

EXHIBIT B

DOWNTOWN RESTAURANT FORGIVABLE LOAN PROGRAM AGREEMENT

This Downtown Restaurant Forgivable Loan Program (hereinafter referred to as the “Agreement”) Agreement is entered into this 21st day of September, 2023, by and between the Village of Lombard, Illinois, (hereinafter referred to as the “Village”), and property owner 10 W. St. Charles LLC (hereinafter referred to as “Applicant”), for the property located at 2-8 W. St. Charles Road, Lombard, Illinois (said location being legally described on Exhibit “1” attached hereto and made part hereof – hereinafter referred to as the “Subject Property”).

WITNESSETH

WHEREAS, the Village, pursuant to Chapter 36 of the Lombard Village Code, has established a Downtown Restaurant Forgivable Loan, Downtown Retail Business Grant and Downtown Renovation and Improvement Grant Programs (hereinafter referred to as the “Programs”), and, as such, will provide assistance to qualified business owners and property owners in the Eligible TIF Districts (as said term is defined in Section 36.51 of the Lombard Village Code) for selected interior and exterior renovations; and

WHEREAS, the Program compliments and supports the Village's plans to maintain a quality Central Business District; and

WHEREAS, interior renovations are desirable within the Central Business District and contribute to an economically strong Central Business District; a commercial area where the image, appearance, and environment encourage the attraction of shoppers; and

WHEREAS, the Applicant desires to participate in the Programs, for proposed renovations at the Subject Property; with said renovations being more specifically described in Exhibit “2” attached hereto and made part hereof (hereinafter referred to as the “Project”);

NOW, THEREFORE, in consideration of the foregoing, and other good and valuable consideration, the receipt of which is hereby acknowledged by the Parties hereto, the Parties agree as follows:

SECTION 1: The Village shall provide the Applicant with a grant under the Program in the following not to exceed amounts (hereinafter referred to as the “Grants”).

1. A Downtown Renovation and Improvement Grant (Façade Grant) of up to \$50,000 for the proposed façade modifications and related eligible components.

2. A Restaurant Forgivable Loan of up to \$100,000 for the proposed tenant modification and build-out of the existing vacant building at 6 West. St. Charles and ancillary and related tenant modifications in the 2 West St. Charles restaurant space.
3. A Downtown Retail Business Grant of up to \$20,000 for the proposed tenant modification and outside capital improvements.

Such Grants shall be available to the Applicant, upon the authorization of the Village's Director of Community Development, after the Applicant has constructed the Project, complied with the provisions of this Agreement and Chapter 36 of the Lombard Village Code, and has paid for the Project.

The maximum amount of the Downtown Renovation and Improvement Grant, as set forth above, is based upon the Applicant expending no less than one hundred thousand and 00/100 dollars (\$100,000.00) in eligible costs relation to the Project. If the Applicant's expenditures for the Project are less, the Grant shall be reduced such that the maximum amount of the Grant shall not exceed one-half (1/2) of the amount expended by the Applicant in relation to the Project.

The maximum amount of the Restaurant Forgivable Loan, as set forth above, is based upon the Applicant expending no less than three hundred thousand and 00/100 dollars (\$300,000.00) in eligible costs in relation to the Project. If the Applicant's expenditures for the Project are less, the Grant shall be reduced such that the maximum amount of the Grant shall not exceed one-third (1/3) of the amount expended by the Applicant in relation to the Project.

The maximum amount of the Downtown Retail Business Grant, as set forth above, is based upon the Applicant expending no less than forty thousand and 00/100 dollars (\$40,000.00) in eligible costs in relation to the Project. If the Applicant's expenditures for the Project are less, the Grant shall be reduced such that the maximum amount of the Grant shall not exceed one-half (1/2) of the amount expended by the Applicant in relation to the Project.

SECTION 2: The Applicant shall undertake the following in connection with the Project:

4. Building permits must be received for the applicable work, with completion and passage of all required inspections.
5. Work shall be complete one year from the date of approval by the ECDC.
6. Before the grant can be paid out, 10 W. St. Charles Road LLC shall submit a final receipt (showing the project is paid in full), waivers of lien from contractors, and

an IRS W-9 form. The Village shall pay out to the grant recipient based upon the grant parameters limitations set forth within the respective Policies.

7. After the grant funds are paid, 10 W. St. Charles Road LLC shall display the Village window sign acknowledging they received a grant.

SECTION 3: Upon completion of the Project, the Applicant shall maintain the Subject Property and the business located thereon, in accordance with all applicable federal, state and local laws, rules and regulations.

SECTION 4: The Owner hereby consents to the recording of this Agreement to serve as notice to future purchasers, assigns, estate representatives, mortgagees, and all other interested persons of the conditions outlined in this Agreement.

SECTION 5: The Owner hereby agrees to be bound by the lien conditions set forth in Section 36.55 of the Lombard Village Code, which are incorporated herein by reference as if set forth in full herein, including, but not limited to, the condition that, upon disbursement of the Restaurant Forgivable Loan funds by the Village, no business, other than a restaurant, may operate at the subject Property for a period of ten (10) years from the recording of the lien referenced in said Section 36.55 of the Lombard Village Code, without the consent of the Village.


SECTION 6: In the event the Village terminates this Agreement as a result of the Applicant or Owner failing to comply with any of the terms of this Agreement, the Applicant and/or Owner shall be required to repay any amount of the Grant that has been disbursed by the Village. In the event said amount is not repaid within thirty (30) days of the Village's written demand for repayment, interest shall accrue at a rate of two percent (2%) per month on the unpaid amount due until the amount due is paid in full, and the Village shall have the right to record a lien against the Subject Property for said amount, and foreclose upon said lien in the same manner as in regard to a mortgage.

SECTION 7: The Applicant and Owner agree not to substantially change the use of the business or interior space for which the Grant was received for a period of not less than ten (10) years from the date the Agreement was executed.

SECTION 8: This Agreement shall be binding upon the successors and assigns of the Parties hereto.

Resolution No. 49-23
2-8 W. St. Charles Road

VILLAGE OF LOMBARD


By: Keith T. Giagnorio, Village President


Attest: Elizabeth Brezinski, Village Clerk

Resolution No. _____
2-8 W. St. Charles Road

APPLICANT/OWNER



10 W. St. Charles LLC (George Garifalis)

Resolution No. 49-23
2-8 W. St. Charles Road

STATE OF ILLINOIS)
)SS
COUNTY OF DUPAGE)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that Keith T. Giagnorio, personally known to me to be the President of the Village of Lombard, and Elizabeth Brezinski, personally known to me to be the Village Clerk of said municipal corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such President and Village Clerk, they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed thereto, pursuant to authority given by the Board of Trustees of said municipal corporation, as their free and voluntary act, and as the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this 21st day of Sept, 2023.

Commission expires April 1, 2026.



Monika Reszka
Notary Public

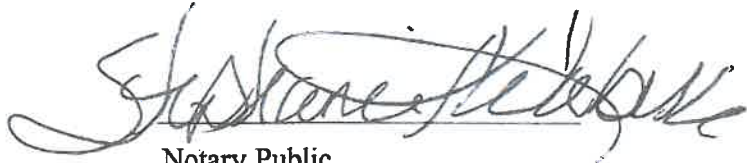
Resolution No. _____
2-8 W. St. Charles Road

STATE OF ILLINOIS)
)SS
COUNTY OF DUPAGE)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO
HEREBY CERTIFY that George Garifalis, agent of 10 W St. Charles LLC, personally
known to me to be the owners of the subject Property, as referenced in the foregoing
Agreement, and the same person whose name is subscribed to the foregoing instrument,
appeared before me this day in person and severally acknowledged that he signed and
delivered the said instrument, as his free and voluntary act, for the uses and purposes
therein set forth.

GIVEN under my hand and official seal, this 15th day of Sept, 2023.

Commission expires 4/16, 2026.



