

VILLAGE OF LOMBARD
REQUEST FOR BOARD OF TRUSTEES ACTION
For Inclusion on Board Agenda

 Resolution or Ordinance (Blue) Waiver of First Requested
 X Recommendations of Boards, Commissions & Committees (Green)
 Other Business (Pink)

TO : PRESIDENT AND BOARD OF TRUSTEES

FROM: Scott R. Niehaus, Village Manager

DATE : January 28, 2025 (BOT) Date, February 6, 2025

SUBJECT: PC 24-15: 434 E. North Avenue

SUBMITTED BY: William J. Heniff, AICP, Director of Community Development *WH*

BACKGROUND/POLICY IMPLICATIONS:

Your Plan Commission transmits for your consideration its recommendation regarding the above-referenced petition. The petitioner requests a zoning conditional use within the B4 Corridor Commercial District for the following:

1. Pursuant to Section 155.416(C)(15) of the Lombard Village Code to allow for a motor vehicle sales business; and
2. Pursuant to Section 155.416(C)(16) of the Lombard Village Code to allow for a motor vehicle service business.

The Plan Commission recommended approval of this petition by a vote of 5-0. Please place this petition on the February 6, 2025, Village Board of Trustees agenda for a first reading.

Fiscal Impact/Funding Source:


Review (as necessary)

Finance Director _____ Date _____
Village Manager _____ Date _____



MEMORANDUM

TO: Scott R. Niehaus, Village Manager

FROM: William J. Heniff, AICP, Director of Community Development 

MEETING DATE: February 6, 2025

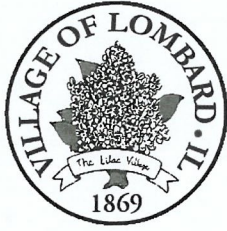
SUBJECT: **PC 24-15: 434 W. North Avenue**

Please find the following items for Village Board consideration as part of the February 6, 2025, Village Board meeting:

1. Plan Commission referral letter
2. IDRC report for PC 24-15
3. An Ordinance granting a conditional use pursuant to Section 155.416 (C)(15) and (16) of the Lombard Village Code to allow for a motor vehicle sales establishment and a motor vehicle service establishment on the subject property located within the B4 Corridor Commercial District.

The Plan Commission recommended approval of this petition by a vote of 5-0. Please place this petition on the February 6, 2025, Village Board of Trustees agenda for a first reading.

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VILLAGE OF LOMBARD

255 E. Wilson Ave.
Lombard, Illinois 60148-3926
(630) 620-5700 Fax (630) 620-8222
www.villageoflombard.org

February 6, 2025

Village President
Keith T. Giagnorio

Village Clerk
Liz Brezinski

Trustees

Brian LaVaque, Dist. 1
Anthony Puccio, Dist. 2
Bernie Dudek, Dist. 3
Vacant, Dist. 4
Dan Militello, Dist. 5
Bob Bachner, Dist. 6

Village Manager
Scott R. Niehaus

"Our shared Vision for Lombard is a community of excellence exemplified by its government working together with residents and businesses to create a distinctive sense of spirit and an outstanding quality of life."

"The Mission of the Village of Lombard is to provide superior and responsive governmental services to the people of Lombard."

Mr. Keith T. Giagnorio,
Village President, and
Board of Trustees
Village of Lombard

Subject: PC 24-15, 434 E. North Avenue

Dear President and Trustees:

Your Plan Commission transmits for your consideration its recommendation regarding the above-referenced petition. The petitioner requests a zoning conditional use within the B4 Corridor Commercial District for the following:

1. Pursuant to Section 155.416(C)(15) of the Lombard Village Code to allow for a motor vehicle sales business; and
2. Pursuant to Section 155.416(C)(16) of the Lombard Village Code to allow for a motor vehicle service business.

After due notice and as required by law, the Plan Commission conducted a public hearing for this petition on January 27, 2025. Sworn in to present the petition were Sam Daya, petitioner; Anna Papke, Planning and Zoning Manager; William Heniff, Director of Community Development.

