

**LINE TYPE LEGEND**

ADJACENT LOT LINE  
 BOUNDARY LINE  
 UNDERGROUND DETENTION EASEMENT  
 PUBLIC UTILITY & DRAINAGE EASEMENT (P.U. & D.E.)  
 SIDEWALK EASEMENT = [Symbol]  
 OUTLOT "A" = [Symbol]

**FINAL PLAT OF SUBDIVISION  
 FOR  
 THE PINNACLE AT MEYERS SUBDIVISION  
 1ST RESUBDIVISION**

BEING A RESUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 21, TOWNSHIP 39 NORTH,  
 RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

**THIS PLAT HAS BEEN SUBMITTED FOR RECORDING AND RETURN TO:**

NAME: VILLAGE OF LOMBARD  
 255 E. WILSON AVE  
 LOMBARD, IL 60148-3926

**P.I.N. NUMBERS**

06-21-102-010  
 06-21-102-011  
 06-21-102-012  
 06-21-102-013  
 06-21-102-014  
 06-21-102-028

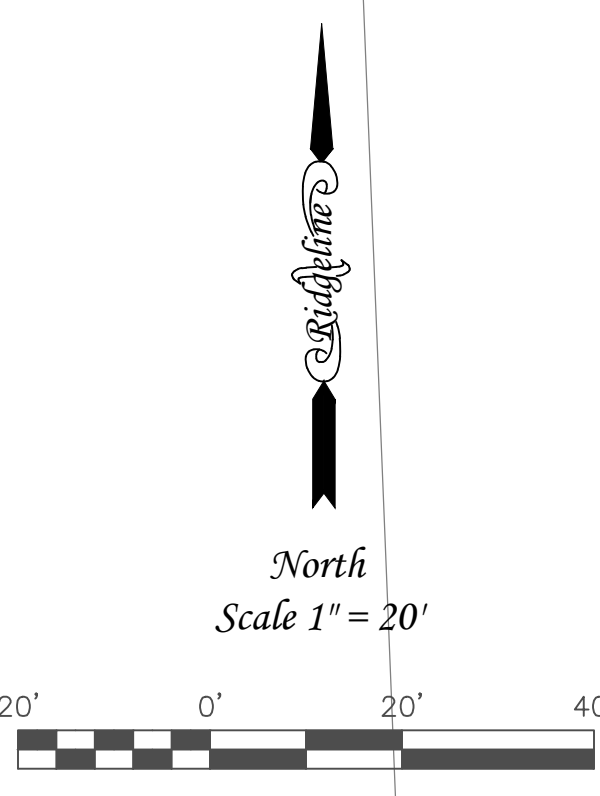
**NOTES:**

- UPON VILLAGE APPROVAL IRON PIPE MONUMENTS WILL BE PLACED AT NEW PROPERTY CORNERS CREATED BY THIS PLAT.
- ALL MEASURED BEARINGS SHOWN HEREON ARE BASED ON NAD 83 ILLINOIS COORDINATE SYSTEM, EAST ZONE (2011 CORRECTION) AS DETERMINED BY USE OF GPS EQUIPMENT USING TRIMBLE VRS NETWORK AND EQUIPMENT.
- PARCELS SHOWN ARE BASED ON INFORMATION NOTED IN CHICAGO TITLE INSURANCE COMPANY'S TITLE COMMITMENT NO'S. 24CC0590355K DATED APRIL 4, 2024, (LOT 7), 23GNW431053WC (REVISION 1), DATED MARCH 15, 2024, (LOTS 8, 9, & 10), 245T00526SK, DATED APRIL 5, 2024, (LOT 11) AND 245T00429SK DATED MARCH 18, 2024, (FORMER LOT 12 OR LOT "A").
- ALL MONUMENT TIES ARE MEASURED PERPENDICULAR TO THE PROPERTY LINE(S).

NOTE:  
 A BLANKET EASEMENT IS RESERVED AND HEREBY GRANTED OVER LOTS 1 THROUGH 11, ALL INCLUSIVE, EXCEPT FOR THE BUILDING PADS, FOR THE HOMEOWNER'S ASSOCIATION.