Notary Public

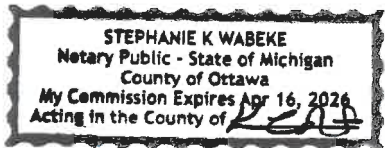
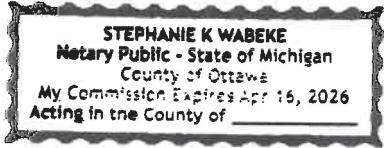


EXHIBIT 1
Legal Description

2 W. ST. CHARLES ROAD (06-07-206-042)

LOT 2 AND THAT PART OF LOT 3, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF ST. CHARLES ROAD (FORMERLY LAKE STREET) 65.0 FEET EASTERLY FROM THE SOUTHEAST CORNER OF LOT 5 IN BLOCK 11; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID LOT 5, 68.0 FEET, MORE OR LESS TO THE SOUTH LINE OF THE SOUTH 36.0 FEET OF THE NORTH 76.0 FEET OF SAID LOT 3; THENCE EAST ALONG THE SOUTH LINE OF SAID SOUTH 36.0 FEET OF THE NORTH 76.0 FEET OF LOT 3 TO THE EAST LINE OF SAID LOT 3 (BEING THE WEST LINE OF MAIN STREET); THENCE SOUTH ALONG THE EAST LINE OF LOT 3, 30.0 FEET, PRE PR ;ESS. TP THE NORTHWESTERLY CORNER OF SAID LOT 2; THENCE SOUTHERLY ALONG THE WEST LOINE OF LOT 2, 35.0 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 2 (BEING THE NORTH LINE OF ST. CHARLES ROAD)(FORMERLY LAKE STREET); THENCE WESTERLY ALONG THE NORTH LINE OF ST. CHARLES ROAD , 39-28 FEET TO THE PLACE OF BEGINNING (EXCEPTING THE WESTERLY 20-5 FEET OF SAID PART OF LOT 3 AFORESAID) IN BLOCK 11 IN THE TOWN OF LOMBARD, BEING A SUBDIVISION OF PART OF SECTION 5 TO 18, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, ALSO

6 WEST ST. CHARLES ROAD (06-07-206-022)

THE WESTERLY 20.5 FEET OF THE PART OF LOT 3 IN BLOCK 11 OF THE PLAT OF THE TOWN OF LOMBARD DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF LAKE STREET 65 FEET EASTERLY FROM THE SOUTHEAST CORNER OF LOT 5 IN SAID BLOCK 11; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID LOT 5, 70 FEET; THENCE EASTERLY IN A STRAIGHT LINE TO A POINT ON THE WEST LINE OF MAIN STREET, 22 FEET NORTHERLY FROM THE NORTHEASTERLY CORNER OF LOT 2 IN SAID BLOCK; THENCE SOUTH ALONG THE WEST LINE OF MAIN STREET, 22 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 2; THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT, 23 FEET TO THE NORTHWESTERLY CORNER OF SAID LOT 2; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID LOT 2, 35 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 2 AND THE NORTH LINE OF LAKE STREET; THENCE WESTERLY ALONG THE NORTHERLY LINE OF LAKE STREET 39-28 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS; ALSO

8 W. ST. CHARLES ROAD (06-07-206-032)

THE SOUTH 36.0 FEET OF THE NORTH 76.0 FEET OF LOTS 3 AND 4 AND THE SOUTH 36.0 FEET OF THE NORTH 76.0 FEET OF THAT PART OF LOT 5 (BEING 20.0 FEET MORE OR LESS) LYING EAST OF THE EAST LINE OF THE PROPERTY DESCRIBED IN THE WARRANTY DEED FROM JOSEPH B. HULL TO ISAAC CLAFLIN AND RECORDED OCTOBER 121, 1869; AS DOCUMENT 11925 (EXCEPTIONG THEREFROM THAT PART THEREOF FALLING IN THE FOLLOWING DESCIBED TRACT, TO-WIT: BEGINNING ON THE SOUTH LINE OF SAID LOT 4, 5.0 FEET EAST OF THE SOUTHWEST CORNER

Resolution No. 49-23
2-8 W. St. Charles Road

THEREOF; ALONG AN OLD FENCE LINE) 5.0 FEET; THENCE EASTERLY PARALLEL WITH THE SOUTH LINE OF SAID LOTS (BEING ALONG AN OLD FENCE LINE) 35.0 FEET; THENCE SOUTHERLY PARALLEL WITH THE WES LINE OF SAID LOT 3 (BEING ALONG AN OLD FENCE LINE)70.0 FEET TO THE SOUTH LINE OF SAID BLOCK; THENCE WESTERLY ALONG SAID SOUTH LINE 60.0 FEET TO THE PLACE OF BEGINNING (AND BEING THE SAME PROPERTY AS DESCRIBED IN QUIT CLAIM DEED FROM GEORGE H. FISCHER AND WIFE, TO MARY S. OTT AND MAY OTT RECORDED APRIL 18, 1930, AS DOCUMENT 296170) IN BLOCK 11 IN THE TOWN OF LOMBARD, BEING A SUBDIVISION OF PART OF SECTIONS 5 TO 8 AND 18, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

EXHIBIT 2

The Village of Lombard Community Development Department retains a copy of the complete submittal to the Village. This submittal includes contractor's quotes and a description of the work to be completed as part of the Project. The Applicant/Owner proposes to install interior improvements for a new full-service sit-down restaurant. Such improvements include, but are not limited to, plumbing, framing, electric, HVAC, windows, doors, bathrooms, restaurant capital infrastructure, restroom accommodations and life/safety improvements. Additionally, the Project includes exterior modifications and enhancements to the south building façade and decorative fencing. Said conceptual plans are attached as a part of this Exhibit.

Resolution No. _____
2-8 W. St. Charles Road



GROVE TAVERN

6 W. Saint Charles Road
Lombard, IL 60148

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		M2.4 ECON-AIR DETAILS	

Interior Remodel / Addition
GROVE TAVERN

6 W. Saint Charles Road
Lombard, IL 60148

**Capital Architects
Architect**

PLANNING & DESIGN

422 N. Hague Street
Barrington, Illinois 60010
Tel : (847) 209-1325

Project No: **22102**

No.	Description	Date
5-12-23	ISSUED FOR REVIEW	

Sheet Title:
**GENERAL NOTES,
DRAWING INDEX
LOCATION MAP**

Sheet No:
T1.0

GENERAL NOTES:

1. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
2. COORDINATE EXISTING CONDITIONS AND EQUIPMENT WITH PROPERTY MANAGER. CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. CONTRACTOR SHALL MAINTAIN ALL PUBLIC AND PRIVATE BUILDING ENTRANCES FREE FROM OBSTRUCTIONS AND ANY REQUIRED CONSTRUCTION OPERATIONS OR MATERIALS. ALL NECESSARY AUTHORIZATIONS AND PERMITS, PERMITS AND APPROVALS MUST BE OBTAINED PRIOR TO COMMENCING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4. ITEMS TO BE REMOVED AS SHOWN ON DRAWINGS OR AS REQUIRED FOR ALL WALL HEIGHTS TO BE MAINTAINED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. DOORS ARE TO BE AS INDICATED ON THE SCHEDULES.
6. ALL DOORS HARDWARE TO MEET A.D.A. REQUIREMENTS.
7. ALL FINISHES TO HAVE A MINIMUM CLASS B FAME SPREAD RATING.
8. WHEN "MATCH EXISTING" IS INDICATED ON DRAWINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL FROM THE ARCHITECT TO DETERMINE IF THE MATERIALS TO BE MATCHED CAN BE OBTAINED. CONTRACTOR IS TO NOTIFY ARCHITECT AND INQUIRE AS TO HOW THE BID SHALL BE OBTAINED.
9. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
10. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATIONS OF ALL EXISTING UTILITIES THROUGH THE SPACE SERVING OTHER SPACES.
11. WHERE FLOOR CUTTING OF EXISTING SLAB OCCURS, PATCH SHALL BE MATCHED TO EXISTING SURFACE. FINISH ALL PATCHES TO BE AT LEAST EQUAL TO EXISTING SURFACE. CONSULT ARCHITECT FOR PATCHING DETAILS.
12. CONTRACTOR SHALL TAKE OUT ALL NECESSARY PREPARATION AND PROTECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTORS EXECUTION OF WORK. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS AND MATERIALS.
13. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS, GARBAGE, ETC. INCURRED DURING CONSTRUCTION.

SCOPE OF WORK

ALL WORK SHALL TAKE PLACE WITHIN AN EXISTING SINGLE STORY COMMERCIAL BUILDING.
 THE SCOPE OF WORK SHALL INCLUDE THE INTERIOR DEMOLITION OF THE EXISTING INTERIOR FINISHES AND THE CONSTRUCTION OF A NEW SINGLE STORY COMMERCIAL BUILDING.
 A NEW KITCHEN AND BATH TO BE CONSTRUCTED WITHIN THE EXISTING FOOTPRINT.
 THE EXISTING FRONT ENTRY DOOR AND WINDOW SHALL BE REMOVED AND REPLACED WITH A NEW ALUMINUM FRAME TO BE INSTALLED AGAINST THE EXISTING CONCRETE FOUNDATION. CONCRETE TO BE PATCHED AND FINISHED TO MATCH ADJACENT FINISH.
 ALL NEW INTERIOR WALLS TO RECEIVE PAINT FINISH TO BE MATCHED TO EXISTING SURFACE. PAINT TO BE APPLIED TO ALL INTERIOR WALLS AND CEILING. PAINT TO BE APPLIED TO ALL INTERIOR WALLS AND CEILING.
 ALL NEW INTERIOR WALLS TO RECEIVE PAINT FINISH TO BE MATCHED TO EXISTING SURFACE. PAINT TO BE APPLIED TO ALL INTERIOR WALLS AND CEILING.
 ALL NEW INTERIOR WALLS TO RECEIVE PAINT FINISH TO BE MATCHED TO EXISTING SURFACE. PAINT TO BE APPLIED TO ALL INTERIOR WALLS AND CEILING.