Mr. Daya stated that they are seeking to re-establish the previously approved use of the retail vehicle sales. He addressed the concern raised in the staff report about the sales floor in the building by saying that the sales floor will not be used for displaying cars. He also noted that the triple basin sink had been recently inspected and is operational. A fire sprinkler system and fire alarm system was installed in 2007. A new system was installed in 2021. A recent inspection of the system revealed a few minor problems that are currently being fixed by Chicago Metro. They would like to install a second wall sign for the vehicle sales business.

Chairperson Giuliano asked if any person would like to cross examine or speak in favor or against this petition, or for public comment. Hearing none, she asked for the staff report.

Ms. Papke presented the IDRC report for PC 24-15, which was entered into the public record in its entirety. There is an existing rim and tire business operating on the subject property at 434 E. North Avenue. The petitioner proposes to add a second business selling vehicles on the property. Motor vehicle service and motor vehicle sales are both conditional uses in the B4 District. The subject property received approval of a conditional use for motor vehicle sales with ancillary service in 2007. The 2007 approval for vehicle sales has lapsed because the motor vehicle sales component of the business ceased operations more than a year ago. The petitioner is seeking to reestablish the conditional uses for both motor vehicle sales and service.

The petitioner does not propose any exterior improvements other than an additional sign. In consideration of the petition, staff notes that motor vehicle sales are common uses along the North Avenue corridor; motor vehicle sales businesses are operating on the properties adjacent to the east and west of the subject property. The subject property has contained motor vehicle service businesses periodically since 1985, with no known adverse impacts to the adjacent properties. Staff recommends approval of the petition subject to the conditions in the staff report.

Chairperson Giuliano asked if there were any questions for staff or the petitioner.

Commissioner Johnston asked if there was going to be a specific showroom for the sale of cars. Mr. Daya responded that they own the dealership next door to the east and to the west. Prior to 2021, the three properties were run as one dealership. Therefore, a showroom in the subject property's building is not necessary.

Commissioner Johnston asked if the new sign mentioned would have both businesses or two separate signs. Mr. Daya responded that they will propose two separate signs.

Chairperson Giuliano asked if there were any additional comments. Hearing none, she asked for a motion from the Commissioners.

On a motion by Commissioner Spreenberg, and a second by Commissioner Johnston, the Plan Commission voted 5-0 to recommend that the Village Board approve the petition associated with PC 24-15, subject to the following seven (7) conditions:

1. That the petitioner shall develop the site in accordance with plans submitted as part of this request
2. That the petitioner shall satisfactorily address all comments noted within the Inter-Departmental Review Committee Report.
3. The fence along the north property line shall be maintained in good condition at a height of six (6) feet minimum or eight (8) feet maximum.
4. The vehicle display/sales area shall be limited to parking spaces on the parking lot. Moreover, all vehicles parked and/or displayed on the subject property shall be in operable condition.

5. All vehicles are to be loaded and unloaded on the subject property and at no time shall any vehicle be loaded from or unloaded to public right-of-way. Vehicles shall not encroach into the public right-of-way at any time including blocking the sidewalk or designated ADA parking spaces.
6. All motor vehicle service activities shall always be performed inside the building.
7. This approval shall be subject to the commencement time provisions as set forth within Section 155.103(F)(11).