**ABBREVIATION LEGEND**

E = EAST  
 (M) = MEASURED DISTANCE  
 N = NORTH  
 P.U. & D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT  
 (R) = RECORD DISTANCE  
 R.O.W. = RIGHT OF WAY  
 S = SOUTH  
 W = WEST



**MEYERS ROAD (PLATTED AS MEYER ROAD)  
 COUNTY HWY. 25**  
 (83' APPARENT R.O.W.)

**SCHOOL STREET  
 (PLATTED AS CO-OP ROAD)  
 (66' R.O.W.)**

14TH STREET

SHEET 1 OF 2

PREPARED FOR:  
**THE PINNACLE AT MEYERS**  
 PROPERTY ADDRESS: 1312 S. MEYERS ROAD LOMBARD, ILLINOIS



**Ridgeline Consultants LLC**  
 Illinois Professional Design Firm No. 184-004766  
 1661 Aucutt Road, Montgomery, IL 60538  
 PH: 630.801.7927 FAX: 630.701.1385  
 Jiaofeng Hsu P.L.S. 4071 Expiration Date 11/30/2026  
 Stacy L. Stewart P.L.S. 3415 Expiration Date 11/30/2026

REVISION	DATE	DESC

BOOK: [ ] DWG. SIZE: D  
 DRAWN: REW CHECKED: JH  
 REFERENCE: [ ]  
 DATE: 05/13/2025  
 PROJECT NO. 2023-0528



# PRELIMINARY ENGINEERING PLAN

# THE PINNACLE AT MEYERS

## 1ST RESUBDIVISION

### LEGAL DESCRIPTION OF PROPERTY

LOTS 1 THROUGH 22, INCLUSIVE, AND OUTLOT A, IN THE PINNACLE AT MEYERS SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 18, 2025 AS DOCUMENT NUMBER R2025-015016, IN DUPAGE COUNTY, ILLINOIS.

1308 ~ 1320 MEYERS ROAD  
LOMBARD, ILLINOIS

### STANDARD SYMBOLS

#### PROPOSED

DEPRESSED CURB	—
CURB & GUTTER	==
STORM INLET STRUCTURE	■
STORM SEWER STRUCTURE	●
SANITARY MANHOLE	⊙
SANITARY MAIN/SERVICE	—
STORM MAIN/SERVICE	—
WATER MAIN/SERVICE	—
PROPOSED LIGHT STANDARD WITHIN PUBLIC RIGHT OF WAY	■
PROPOSED LIGHT LAMP WITHIN PRIVATE DEVELOPMENT	⊗
B-BOX	⊗
VALVE IN VAULT	●
PROPOSED CONTOUR	—723—
TOP OF FOUNDATION	T/F
FINISHED FLOOR	F/F
GARAGE FLOOR	G/F
6' SOLID FENCE	—
4' SOLID FENCE	—
CONCRETE WALK/DRIVEWAY	—
PAVER PATIOS	—
INLET FILTER	—
COIR LOG	—
DETECTABLE WARNING	—
OVERLAND FLOW PATH	—
DOWNSPOUT	—
ELECTRIC METER	—
SANITARY CLEANOUT	○ c.o.
POP-UP EMITTER	●