BUILDING / CODE DATA:

- * THE 2018 INTERNATIONAL BUILDING CODE
- * UNRETRACTED / NON-COMBUSTIBLE CONSTRUCTION

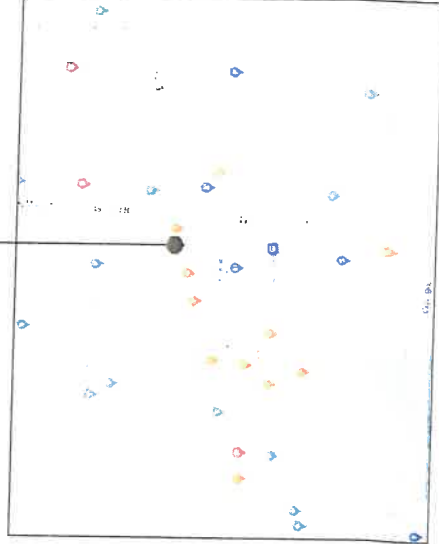
USE GROUP: A - ASSEMBLY

AREA:

Approximate: 1,145 sq. ft.
 PATIO: 2,250 sq. ft.

CODES:

- * 2018 INTERNATIONAL BUILDING CODE
- * 2018 INTERNATIONAL MECHANICAL CODE
- * 2018 INTERNATIONAL ELECTRICAL CODE
- * 2018 INTERNATIONAL FIRE CODE
- * 2018 INTERNATIONAL PLUMBING CODE
- * 2018 ILLINOIS ACCESSIBILITY CODE



1 LOCATION MAP NOT TO SCALE



Interior Remodel / Addition
GROVE TAVERN

C. W. Sault, Charles Road
 Lombard, IL 60148

**Capital Architects
 Architect**

PLANNING & DESIGN

422 N. Hough Street
 Barrington, Illinois 60010
 Tele : (847) 209-1125

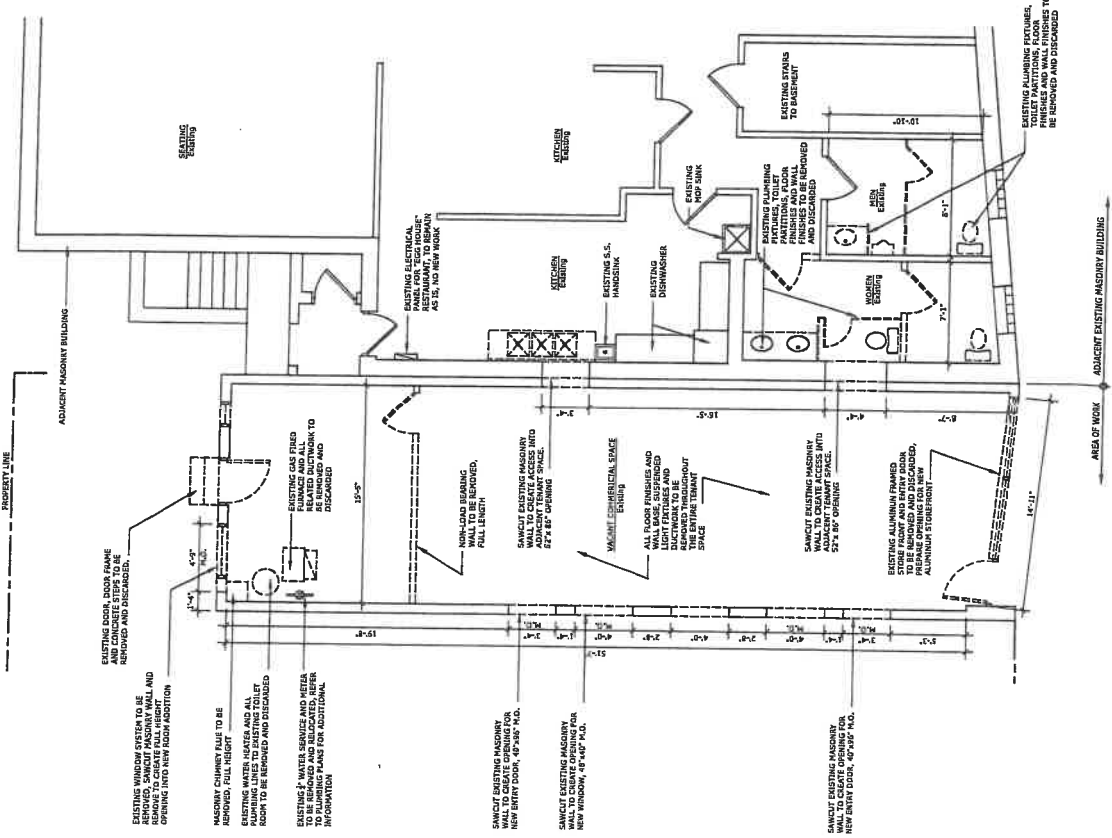
Project No: **22102**

NO.	DESCRIPTION	DATE
1	DESIGN FOR PERMIT	5-13-20

Sheet Title:
DEMOLITION PLAN

Sheet No:
A1.0

- DEMOLITION NOTES :**
1. DIMENSION LINES REPRESENT CONSTRUCTION TO BE REMOVED.
 2. DEMOLITION CONTRACTORS SHALL PROCEED WITH CAUTION NOT TO ENDANGER OR DAMAGE CONSTRUCTION TO REMAIN. CONTRACTORS SHALL BE RESPONSIBLE TO DISAPPEARING EXISTING CONDITIONS. CONTRACTORS SHALL BE RESPONSIBLE TO REPAIR OR REPLACE CONSTRUCTION THAT WILL CAUSE REMAINING CONSTRUCTION TO BE UNDERSOFT.
 3. CONTRACTORS SHALL BE RESPONSIBLE TO REPAIR AND SAND FLOORS PROPERLY PER OWNER'S DIRECTION.
 4. CONTRACTORS SHALL BE HELD RESPONSIBLE TO REPAIR OR REPLACE ALL EXISTING CONSTRUCTION DUE TO DEMOLITION OR NEW CONSTRUCTION.
 5. ALL WALLS TO BE DEMOLISHED ARE UNLESS INDICATED OTHERWISE.
 6. REMOVAL OF ALL EXISTING CONSTRUCTION SHALL BE DEMOLISHED UNLESS OTHERWISE INDICATED. ALL EXISTING EQUIPMENT SHALL BE REMOVED AND ALL UTILITY EQUIPMENT CAN BE REMOVED AND ONLY DISCONNECTED AS PER CONTRACT.
 7. DISCONNECT POWER AS PER OWNER'S DIRECTION AND CUT BACK CONDUITS TO BE ABANDONED.
 8. ALL ELECTRICAL WITHIN EXISTING WALLS TO REMAIN FOR REUSE.



1 DEMOLITION PLAN
 1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR REVIEW	3-15-22

PARTITION TYPE LEGEND :

- A** EXISTING WALL PARTITION TO REMAIN
- B** 1/2" G.C. METAL STUDS @ 16" O.C. WITH GYPSUM BOARD AND 1/2" GYPSUM BOARD ON BOTH SIDES TO UNDESIRABLE OF DECK ABOVE.
- C** 1/2" G.C. METAL STUDS @ 16" O.C. WITH (1) LAYER OF 5/8" GYPSUM ON ONE SIDE, GYPSUM BOARD ON OTHER SIDE, AND 1/2" GYPSUM BOARD ON BOTH SIDES TO UNDESIRABLE OF DECK ABOVE.
- D** 1/2" G.C. METAL STUDS @ 16" O.C. WITH GYPSUM BOARD AND 1/2" GYPSUM BOARD ON BOTH SIDES TO UNDESIRABLE OF DECK ABOVE. FULL SOLID WITH SOUND BATT INSULATION.
- E** 1/2" G.C. METAL STUDS @ 16" O.C. WITH (1) LAYER OF 5/8" GYPSUM ON ONE SIDE, GYPSUM BOARD ON OTHER SIDE, AND 1/2" GYPSUM BOARD ON BOTH SIDES TO UNDESIRABLE OF DECK ABOVE. FULL SOLID WITH SOUND BATT INSULATION.
- F** 1/2" G.C. METAL STUDS @ 16" O.C. WITH GYPSUM BOARD AND 1/2" GYPSUM BOARD ON BOTH SIDES TO UNDESIRABLE OF DECK ABOVE. FULL SOLID WITH SOUND BATT INSULATION.