Respectfully,

VILLAGE OF LOMBARD

Leigh Giuliano, Chairperson
Lombard Plan Commission

December 16, 2024

Title

PC 24-15

Petitioner

Rims & Tires Lombard LLC
434 E. North Avenue
Lombard IL 60148

Property Owner

Chung Nguy
404 E. North Avenue
Lombard, IL 60148

Property Location

434 E. North Avenue
PIN: 03-32-415-027
Trustee District 4

Zoning

B4

Existing Land Use

Commercial Building

Comprehensive Plan

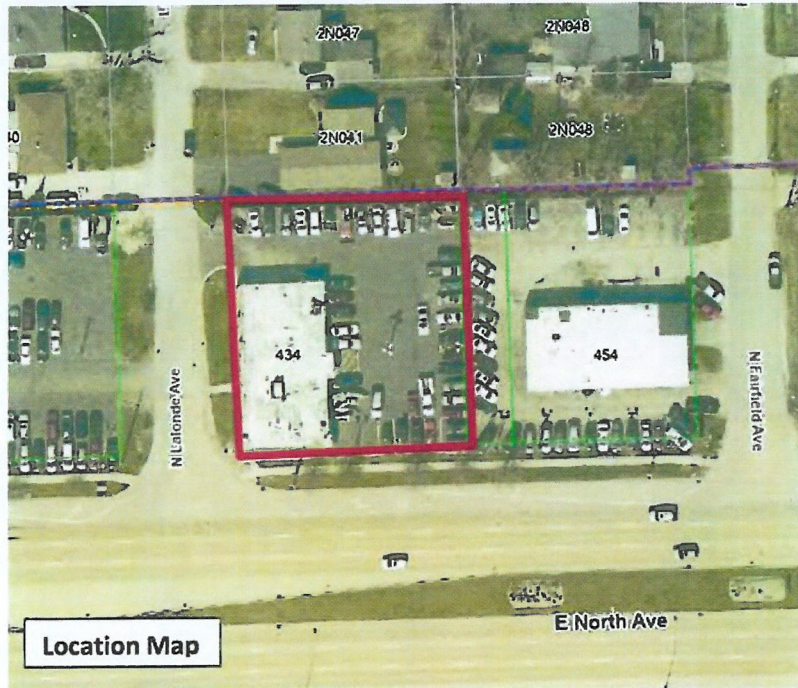
Community Commercial

Approval Sought

Conditional use for motor vehicle sales and service

Prepared By

Tami Urish
Planner I



Location Map

PROJECT DESCRIPTION

The petitioner proposes to operate two businesses to share the building and parking lot. The existing business, RimTyme Custom Wheels and Tires, proposes to add a separate business for car sales. No modifications to the building or parking lot are proposed other than adding an additional wall sign to the exterior. Motor vehicle sales and service are a conditional use in the B4 zoning district requiring approval through the Plan Commission public hearing process.

APPROVAL(S) REQUIRED

The petitioner requests that the Village take the following actions on the subject property located within the B4 Corridor Commercial District:

1. Pursuant to Section 155.416(C)(15) of the Lombard Village Code to allow for a motor vehicle sales business; and
2. Pursuant to Section 155.416(C)(16) of the Lombard Village Code to allow for a motor vehicle service business.

EXISTING CONDITIONS

The property has an existing one-story building with associated parking lot accessed from and LaLonde Avenue with cross access to Fairfield Avenue as well.

PROJECT STATS

Lot & Bulk

Building Size:	~5,000 SF
Parcel Size:	20,100 SF
Existing Parking spaces	17

Submittals

1. Petition for a public hearing;
2. Response to Standards;
3. Plat of Survey, prepared by Associated Surveying Group P.C. dated 12/6/2006;
4. Floor Plan, prepared by owner.

INTER-DEPARTMENTAL REVIEW

Building Division:

The Building Division offers the following comments:

1. If vehicles are to be brought inside of the building the floor would have to be evaluated as there is a basement below. While the floor was designed to support vehicles, the floor will have to at least receive a visual inspection to make sure it is still in good condition to bring vehicles back into the building. This can be performed by an Architect, Engineer, or even the Village can come out to inspect it and see if further evaluation is needed.
2. If vehicles are to be brought inside of the building, a triple basin oil interceptor is needed. This would be what the floor drains in the area with vehicles would be connected to. This would allow washing of cars inside, repairs of cars with fluid changes, etc. Without this, vehicles could come inside of the building, but no washing of cars, no fluids could be changed, and no car repairs, etc. The inside space without a triple basin can only be used for a showroom.
3. If vehicles are to be brought inside, a complete fire alarm must be present.

Additional comments may be forthcoming during permit review.

Fire Department:

The Fire Department offers the following comments:

There are repair issues in which a sprinkler and fire alarm system that was tested this year in June & August that have some deficiencies on both systems that still need repairs. Additional comments may be forthcoming during permit review.

Public Works:

The Public Works Department has no comments on the subject petition. Additional comments may be forthcoming during permit review.

Private Engineering Services (PES):

PES has no comments on the subject petition. Additional comments may be forthcoming during permit review.