PROPOSED LIGHT STANDARD WITHIN PUBLIC RIGHT OF WAY

PROPOSED LIGHT LAMP WITHIN PRIVATE DEVELOPMENT

B-BOX

VALVE IN VAULT

PROPOSED CONTOUR

TOP OF FOUNDATION

FINISHED FLOOR

GARAGE FLOOR

6' SOLID FENCE

4' SOLID FENCE

CONCRETE WALK/DRIVEWAY

PAVER PATIOS

INLET FILTER

COIR LOG

DETECTABLE WARNING

OVERLAND FLOW PATH

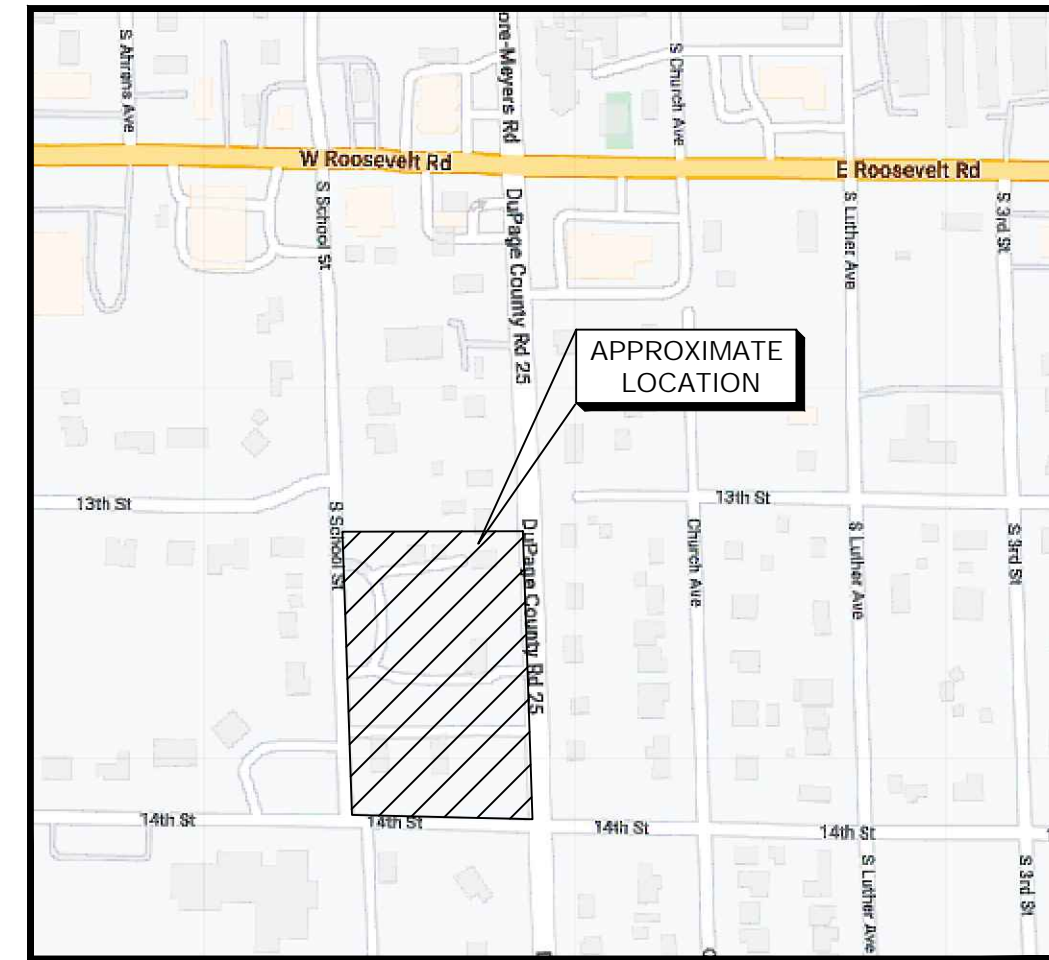
DOWNSPOUT

ELECTRIC METER

SANITARY CLEANOUT

POP-UP EMITTER

SEE SHEET 2 OF 16 FOR SYMBOLS OF EXISTING IMPROVEMENTS



Vicinity Map

(not to scale)

#### BENCHMARK INFORMATION

- 1) ALL MEASURED BEARINGS SHOWN HEREON ARE BASED ON NAD 83 ILLINOIS COORDINATE SYSTEM, EAST ZONE (2011 CORRECTION) AS DETERMINED BY USE OF GPS EQUIPMENT USING TRIMBLE VRS NETWORK AND EQUIPMENT.
  - 2) CONTOUR INTERVAL = 1.0'
  - 3) ELEVATIONS HEREON REFER TO NAVD 88 DATUM.
  - 4) SOURCE BENCHMARK: VERTICAL ELEVATIONS SHOWN HEREON ARE IN NAVD 88 VERTICAL DATUM AS DETERMINED BY USE OF NGS OPUS-RS SOLUTION.
- SITE BENCHMARK: SW TAG BOLT ON FIRE HYDRANT ON THE WEST SIDE OF MEYERS ROAD (SEE PLAN FOR EXACT LOCATION). ELEVATION = 724.79

#### NOTES:

1. ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.
2. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
3. ALL ELEVATIONS ARE BASED ON THE SAME DATUM AS THE 'TOPO SURVEY'. BENCHMARK LOCATIONS AND ELEVATIONS ARE SHOWN ON PLANS. VERIFY ELEVATIONS IN FIELD BEFORE CONSTRUCTION.
4. ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
5. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREES TO HOLD HARMLESS V3 COMPANIES OF ILLINOIS LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR'S PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.
6. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
  - a. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED BY IDOT, LATEST EDITION.
  - b. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AS PUBLISHED BY THE IEPA," LATEST EDITION.
  - c. ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA, LATEST EDITION.
  - d. THE SUBDIVISION CODE OF THE VILLAGE OF LEMONT.
  - e. THE NATIONAL ELECTRIC CODE.

IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITEWORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
8. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
9. THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HIGHER OPERATIONS AFFECT PUBLIC THOROUGHFARES AND ADHERE TO ALL LOCAL ORDINANCES ACCORDANCE WITH LOCAL ORDINANCE AND IDOT REQUIREMENTS.
10. BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.
11. THE CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.
12. AREAS OUTSIDE THE R.O.W. LINE OR CONSTRUCTION LIMIT LINE IMPACTED BY OPERATIONS OF THE CONTRACTOR SHALL BE RETURNED TO THE STATE IT WAS FOUND PRIOR TO NEW CONSTRUCTION, EXCEPT WHERE NEW WORK IS SHOWN.
13. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED, SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE MUNICIPALITY OR IDOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
14. PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.
15. PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE MUNICIPALITY AND IDOT SPECIFICATIONS.
16. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL UNDERGROUND UTILITY CONSTRUCTION AND SUBMIT "RECORD" INFORMATION TO ENGINEER FOR USE IN PREPARING "RECORD DRAWINGS".
17. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AS OFTEN AS NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS OR AS REQUIRED BY STATE AND VILLAGE OFFICIALS.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AS SHOWN ON THESE DRAWINGS.
19. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.
20. WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO THE SEWER INSTALLATION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS, BY THE END OF THE SAME WORK DAY. DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
21. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.
22. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO GENERAL CONTRACTOR WITH OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
23. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.

### INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	BOUNDARY / TOPOGRAPHIC SURVEY & DEMOLITION PLAN
3	SITE PLAN
4	UTILITY PLAN
5	GRADING PLAN
6	EROSION CONTROL PLAN
7	DRIVEWAY ACCESSING MEYERS ROAD AND SANITARY MAIN PROFILES
8	WATER MAIN PROFILES & GATE DESIGN
9	HANDICAP ACCESSIBILITY DETAILS
10	CONSTRUCTION DETAILS
11	CONSTRUCTION DETAILS
12	CONSTRUCTION DETAILS
13	CONSTRUCTION DETAILS
14	CONSTRUCTION DETAILS
15	UNDERGROUND DETENTION DETAILS
16	CONSTRUCTION DETAILS

**DUTY TO INDEMNIFY**  
The contractor shall defend, indemnify, keep and save harmless the municipality, owner and engineer, and their respective board members, representatives, agents and employees, in both individual and official capacities, against all suits, claims, damages, losses and expenses, including attorney's fees, caused by, growing out of, or incidental to the performance of the work under the contract by the contractor or its subcontractors to the full extent as allowed by the laws of the State of Illinois and not beyond any extent which would render these provisions void or unenforceable. This obligation includes but is not limited to: the Illinois laws regarding structural work [Ill. Rev. Stat. Ch. 48, Par. 60 at Seq.] and regarding the protection of adjacent landowners [Ill. Rev. Stat. Ch. 17-1/2 Par. 51 Et. Seq.]. In the event of any such injury (including death) or loss of damage, of claims therefore, or claims therefore, the contractor shall give prompt notice to the owner.



PREPARED FOR:  
AFSAR DEVELOPER, LLC  
ATTN: AHMED KHAN  
2000 BLOOMINGDALE RD, SUITE 100  
GLENDALE HEIGHTS, IL, 60139  
PH: 312-446-1163

# BOUNDARY/TOPOGRAPHIC SURVEY & DEMOLITION PLAN



North  
Scale 1" = 20'



## DEMOLITION NOTES:

- 1) ALL EXISTING SEPTIC FIELDS & WELLS ON SITE, NOT SHOWN HERE, ARE TO BE REMOVED & DISPOSED OF OFFSITE.
- 2) ALL EXISTING DRAIN TILE OR STORM SEWER ON SITE, NOT SHOWN HERE, ARE TO BE REMOVED & DISPOSED OF OFFSITE.
- 3) EXISTING DRY UTILITIES ON SITE, NOT SHOWN HERE, ARE TO BE REMOVED & DISPOSED OF OFFSITE. PROPER DISCONNECTION SHOULD BE MADE AT MAINS.
- 4) THE DECORATIVE STONE, DEBRIS, AND MAIL BOXES SHALL BE REMOVED FROM PARKWAY ALONG THE FRONTAGE OF THE SITE AND RESTORED WITH PULVERIZED TOPSOIL AND CLASS 2A SALT-TOLERANT SEED.

## ABBREVIATION LEGEND

- (C) = CALCULATED
- CL = CENTERLINE
- CMP = CORRUGATED METAL PIPE
- E = EAST
- E/C = EDGE OF CONCRETE
- ELY = EASTERLY
- FEX = FENCE CORNER
- FEE = FINISHED FLOOR ELEVATION
- (M) = MEASURED DISTANCE
- MT = MULTI TRUNK
- N = NORTH
- NLY = NORTHERLY
- PVC = POLYVINYL CHLORIDE PIPE
- (R) = RECORD DISTANCE
- RCP = REINFORCED CONCRETE PIPE
- R.O.W. = RIGHT OF WAY
- S = SOUTH
- STLY = SOUTHERLY
- TF = TOP OF FOUNDATION ELEVATION
- TWL = TOP OF WALL ELEVATION
- TWW = TOP OF WINDOW WELL ELEVATION
- VCP = VITREOUS CLAY PIPE
- W = WEST
- WLY = WESTERLY