CONSTRUCTION KEY NOTES

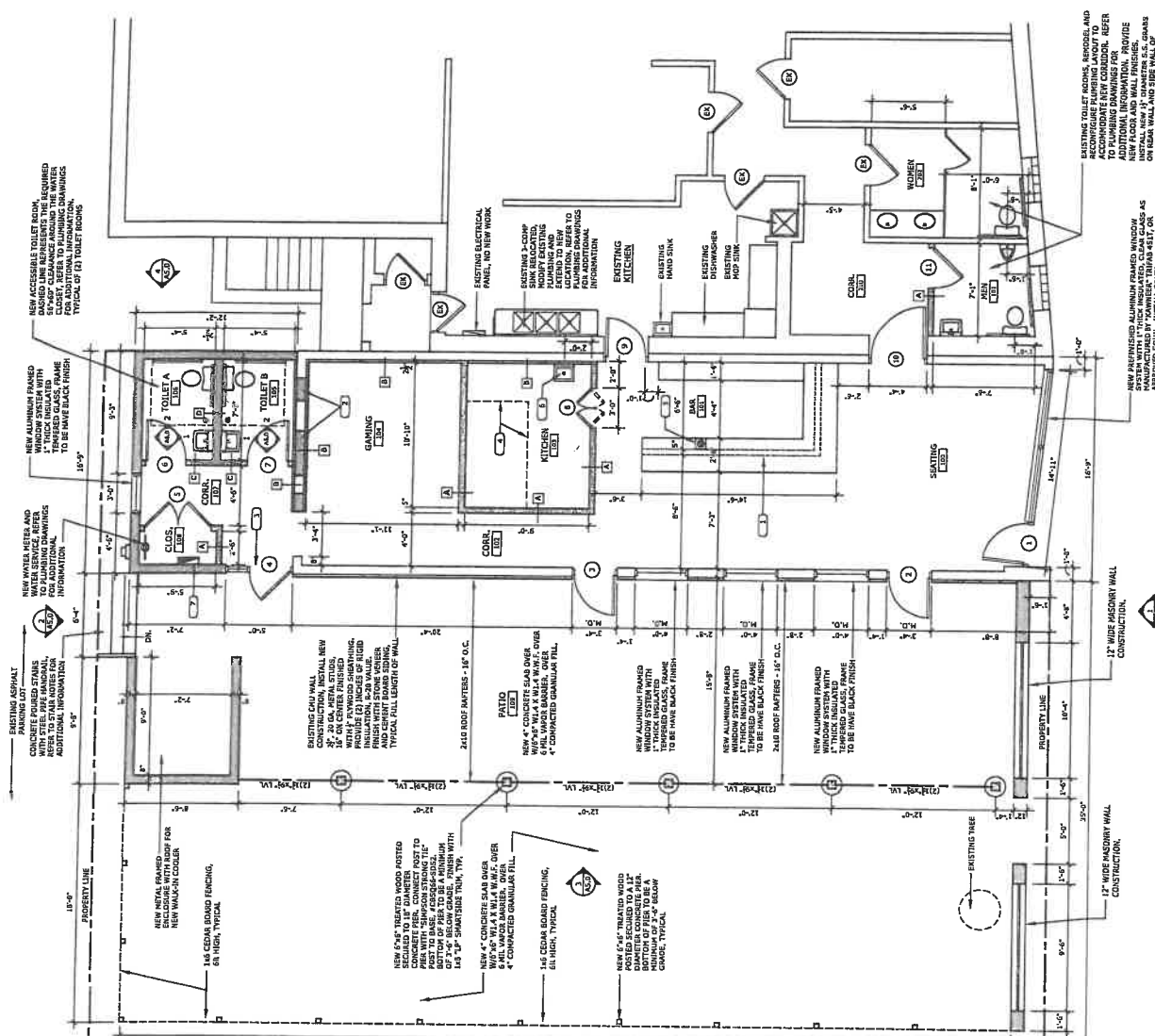
- 1** NEW 6MM COUNTER, 3/4" METAL STUDS, 20 GA. AT 16" ON CENTER, 1/2" GYPSUM BOARD, 1/2" GYPSUM BOARD TO BE FINISHED WITH 75% POLYURETHANE FINISH. PROVIDE 1/4" GYPSUM BOARD TO EXTEND FROM FLOOR TO 3'-4". PROVIDE 1/2" SOLID SURFACE COUNTER TOP.
- 2** FILL MASONRY OPENINGS WITH 3# METAL STUDS FINISHED WITH 1/2" BOARD, SPACE FRAMING TO MATCH 20" OF EXISTING WALL.
- 3** NEW 7' FINISHED ALUMINUM FRAMED ENTRY DOOR WITH 7' FINISHED ALUMINUM FRAMED SILL/OUT AS MANUFACTURED BY THE MANUFACTURER. PROVIDE 1/2" GYPSUM BOARD TO NEW ALUMINUM FRAMED SILL/OUT WITH BACKER ROD FRAME. PROVIDE LOW 'E' COATING ON THE 7' FRAME. PROVIDE LOW 'E' COATING ON THE 7' FRAME. PROVIDE LOW 'E' COATING ON THE 7' FRAME. PROVIDE LOW 'E' COATING ON THE 7' FRAME.
- 4** DASHED LINE REPRESENTS OUTLINE OF NEW MECHANICAL ROOM. REFER TO MECHANICAL NOTES FOR MECHANICAL INFORMATION.
- 5** NEW ALUMINUM FRAMED WINDOW WITH 1" THICK INSULATED GLASS UNIT. PROVIDE 1/2" GYPSUM BOARD TO UNDESIRABLE OF DECK ABOVE. PROVIDE 1/2" GYPSUM BOARD TO UNDESIRABLE OF DECK ABOVE. PROVIDE 1/2" GYPSUM BOARD TO UNDESIRABLE OF DECK ABOVE.
- 6** NEW WALL MOUNTED STAINLESS STEEL SINK WITH 1/2" THICK INSULATED GLASS UNIT. PROVIDE 1/2" GYPSUM BOARD TO UNDESIRABLE OF DECK ABOVE. PROVIDE 1/2" GYPSUM BOARD TO UNDESIRABLE OF DECK ABOVE. PROVIDE 1/2" GYPSUM BOARD TO UNDESIRABLE OF DECK ABOVE.
- 7** NEW 200 AMP ELECTRICAL SERVICE AND PANEL WITH 1/2" THICK INSULATED GLASS UNIT. PROVIDE 1/2" GYPSUM BOARD TO UNDESIRABLE OF DECK ABOVE. PROVIDE 1/2" GYPSUM BOARD TO UNDESIRABLE OF DECK ABOVE. PROVIDE 1/2" GYPSUM BOARD TO UNDESIRABLE OF DECK ABOVE.

SYMBOL LEGEND

- 1** DOOR AND FRAME SIZES TO BE SHOWN ON ADDITIONAL INFORMATION

GENERAL CONSTRUCTION NOTES

- 1** ALL MESSIE AND DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE. PROVIDE 1/2" GYPSUM BOARD TO UNDESIRABLE OF DECK ABOVE. PROVIDE 1/2" GYPSUM BOARD TO UNDESIRABLE OF DECK ABOVE. PROVIDE 1/2" GYPSUM BOARD TO UNDESIRABLE OF DECK ABOVE.