Planning Services Division:

The Planning Services Division (PSD) notes the following:

1. Surrounding Zoning & Land Use Compatibility

	Zoning Districts	Land Use
North	Unincorporated	Single-Family Home
South	B4	Banquet Hall
East	B4	International Car Center
West	B4	Multi Autos

The subject property is located on North Avenue which is a high volume corridor with commercial and industrial sites on the north half and residential sites on the south half of the street with intermittent areas of commercially zoned property. The abutting lot to the east has been a motor vehicle sales establishment for a number of years, prior to 1990. The abutting lot to the west has been a motor vehicles sales establishment since 2016. The subject property was approved for a motor vehicle sales establishment in 2007. The sales establishment had an ancillary service shop as well. Over the years, the service portion eclipsed the sales establishment. Rimtyme obtained a certificate of occupancy for motor vehicle service to continue in 2021 thereby ceasing the motor vehicle sales conditional use entitlement.

Because of the previous change in use, the subject property no longer retains any legal non-conforming rights associated with the previous motor vehicle sales establishment. As such, a conditional use is needed to reestablish the zoning entitlements for both motor vehicle sales and motor vehicle service establishments.

2. Comprehensive Plan Compatibility

The Comprehensive Plan recommends Community Commercial uses for this location. A motor vehicle sales and motor vehicle service establishment are an appropriate use within this designation.

3. Zoning Compatibility

Per Section 155.420(C) of the Village Code, motor vehicle sales and motor vehicle service are conditional uses in the B4 District. Staff has reviewed the petitioner's request and finds the motor vehicle sales and motor vehicle service will not create any undue impacts on neighboring properties. As noted, the property has been a motor vehicle sales establishment off and on since 1985 without any known negative impacts. Additionally, the motor vehicle service activities shall be conducted inside the building only.

The subject property does not meet all of the bulk regulations for the B4 Corridor Commercial District. The property is legal non-conforming with respect to lot size, lot width, front yard setback and corner side yard setback. The petition does not include any relief from the underlying bulk requirements.

The existing non-conforming building and pavement functionally prevents the petitioner from bringing the property into full compliance with the current landscaping requirements. The Zoning Ordinance requires interior and perimeter parking lot landscaping. A five foot (5') perimeter exists along the southern edge of the parking lot, but there is not enough room to add perimeter landscaping along the northern and eastern side of the property as the paved area extends all the way to the northern and eastern property lines. Reducing the paved area for perimeter and interior parking lot landscaping would significantly hinder the use of the property.

Also, the configuration of the site does not allow for a transitional landscape yard. The only access drive to the subject property is located between the building and the rear property line adjacent to the residences. However, there is an existing six-foot (6') vinyl fence along the northern property line installed in 2022. Staff recommends that a fence no less than six feet (6') in height and no greater than eight feet in height be maintained along the northern property line in order to create a visual buffer for the residential properties. In 2007, the staff report for PC 07-16 included the fence requirement to address the multiple nonconformities created by the lawfully established conditions of the property. Staff finds the fence requirement a credible remedy to the legal nonconformities.

Staff is supportive of the request for motor vehicle sales and motor vehicle service.

4. *Site History*

- 1971: The property was annexed and rezoned B3 per Ordinances 1646 and 1647 for a Schwinn bicycle shop.
- 1985: Certificate of Occupancy for motor vehicle sales establishment. Permitted use at the time.
- 1992: Certificate of Occupancy for pool hall.
- 2007: PC 07-16, a conditional use for a motor vehicles sales establishment per Ordinance 6025.

FINDINGS & RECOMMENDATIONS

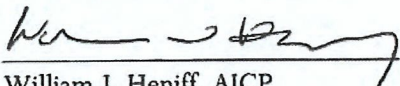
Staff finds that the proposed use is consistent with its surrounding context, the Village of Lombard Comprehensive Plan, and Zoning Ordinance.