## EXISTING SYMBOL LEGEND

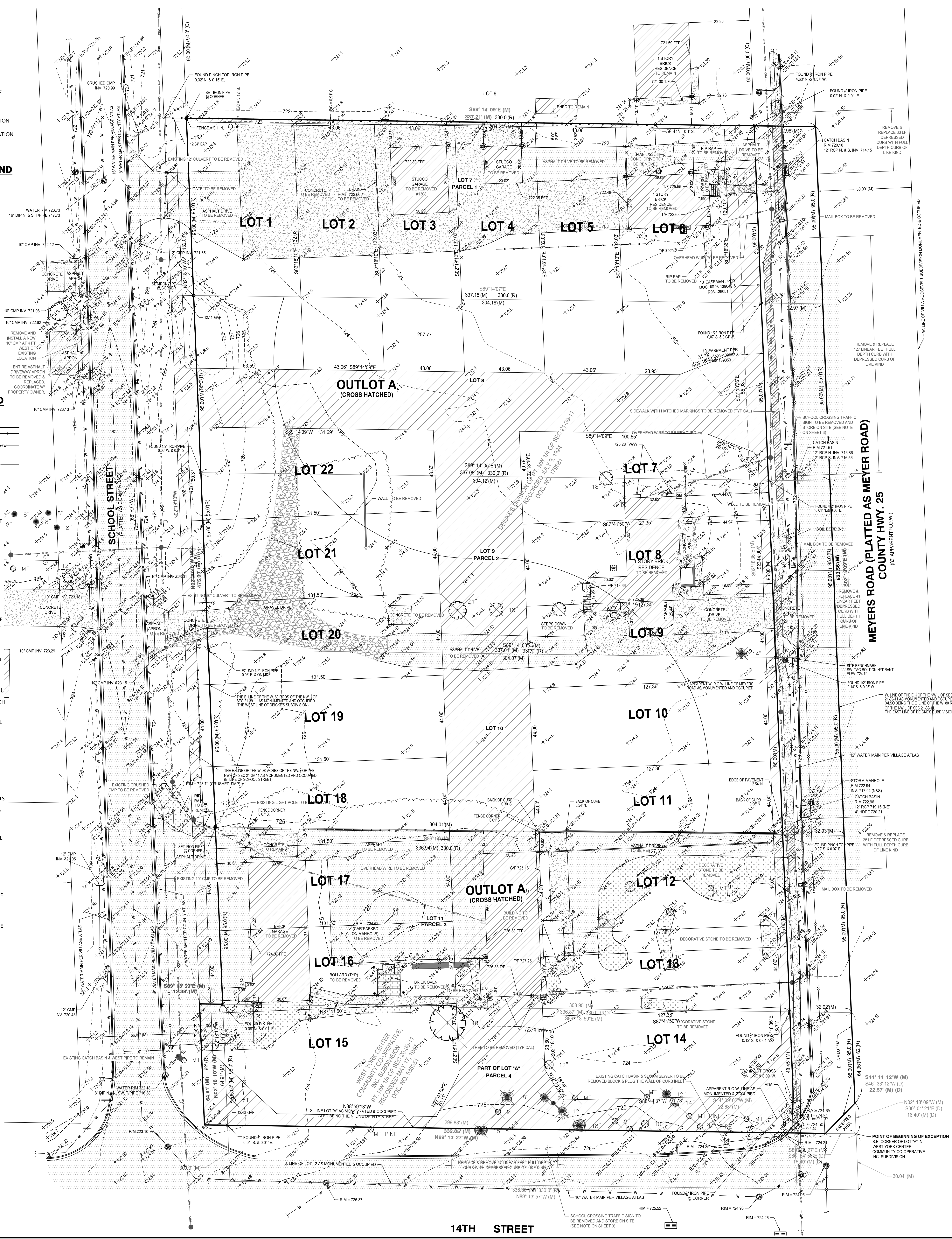
- [Symbol] = ASPHALT
- [Symbol] = AIR CONDITIONER
- [Symbol] = B BOX
- [Symbol] = BRICK
- [Symbol] = CONCRETE
- [Symbol] = DECIDUOUS TREE
- [Symbol] = DOWNSPOUT
- [Symbol] = ELECTRIC METER
- [Symbol] = ELECTRIC PEDESTAL
- [Symbol] = GAS METER
- [Symbol] = HYDRANT
- [Symbol] = PINE TREE
- [Symbol] = SANITARY MANHOLE
- [Symbol] = SET IRON PIPE 1/2" DIA X 24"
- [Symbol] = SIGN
- [Symbol] = WATER MANHOLE
- [Symbol] = WATER VALVE
- [Symbol] = WOOD UTILITY POLE

## LINE TYPE LEGEND

- [Line Style] ADJACENT LOT LINE =
- [Line Style] BOUNDARY LINE =
- [Line Style] CENTERLINE BETWEEN POLES WITH OVERHEAD WIRES =
- [Line Style] SANITARY SEWER =
- [Line Style] STORM SEWER =
- [Line Style] WATER MAIN =