1 CONSTRUCTION PLAN
 1/4" = 1'-0"



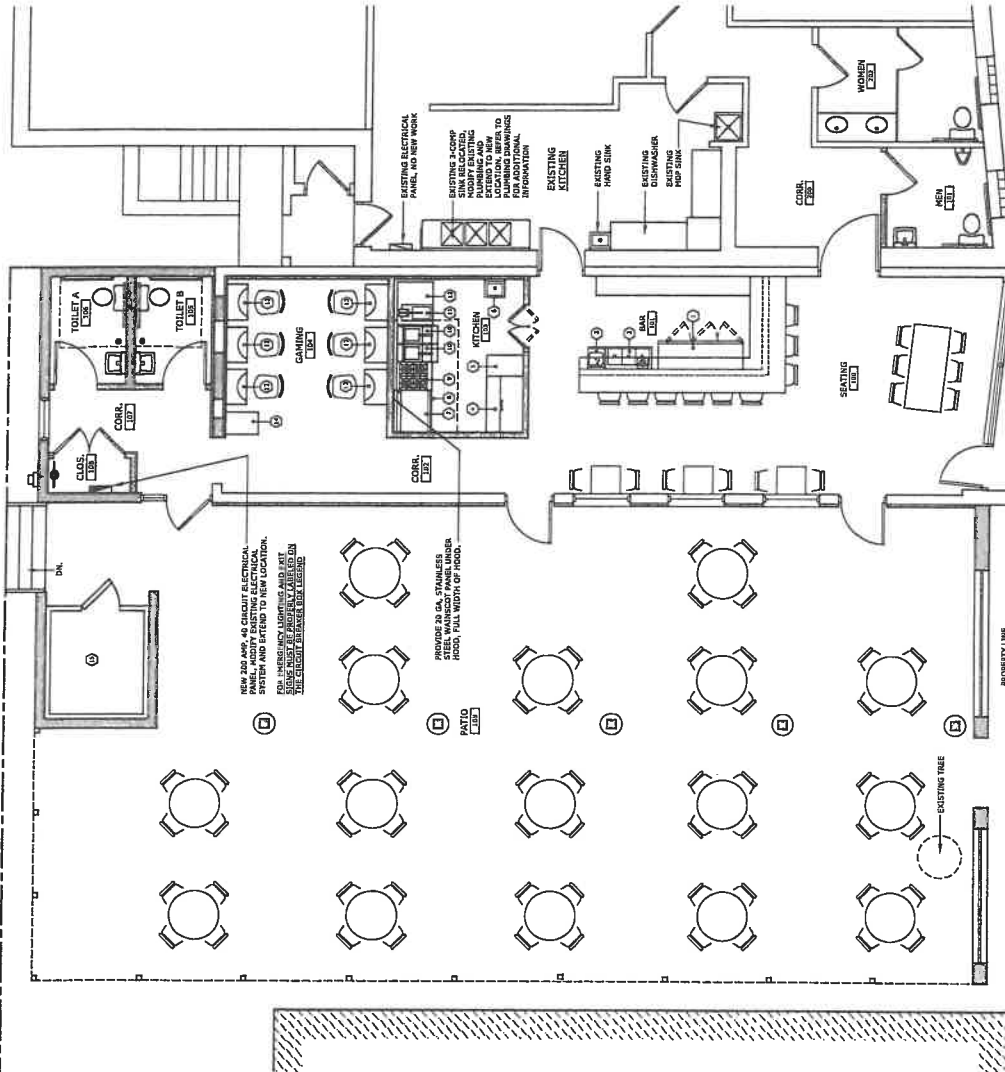
EXISTING BUILDING

ISSUED FOR REVIEW	5-13-23
No. Description	Date

EQUIPMENT LIST			
ITEM NO.	ITEM	MANUFACT.	MODEL NUMBER
1	UNDERCOUNTER REFRIGERATION UNIT	PERILUX	TS3DC
2	UNDER COUNTER 3-COMPARTMENT SINK	PERILUX	TSCE18M3C-RC
3	UNDER COUNTER HAND SINK	PERILUX	
4	48" SANDWICH PREP TABLE (see details)	ADVANCE TRACO	
5	18"X30" S.S. TABLE		
6	WALL MOUNTED S.S. HAND SINK		
7	24" GAS FLAT GRILL		
8	EQUIPMENT TABLE ON CASTERS		
9	24" x 4" BUNNIN STOVE		
10	GAS FRYER - 18" WIDE		
11	DUMP STATION		
12	30"X30" S.S. TABLE	ADVANCE TRACO	
13	VIDEO GAMING MACHINE		
14	ATM MACHINE		
15	7'-0"X4'-0" WALK-IN COOLER		

GENERAL NOTES:

- ALL SHELVING MUST MEET NATIONAL SANITATION FOUNDATION (NSF) STANDARDS. ALL SHELVING SHALL BE CONSTRUCTED OF METAL OR MATERIALS WHICH HAVE AN ANTI-BACTERIAL SURFACE. SHELVES SUBJECT TO WATER OR LIQUIDS SHALL BE OF RESISTANT METAL. ALL SHELVING SHALL BE 6" MIN. ABOVE THE FLOOR.
- SEAL ALL GAPS AROUND PLUMBING.
- PROVIDE AIR GAP AT 3 COMPARTMENT SINK AND 1 COMPARTMENT SINK
- CAULK AND SEAL ALL PERMANENT STRUCTURES.
- ALL LIGHT FIXTURES WILL HAVE LENS COVERS, TYPICAL THROUGHOUT THE SPACE.
- ALL DOORS TO BE TIGHT FITTING WITH NO GAPS AND PROPER SELF CLOSING.



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 Architect**

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







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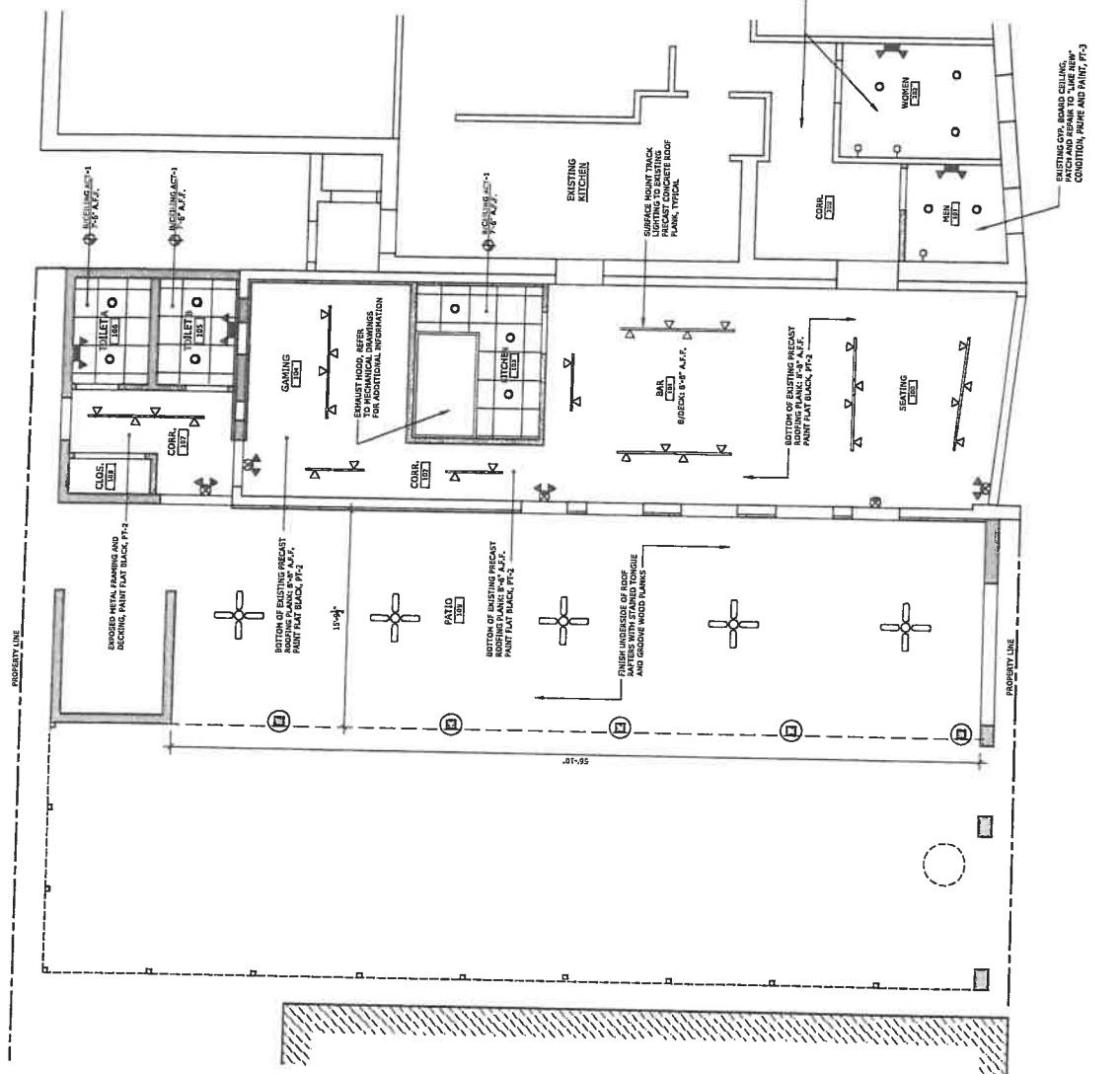
Project No: **22102**