The Inter-Departmental Review Committee has reviewed the standards for the requested conditional use and finds that the proposed use **complies** with the standards established by the Village of Lombard Zoning Ordinance, subject to conditions of approval based on the above considerations. As such, the Inter-Departmental Review Committee recommends that the Plan Commission make the following motion for **approval** of PC 24-15:

Based on the submitted petition and the testimony presented, the proposed conditional use complies with the standards required by the Village of Lombard Zoning Ordinance and that granting the conditional use is in the public interest and, therefore, I move that the Plan Commission accept the findings of the Inter-Departmental Review Committee Report as the findings of the Plan Commission, and recommend to the Village Board **approval** of PC 24-15, subject to the following conditions:

1. That the petitioner shall develop the site in accordance with plans submitted as part of this request
2. That the petitioner shall satisfactorily address all comments noted within the Inter-Departmental Review Committee Report.
3. The fence along the north property line shall be maintained in good condition at a height of six (6) feet minimum or eight (8) feet maximum.
4. The vehicle display/sales area shall be limited to parking spaces on the parking lot. Moreover, all vehicles parked and/or displayed on the subject property shall be in operable condition.
5. All vehicles are to be loaded and unloaded on the subject property and at no time shall any vehicle be loaded from or unloaded to public right-of-way. Vehicles shall not encroach into the public right-of-way at any time including blocking the sidewalk or designated ADA parking spaces.
6. All motor vehicle service activities shall always be performed inside the building.
7. This approval shall be subject to the commencement time provisions as set forth within Section 155.103(F)(11).

Inter-Departmental Review Committee Report approved by:



William J. Heniff, AICP
Director of Community Development

c. Petitioner

VII. STANDARDS FOR CONDITIONAL USES

1. Public Health, Safety, Morals, Comfort, or General Welfare

The proposed conditional use for the addition of used car sales will not be detrimental to public health, safety, morals, comfort, or general welfare. The operation will adhere to all local, state, and federal regulations governing auto sales, ensuring the highest standards of safety and ethics. Measures will be implemented to maintain a clean, organized, and professionally operated facility, free from hazards or nuisances to the community.

2. Impact on Neighboring Properties and Property Values

The proposed use will be complementary to the existing custom rims and tire service facility, aligning with the character of the neighborhood. The business will operate in a manner that respects the enjoyment of neighboring properties, with no adverse effects on their current uses. The site will be maintained to high standards, with landscaping and signage designed to enhance property values in the vicinity.

3. Orderly Development of Surrounding Property

The addition of used car sales will not impede the orderly development of the surrounding area. Instead, it complements the commercial nature of the district and encourages growth by providing additional services that benefit local residents. The proposed use is consistent with existing business activities and supports the development of a thriving, diverse commercial environment.

4. Adequate Public Utilities, Roads, and Facilities

The property is already equipped with adequate public utilities, access roads, drainage, and other necessary infrastructure. Any additional requirements specific to the proposed use will be addressed prior to implementation to ensure full compliance with village standards.

5. Ingress and Egress to Minimize Traffic Congestion

The site plan includes clearly marked ingress and egress points, designed to minimize traffic congestion on public streets. Parking and display areas for vehicles will be organized to ensure smooth traffic flow within the property, with no adverse impact on adjacent roadways.

6. Consistency with the Comprehensive Plan

The proposed use aligns with the objectives of the Village of Lombard's Comprehensive Plan by supporting economic development and enhancing the diversity of services offered in the area. This addition will contribute to the vibrancy of the local economy while maintaining harmony with the surrounding community.

7. Conformance with Zoning Regulations

The proposed conditional use will conform to all applicable zoning regulations for the district. Any modifications recommended by the Plan Commission will be fully implemented to ensure compliance and compatibility with the zoning requirements.