## SURVEY NOTES:

- 1) ALL MEASURED BEARINGS SHOWN HEREON ARE BASED ON NAD 83 ILLINOIS COORDINATE SYSTEM, EAST ZONE (2011 CORRECTION) AS DETERMINED BY USE OF GPS EQUIPMENT USING TRIMBLE VRS NETWORK AND EQUIPMENT.
- 2) CONTOUR INTERVAL = 1.0'
- 3) ELEVATIONS HEREON REFER TO NAVD 88 DATUM.
- 4) SOURCE BENCHMARK: VERTICAL ELEVATIONS SHOWN HEREON ARE IN NAVD 88 VERTICAL DATUM AS DETERMINED BY USE OF NGS OPUS-RS SOLUTION.
- 5) SITE BENCHMARK: SW TAG BOLT ON FIRE HYDRANT ON THE WEST SIDE OF MEYERS ROAD (SEE PLAN FOR EXACT LOCATION). ELEVATION = 724.79
- 6) THIS SURVEY IS BASED ON INFORMATION NOTED IN CHICAGO TITLE INSURANCE COMPANY'S TITLE COMMITMENT NO. 24000593553 DATED APRIL 4, 2024. (LOT 7), 23GNW431053WC (REVISION 1), DATED MARCH 15, 2024, (LOTS 8, 9 & 10), 24ST005265K, DATED APRIL 5, 2024. (LOT 11) AND 24ST004295K DATED MARCH 18, 2024. (FORMER LOT 12 OR LOT "A").
- 7) ALL UTILITIES MAY NOT BE SHOWN. CALL J.U.L.I.E. AT 1-800-892-0123 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES PRIOR TO ANY DIGGING OR CONSTRUCTION.
- 8) LOCATION OF ALL UTILITIES AND SUBSTRUCTURES ARE APPROXIMATELY BASED ON SURVEY EVIDENCE AND EXISTING PLANS, AS PROVIDED BY THE CLIENT AND UTILITY COMPANIES.
- 9) THIS PROPERTY MAY BE WITHIN THE LIMITS OF UNINCORPORATED DUPAGE COUNTY AND AS SUCH IS SUBJECT TO ZONING AND BUILDING RESTRICTIONS.
- 10) ORIGINAL SURVEY FIELD WORK COMPLETED ON 12-21-2023. ADDITIONAL SURVEY FIELD WORK COMPLETED ON APRIL 19, 2024.
- 11) ALL TREES LESS THAN 6 INCHES IN DIAMETER ARE NOT SHOWN HEREON.
- 12) PARCEL CONTAINS APPROXIMATELY 182,374 SQUARE FEET (4.19 ACRES) MORE OR LESS. (INCLUDING APPARENT MEYERS ROAD R.O.W.)
- 13) PARCEL CONTAINS APPROXIMATELY 164,611 SQUARE FEET (3.78 ACRES) MORE OR LESS. (EXCLUDING APPARENT MEYERS ROAD R.O.W.)
- 14) ALL MONUMENT TIES ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES(S).



SHEET 2 OF 16  
 AFSAR DEVELOPER, LLC  
 1308 - 1320 MEYERS ROAD  
 LOMBARD, ILLINOIS

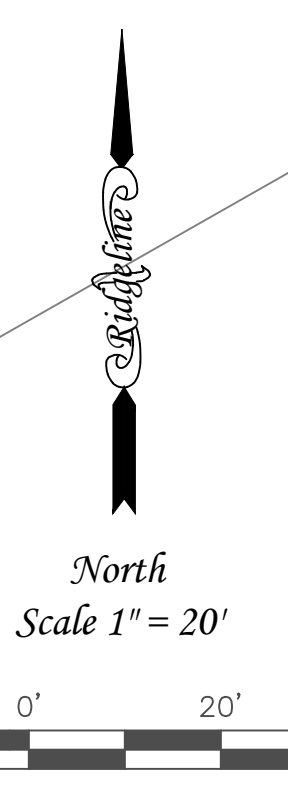
Ridgeline CONSULTANTS  
 CONSULTING ENGINEERS - LAND SURVEYORS

Ridgeline Consultants LLC  
 Illinois Professional Design Firm No. 184-004766  
 1601 Ascott Road, Montgomery, IL 60038  
 PH: 630.801.7927 FAX: 630.701.1380  
 Janelle.Hua.P.L.S. 4071 Expiration Date: 11/30/2026  
 Stacy.L.Stewart.P.L.S. 3415 Expiration Date: 11/30/2026