No.	Description:	Date
1	ISSUED FOR REVIEW	04-12-23

Sheet Title
**REFLECTED CEILING
 PLAN**

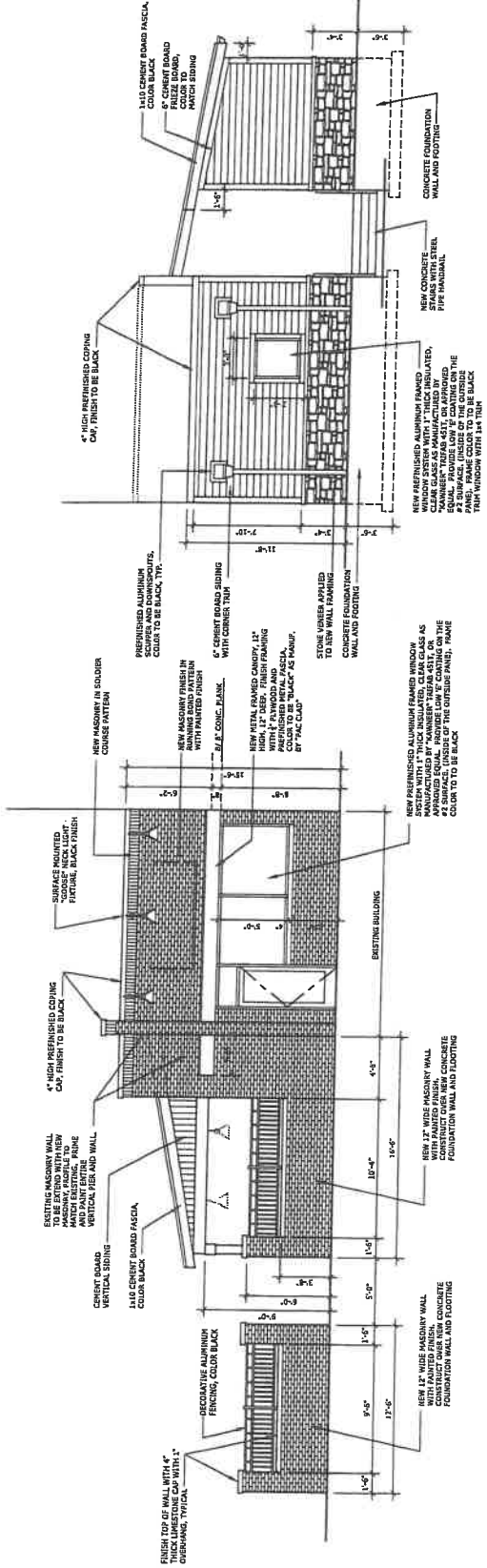
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- CEILING SYMBOL KEY:**
-  NEW RECYCLED OAK LIGHT FIXTURE 3500K, 16W, Wx 12W
 -  RECESSED LED LIGHT FIXTURE 4x4, 12W, Wx 12W
 -  RECESSED LED LIGHT FIXTURE 2x4, 6W, Wx 12W
 -  RECESSED LED LIGHT FIXTURE 2x4, 6W, Wx 12W
 -  RECESSED LED LIGHT FIXTURE 2x4, 6W, Wx 12W
 -  RECESSED LED LIGHT FIXTURE 2x4, 6W, Wx 12W
 -  RECESSED LED LIGHT FIXTURE 2x4, 6W, Wx 12W
 -  RECESSED LED LIGHT FIXTURE 2x4, 6W, Wx 12W
 -  RECESSED LED LIGHT FIXTURE 2x4, 6W, Wx 12W
 -  RECESSED LED LIGHT FIXTURE 2x4, 6W, Wx 12W
 -  RECESSED LED LIGHT FIXTURE 2x4, 6W, Wx 12W
 -  RECESSED LED LIGHT FIXTURE 2x4, 6W, Wx 12W



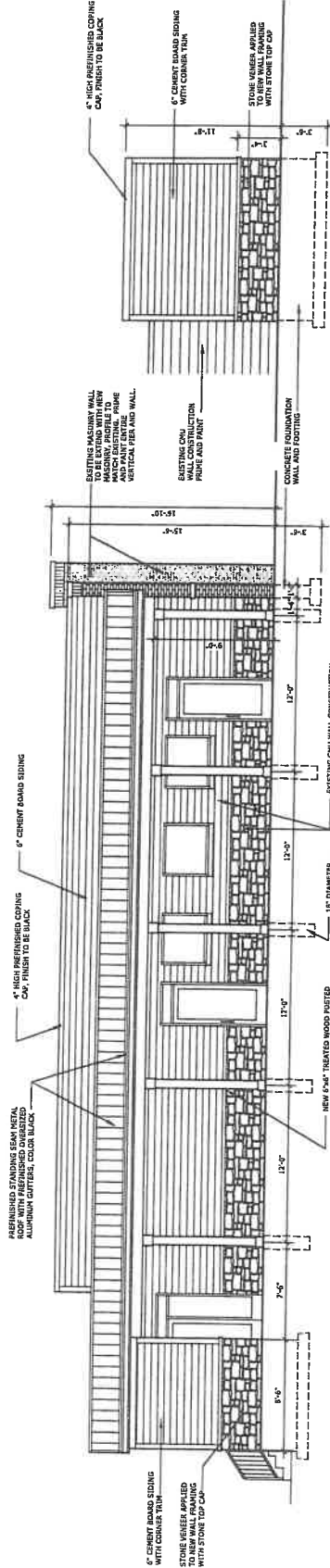
1 REFLECTED CEILING PLAN
 3/8" = 1'-0"

No.	Description	Date
1	ISSUED FOR REVIEW	5-12-23



1 FRONT ELEVATION
 1/4" = 1'-0"

2 REAR ELEVATION
 1/4" = 1'-0"



3 WEST ELEVATION
 1/4" = 1'-0"

4 EAST ELEVATION
 1/4" = 1'-0"

Inches Remodel / Addition
GROVE TAVERN

6 W. Saint Charles Road
Lombard, IL 60148

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Architect

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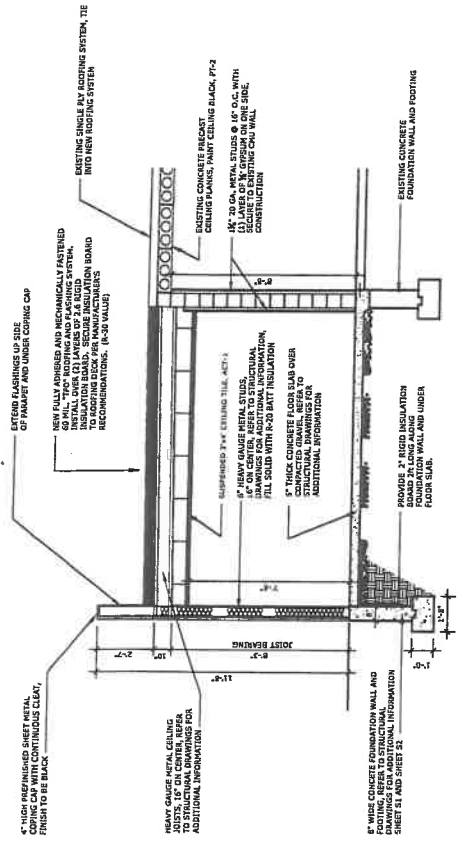
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Project No: **22102**

No.	Description	Date
1	ISSUED FOR REVIEW	5/15/23

Sheet Title
BUILDING SECTION

Sheet No:
A6.0



1
BUILDING SECTION
3/8" = 1'-0"

Interior Remodel / Addition
GROVE TAVERN

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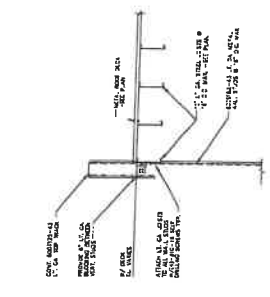
Project No.: **22102**

No.	Description:	Date:
	REQUIRED FOR REVIEW	5-23-23

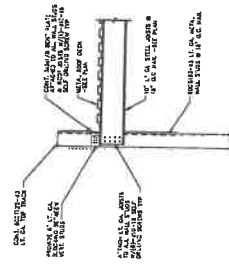
Sheet Title:
**ROOFING PLAN,
 ROOFING DETAILS**