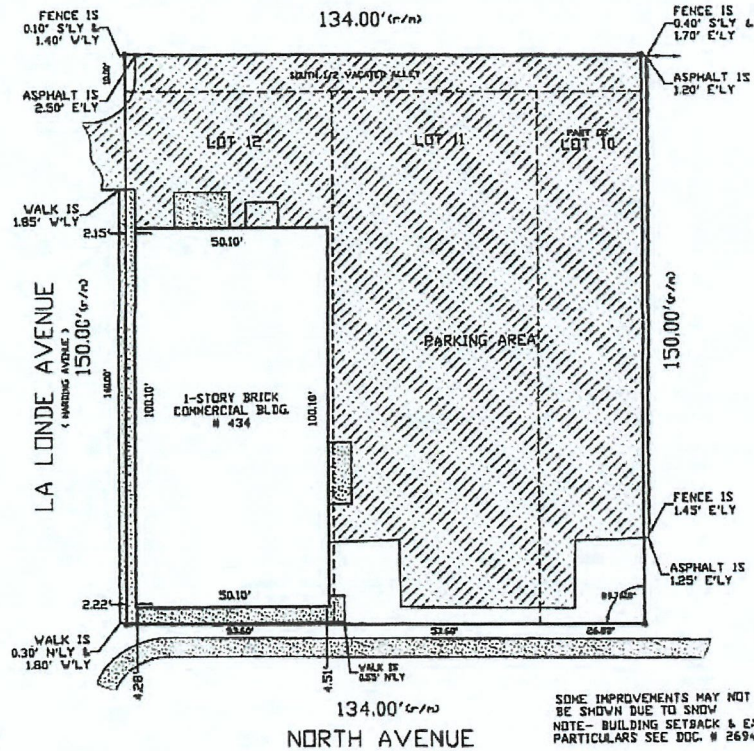
Associated Surveying Group, P.C.

Illinois Prof. Design Firm No. 184-003013
 P.O. Box 810 Bolingbrook, IL 60440
 PH: 630-759-0205 FAX: 630-759-9291

PLAT OF SURVEY

THE WEST HALF OF LOT 10 AND ALL OF LOTS 11 AND 12, AND THE SOUTH HALF OF THE VACATED ALLEY LYING NORTH AND ADJOINING SAID WEST HALF OF LOT 10 AND ALL OF LOTS 11 AND 12 IN BLOCK 14 IN NORTH AVENUE MANOR, BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 14, 1926, AS DOCUMENT NUMBER 269443, IN DUPAGE COUNTY, ILLINOIS.

SCALE 1" = 30'



SOME IMPROVEMENTS MAY NOT BE SHOWN DUE TO SHOW NOTE - BUILDING SETBACK & EASEMENT PARTICULARS SEE DOC. # 269443



State of Illinois }
 County of Will } SS

I, Michael G. Herwy, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey.

Dated, this 13th day of DECEMBER, A.D., 2006,
 at Bolingbrook, Illinois.

FIELDWORK DATE: DECEMBER 6, 2006

Michael G. Herwy
 Illinois Professional Land Surveyor No. 35-002900
 License Expires: November 30, 2008

CLIENT: REYNOLDS

JOB NO.: 64825-06

- NOTES:
- COMPARE THE LEGAL DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE; ALSO, COMPARE ALL FIELD MEASURED LOT CORNERS & BUILDING TIES WITH THIS PLAT BEFORE CONSTRUCTION AND REPORT ANY DIFFERENCE AT ONCE.
 - BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO DEPICTED ON THE RECORDED SUBDIVISION PLAT. REFER TO YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE FOR ADDITIONAL ENCUMBRANCES.
 - MEASURED LOT DIMENSIONS ARE SHOWN ONLY WHEN THEY DIFFER FROM RECORD DIMENSIONS BY 0.15 FEET OR MORE.
 - CURVED LINES DENOTED WITH ARC LENGTHS UNLESS OTHERWISE NOTED. ALSO, ALL ARCS ARE TANGENT UNLESS OTHERWISE NOTED.