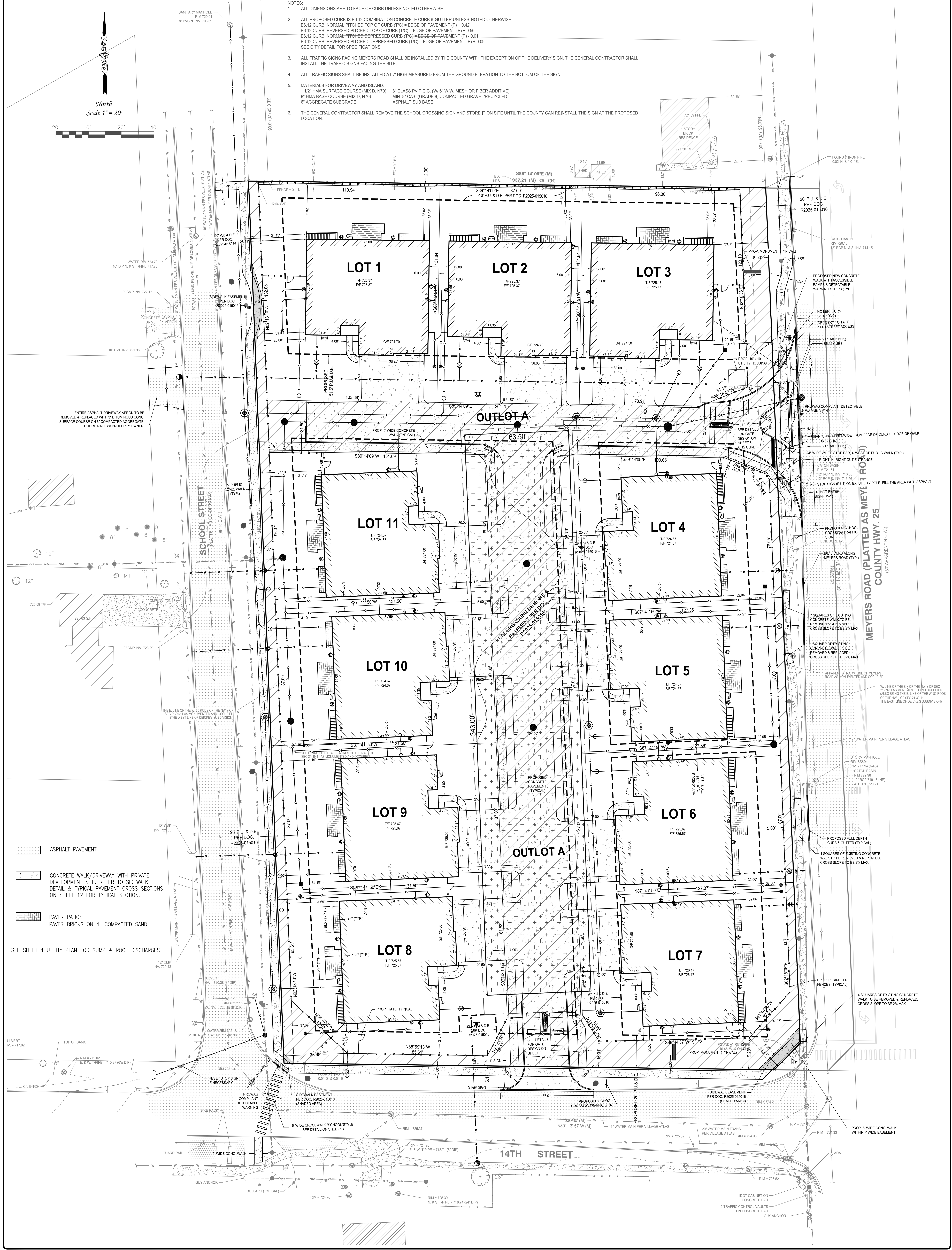
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 DRAWN: REV: CHECKED: JSL  
 REFERENCE: DATE: 05/23/2025  
 PROJECT NO: 2023-0528

