume events.
- Drainage will be planned not to cause overflow onto IL 38.
- The project will improve the operation of the floodway.

155.103(C)(7)(G) FINDINGS

The proposed variation will not . . . endanger the public safety. . . .

- The lighting variations improve public safety.
- Waiving the loading zone apron does not affect public safety since nearly all loading is done before the business opens.
- The parking variation avoids excessive parking for the use and does not lead to overuse or abuse of the access easement.
- The avoidance of southerly foundation landscaping allows more safety in an area where loading activity occurs.
- The avoidance of southerly foundation landscaping improves safety for persons accessing the area where cultural events will occur.
- Waiving one tree in each of the planting islands hosting a rickshaw allows for a safer rickshaw amenity by allowing views to the rickshaws and those one or around them.

155.103(C)(7)(G) FINDINGS

The proposed variation will not . . . substantially diminish or impair property values within the neighborhood.

- The neighborhood is the B4A stretch of Roosevelt Road, not the wholly disconnected area that is York Center.
- The photometric plan reflects compliance with the Lombard Zoning Ordinance and DuPage County standards (County in relation to the access lighting for which two of the variations are requested).
- Since the 1960's, parcels along Roosevelt Road were planned for commercial use and values contemplate the transition in use from York Center north to Roosevelt Road.
- The variations themselves have no effect on land values, and the project supported by the variations is within the envelope created by the Village in the B4A district.

155.103(C)(7)(G) FINDINGS

The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

155.103(C)(8) FINDINGS

- None of the variations modify any defined term.
- The project is not eligible for planned development treatment
- None of the variations vary uses between zoning districts. All uses are authorized uses in the B4A Roosevelt Road Corridor district.
 - Restaurants and banquets with outdoor dining are permitted as of right;
 - Cultural activities on some Saturdays are a conditional use because they occur outdoors.
 - Dancing and entertainment are conditional uses in a restaurant or banquet operation.
 - The small portion of a glass roof that is slightly above the 40-foot building height limit requires a conditional use.
- No variation results in a density increase.