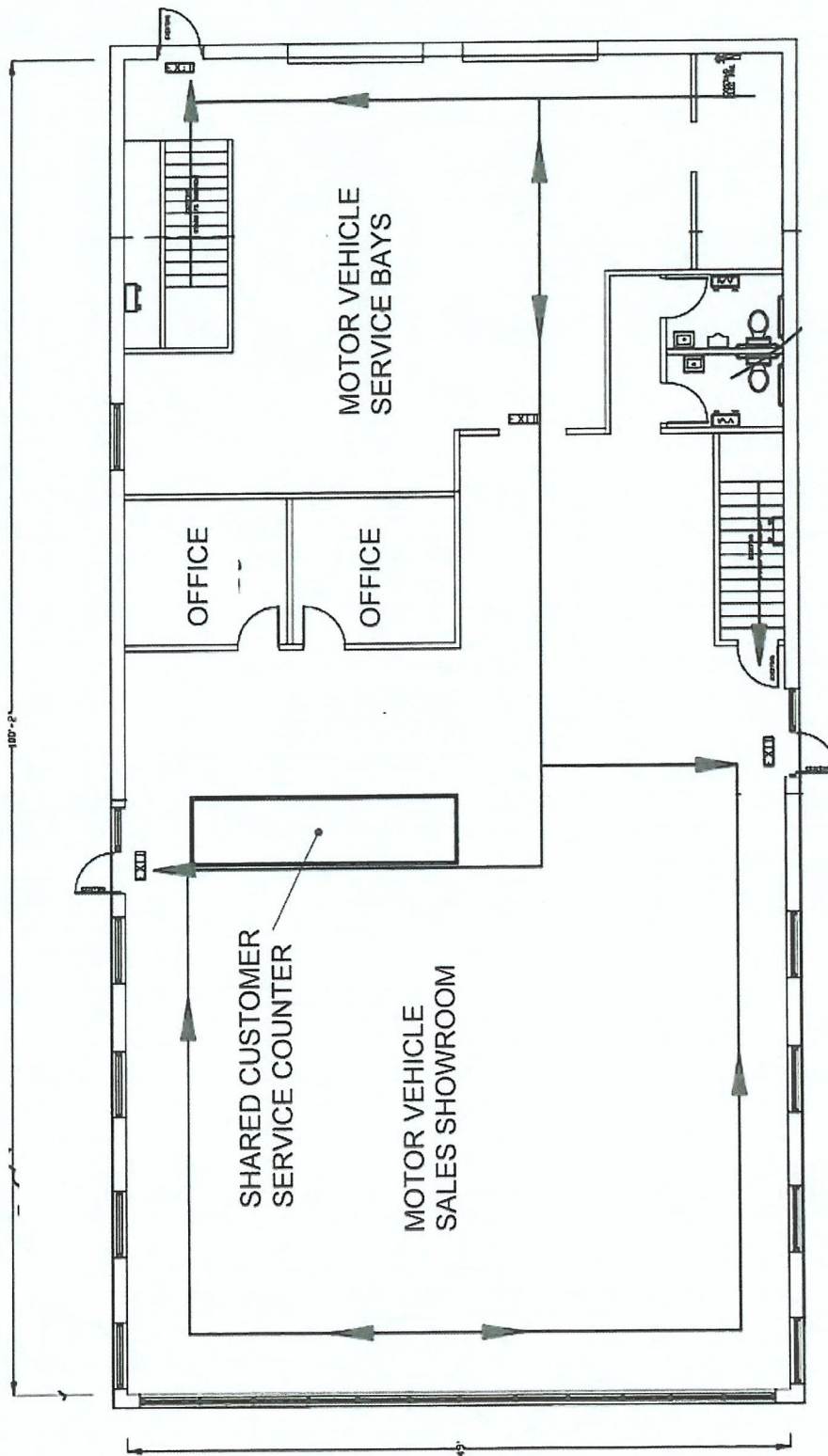
LEGEND:

	ASPHALT		BRICK
	WOOD		CONCRETE
	WALL		ENCLOSED COVERED
	IRON PIPE		CROSS
	IRON REBAR/ROD		NOTCH
	PK NAILS AS NOTCH		CHAIN LINK FENCE
	WOOD FENCE		ALL OTHER FENCE TYPES

ABBREVIATIONS:

A = ARC LENGTH	NLY = NORTHERLY
R = RADIUS	SLY = SOUTHERLY
CH = CHORD LENGTH	Ely = EASTERLY
(r) = RECORD VALUE	WLY = WESTERLY
(m) = MEASURED VALUE	TYP = TYPICAL
P.U. = PUBLIC UTILITY EASEMENT	
P.U.D. = PUBLIC UTILITY & DRAINAGE EASEMENT	