Sheet No.: **S2.0**

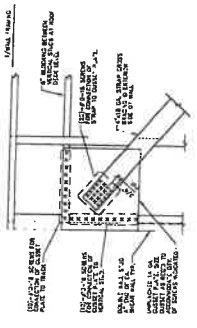
- ROOF FRAMING PLAN NOTES & SYMBOLS**
- CONTRACTOR TO CORRELATE ALL DIMENSIONS AND ELEVATIONS W/ EXISTING CONDITIONS.
 - 1# BRONZE METAL STRUD RODS TO BE INSTALLED AT 24" ON CENTER SPACED @ 10'-0" TO 16'-0" BAY VERTICAL. W/ 1/2" DIA. 3/4" TRUSS TOP & BOTTOM CHORDS. SEE DETAIL FOR ADDITIONAL INFORMATION.
 - P1 INDICATES (2)-#4 @ 12" DIA. UNITS W/ 3/4" BRONZE EACH END.
 - P1 INDICATES METAL STRUD 3/4" DIA. POST CONNECTIONS. SEE DETAIL FOR ADDITIONAL INFORMATION.
 - 1#-4 QUOTES 1/2" DIA. METAL STRUD RODS SPACED @ 1/4" ON CENTER W/ 1/4" DIA. METAL STRUD 3/4" DIA. POST CONNECTIONS. SEE DETAIL FOR ADDITIONAL INFORMATION.
 - DECK D1 INDICATES 1 1/2" - 2 1/2" DIA. W/ 1/4" DIA. METAL STRUD 3/4" DIA. POST CONNECTIONS. SEE DETAIL FOR ADDITIONAL INFORMATION.
 - TRUSS TOP & BOTTOM CHORDS TO BE 1/2" DIA. METAL STRUD 3/4" DIA. POST CONNECTIONS. SEE DETAIL FOR ADDITIONAL INFORMATION.
 - SW INDICATES 2" DIA. 3/4" METAL STRUD RODS W/ DIAGONAL STAMP GAGE BRACING.
 - NOTE 1#-1: REBUILD NEW END OF WALL WITH 4" CMU TO MATCH EXISTING. NEW CMU TO BE TOUGHED INTO EXISTING WALL AT INTERFACE.
 - NOTE 1#-2: PROVIDE (1)-#6 FULL HEIGHT WALL REINFORCING BAR CENTERED IN WALL. WALL CHG COMES WITH EBMAS SOLD USING 2500 PSI CONCRETE SCREEN BRACING AT 12" O.C. MAX.
 - NOTE 1#-3: FIRST ROOF PAPER, 1#-1 TO BE SET FLUSH AGAINST THE TOP OF THE EXISTING SCREEN BRACING AT 12" O.C. MAX.



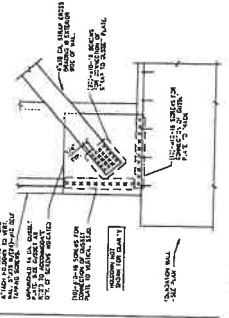
1 WALL SECTION
 SCALE: N.T.S.



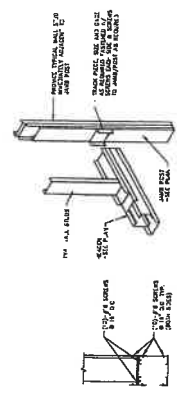
2 WALL SECTION
 SCALE: N.T.S.



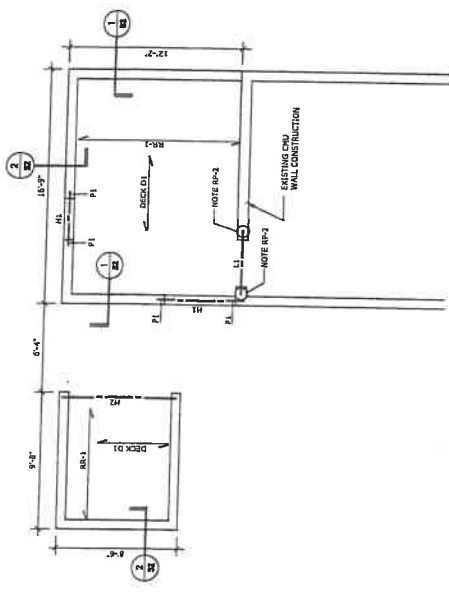
3 WALL SECTION
 SCALE: N.T.S.



4 WALL SECTION
 SCALE: N.T.S.



5 WALL SECTION
 SCALE: N.T.S.



A ROOF FRAMING PLAN
 1/4\"/>



ISSUED FOR PERMIT	8-22-2023
Date:	
Revised:	

EQUIPMENT SCHEDULE

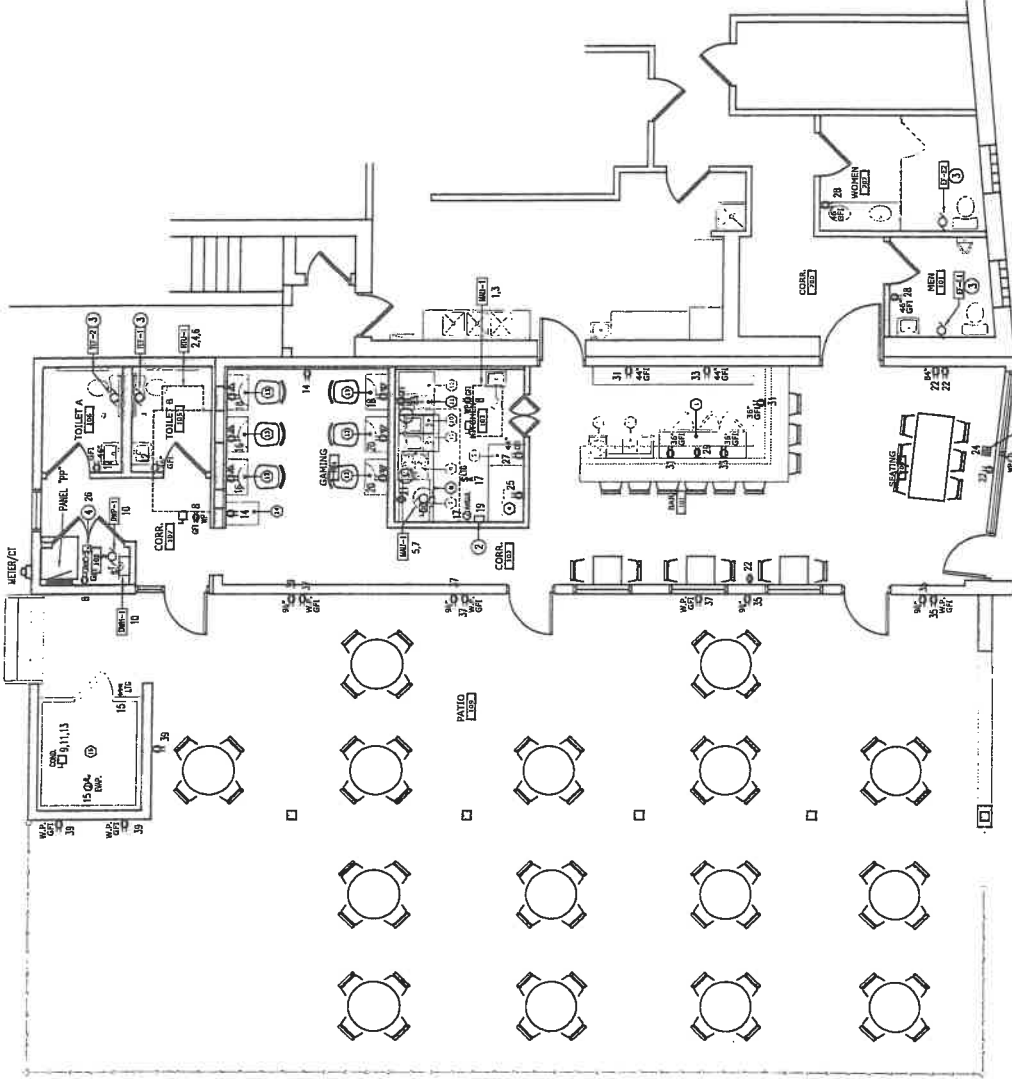
ITEM NO.	ITEM	ELECTRICAL
1	UNDER COUNTER SW BRANCH IN COOLER	115V, 7 AMPS
2	3-WAY SWITCH AT BAR SINK	
3	PO 2 BRANCH	
4	48" H SMOOTHIE PREP REFRIGERATION	115V, 72 AMPS
5	10" DIA S.S. FT. LE	
6	S.S. HORIZONTAL	
7	3" G-1/2 PLAT COIL	
8	WORK TOP COOLER	115V, 2 AMPS
9	INS B/W - 1/2" (SP704)	
10	G 5 PAK	
11	FRY DUMP STATION	115V, 4.3 AMPS
12	1/2" DIA S.S. TUBS	
13	VIDEO GAMING MACHINE	115V, 20 AMPS
14	ATM MACHINE	115V, 20 AMPS
15	EXTENSION WALK IN COOLER CONO.	208V, 39.833 AMPS
16	EXTENSION WALK IN COOLER SWP.	115V, 2.6 AMPS