FLOOR PLAN



ORDINANCE NO. _____

**AN ORDINANCE GRANTING APPROVAL OF CONDITIONAL USE
PURSUANT TO SECTION 155.416(C)(15) AND (16) OF THE LOMBARD ZONING
ORDINANCE TO ALLOW FOR A MOTOR VEHICLE SALES AND MOTOR
VEHICLE SERVICE LOCATED IN THE B4 CORRIDOR
COMMERCIAL ZONING DISTRICT**

PC 24-15: 434 E. North Avenue

WHEREAS, the President and Board of Trustees of the Village of Lombard have heretofore adopted the Lombard Zoning Ordinance, otherwise known as Title 15, Chapter 155 of the Code of Lombard, Illinois;

WHEREAS, the Subject Property as defined below is zoned B4; and,

WHEREAS, an application requests approval for a conditional use for a motor vehicle sales establishment; and,

WHEREAS, an application requests approval for a conditional use for a motor vehicle service establishment; and,

WHEREAS, a public hearing on such application has been conducted by the Village of Lombard Plan Commission on January 27, 2025 pursuant to appropriate and legal notice; and,

WHEREAS, the Plan Commission has filed its recommendations with the President and Board of Trustees recommending approval of the conditional use described herein; and,

WHEREAS, the President and Board of Trustees approve and adopt the findings and recommendations of the Plan Commission and incorporate such findings and recommendations herein by reference as if they were fully set forth herein;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LOMBARD, DU PAGE COUNTY, ILLINOIS, as follows:

SECTION 1: That a conditional use is hereby granted for the Subject Property, as described in Section 2 below, pursuant to Title 15, Chapter 155, Section 155.416(C)(15) of the Zoning Ordinance for a motor vehicle sales establishment; and

SECTION 2: That a conditional use is hereby granted for the Subject Property, as described in Section 2 below, pursuant to Title 15, Chapter 155, Section 155.416(C)(16) of the Zoning Ordinance for a motor vehicle service establishment; and

SECTION 3: This ordinance is limited and restricted to the property generally located at 434 E. North Avenue, Lombard, Illinois, and legally described as follows:

THE WEST HALF OF LOT 10 AND ALL OF LOTS 11 AND 12, AND THE SOUTH HALF OF THE VACATED ALLEY LYING NORTH AND ADJOINING AID WEST HALF OF LOT 10 AND ALL OF LOTS 11 AND 12 IN BLOCK 14 IN NORTH AVENUE MANOR, BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 14, 1928 AS DOCUMENT NO. R1928-269443 IN DUPAGE COUNTY, ILLINOIS.

PIN Number: 03-32-415-027 (the “Subject Property”).

SECTION 4: The approvals set forth in SECTIONS 1 and 2 above shall be granted subject to compliance with the following conditions:

1. That the petitioner shall develop the site in accordance with plans submitted as part of this request
2. That the petitioner shall satisfactorily address all comments noted within the Inter-Departmental Review Committee Report.
3. The fence along the north property line shall be maintained in good condition at a height of six (6) feet minimum or eight (8) feet maximum.
4. The vehicle display/sales area shall be limited to parking spaces on the parking lot. Moreover, all vehicles parked and/or displayed on the subject property shall be in operable condition.
5. All vehicles are to be loaded and unloaded on the subject property and at no time shall any vehicle be loaded from or unloaded to public right-of-way. Vehicles shall not encroach into the public right-of-way at any time including blocking the sidewalk or designated ADA parking spaces.
6. All motor vehicle service activities shall always be performed inside the building.
7. This approval shall be subject to the commencement time provisions as set forth within Section 155.103(F)(11).

SECTION 5: This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

Ordinance No. _____
Re: PC 24-15
Page 3

Passed on first reading this _____ day of _____, 2025.

First reading waived by action of the Board of Trustees this _____ day of _____, 2025.

Passed on second reading this _____ day of _____, 2025.

Ayes: _____

Nays: _____

Absent: _____

Approved this _____ day of _____, 2025.

Keith Giagnorio, Village President

ATTEST:

Elizabeth Brezinski, Village Clerk

Published in pamphlet from this _____ day of _____, 2025.

Elizabeth Brezinski, Village Clerk