POWER PLAN GENERAL NOTES

- THE MINIMUM WIRE SIZE SHALL BE 12 AWG EXCEPT FOR SHARED NEUTRAL CONDUCTORS WHICH THE MINIMUM SIZE SHALL BE 10 AWG. THE MINIMUM CONDUIT SIZE FOR HORIZONTAL CONDUITS SHALL BE 1/2" AND FOR VERTICAL CONDUITS SHALL BE 1/2". ALL CONDUITS SHALL BE ACCEPTABLE FOR BRANCH WIRING TO END OF THE CIRCUIT. ALL CONDUITS SHALL BE BRANCH CIRCUITS SHALL TERMINATE AT 20A, 1-PHASE CIRCUIT BREAKERS IN PANELS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROVIDE ALL PENETRATIONS, SLEEVES AND SEAMTS AS REQUIRED THROUGH PARTITIONS TO ACCOMMODATE THE FIRE ALARM, SECURITY, AUDIO/VISUAL CABLES AND VIDEO AND DATA WIRING. ANY PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE PROPERLY SEALED AND FINISHED TO MAINTAIN THE FIRE STOPPING RATING OF THE WALL.
- BACKBOXES ARE TO BE MOUNTED OFFSET, NOT BACK TO BACK.
- REFER TO MECHANICAL AND PLUMBING SHEETS FOR ADDITIONAL EQUIPMENT INFORMATION.
- ANY ELECTRICAL DEVICES ON NEW WALLS SHALL BE FLUSH MOUNTED. NO WREATHS ARE ACCEPTABLE ON NEW WALLS UNLESS NOTED OTHERWISE.
- VERIFY RECEIPTABLE CONDITIONS WITH ARCHITECTURAL FURNITURE LAYOUT TO ENSURE PROPER ACCESSIBILITY.
- REFER TO ELECTRICAL DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.
- ALL RECEPTACLES 50 AMP AND LESS LOCATED IN THE KITCHEN, PREP, SERVICE, DISHWASHING AREA SHALL BE GFI PROTECTED. CONTRACTOR SHALL PROVIDE GFI PROTECTION AT THE RECEPTACLE OR BRANCH.
- ALL OUTLETS BELOW HOOBS SHALL HAVE SHUNT TRIP BREAKER AND BE INTERLOCKED WITH INSUL SYSTEM.

DRAWING NOTES (TYPICAL FOR THIS DRAWING ONLY)

- PROVIDE 20A/120V CONDUCTOR WITH SHUNT TRIP AND INTERLOCK TO INSUL SYSTEM. PROVIDE CUT SHEETS AND WIRING SCHEDULES TO THE OWNER.
- IMC HOOD CONTROL PANEL. CONNECT IMU-1, REF-1 AND CONTROLS PER MECHANICAL SHEETS.
- CONNECT TO THE SWITCHED SIDE OF THE LIGHTING CIRCUIT IN THE ROOM. OCCUPANCY SENSOR CONTROLLED.
- PROVIDE 7-DAY INTERMEDIATE PROGRAMMABLE ASTRONOMICAL TIME CLOCK TO CONTROL EXTERIOR SANGA.



1 **POWER PLAN**
 1/4" = 1'-0"

COORDINATE WITH OWNER
 PRIOR TO SUBMITTAL

SHOW WINDOW RECEPT.

Interior Remedial
GROVE TAVERN

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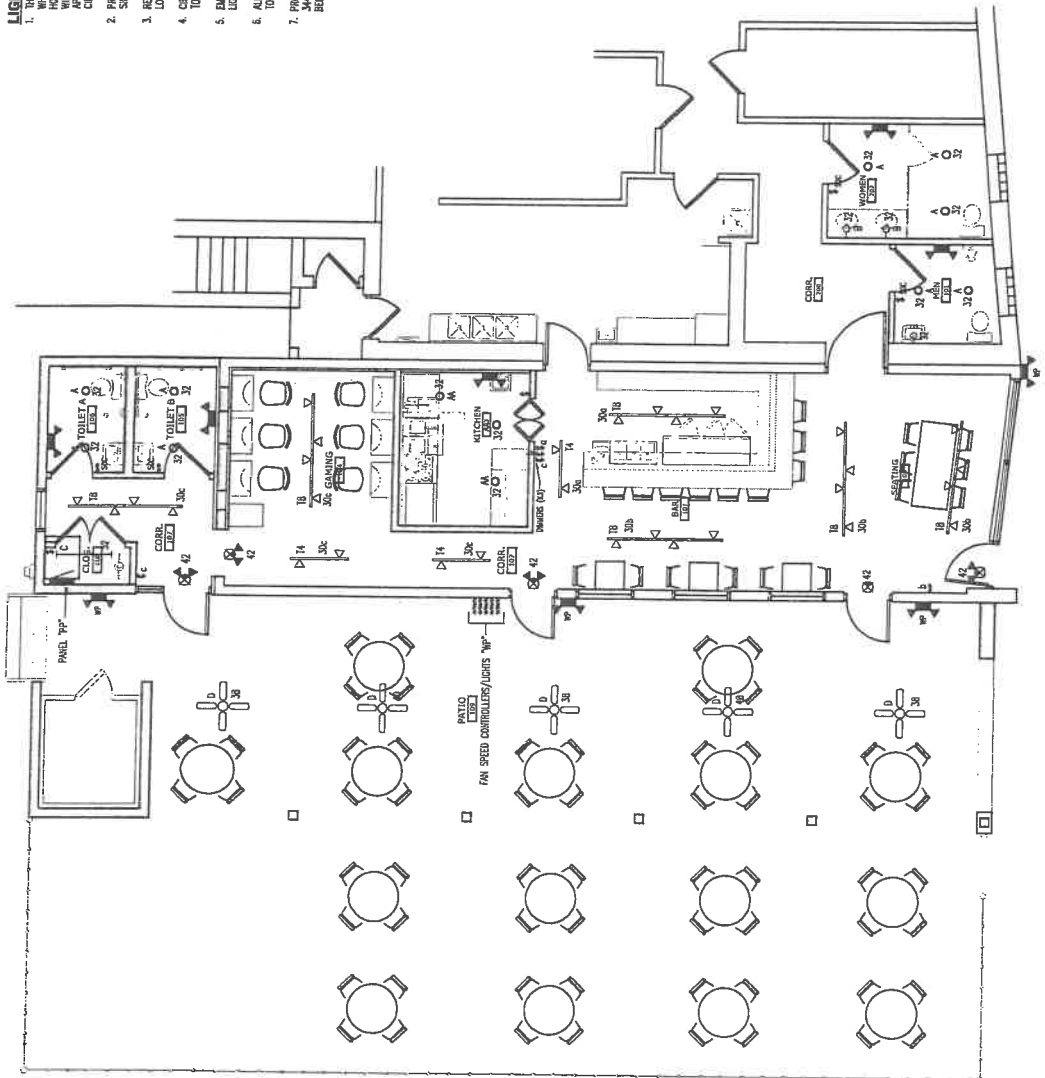
Project No: **22102**

No.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	8-22-2023

Sheet Title:
LIGHTING PLAN

Sheet No:
E2.0

- LIGHTING PLAN GENERAL NOTES:**
1. THE MINIMUM WIRE SIZE SHALL BE 12 AWG. EXCEPT FOR RECEPTACLES, COMPUTERS WHICH THE MINIMUM SIZE SHALL BE 10 AWG. THE MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS OTHERWISE INDICATED LARGER 1/2" CONDUIT SHALL BE ACCEPTED. ALL LIGHTING BRANCH CIRCUITS SHALL BE 1-PHASE 120V. CIRCUIT BREAKERS IN PANELBOARD INDICATED UNLESS OTHERWISE NOTED.
 2. PROVIDE LOCK-ON CIRCUIT BREAKER DEVICE FOR ALL EMERGENCY LIGHTING & EXIT SIGN BRANCH CIRCUITS.
 3. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LIGHTING FIXTURE LOCATIONS.
 4. CIRCUIT NUMBERS ARE SHOWN FOR A CIRCUIT ONLY. VERIFY EXACT CIRCUIT NUMBER TO BE UTILIZED IN FIELD.
 5. EMERGENCY BATTERY PACKS SHOWN ARE TO BE CONNECTED TO THE NEAREST LIGHTING BRANCH CIRCUIT AHEAD OF LOCAL SWITCH UNITS.
 6. ALL LAMP-HOUSINGS SHALL BE INDEPENDENTLY SUPPORTED AT OPPOSITE CORNERS TO A STRUCTURAL MEMBER.
 7. PROVIDE PULL BOXES BETWEEN PULL POINTS AS REQUIRED TO COMPLY WITH NEC. MAKE SURE THERE IS AT LEAST 18" CLEARANCE FROM THE EQUIPMENT OF FOUR QUARTER BEND (450 DEGREE TOTAL) BETWEEN PULL POINTS.



1 LIGHTING PLAN
1/4" = 1'-0"