# SITE PLAN



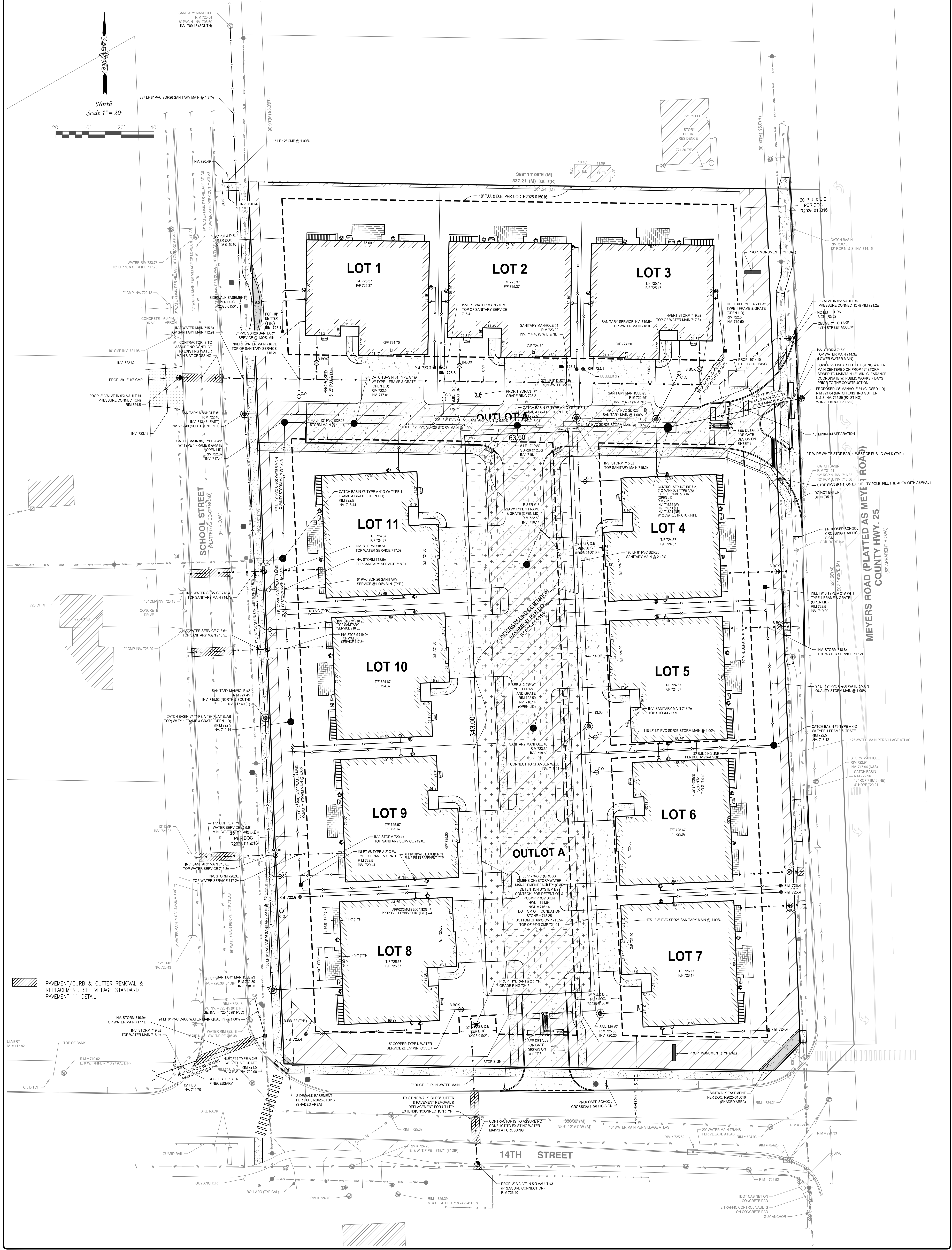
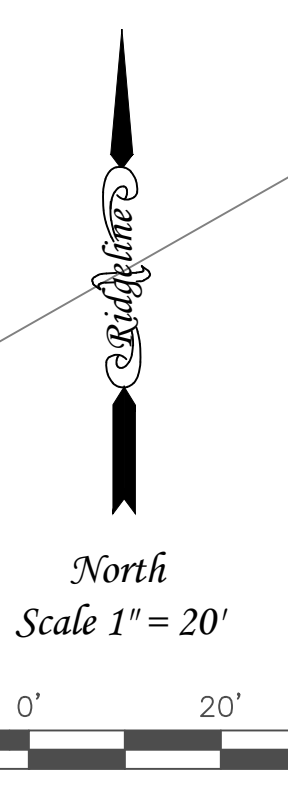
- NOTES:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
  - ALL PROPOSED CURB IS B6.12 COMBINATION CONCRETE CURB & GUTTER UNLESS NOTED OTHERWISE.  
 B6.12 CURB: NORMAL PITCHED TOP OF CURB (T/C) = EDGE OF PAVEMENT (P) + 0.42'  
 B6.12 CURB: REVERSED PITCHED TOP OF CURB (T/C) = EDGE OF PAVEMENT (P) + 0.56'  
 B6.12 CURB: NORMAL PITCHED DEPRESSED CURB (T/C) = EDGE OF PAVEMENT (P) - 0.01'  
 B6.12 CURB: REVERSED PITCHED DEPRESSED CURB (T/C) = EDGE OF PAVEMENT (P) + 0.09'  
 SEE CITY DETAIL FOR SPECIFICATIONS.
  - ALL TRAFFIC SIGNS FACING MEYERS ROAD SHALL BE INSTALLED BY THE COUNTY WITH THE EXCEPTION OF THE DELIVERY SIGN, THE GENERAL CONTRACTOR SHALL INSTALL THE TRAFFIC SIGNS FACING THE SITE.
  - ALL TRAFFIC SIGNS SHALL BE INSTALLED AT 7' HIGH MEASURED FROM THE GROUND ELEVATION TO THE BOTTOM OF THE SIGN.
  - MATERIALS FOR DRIVEWAY AND ISLAND:  
 1 1/2" HMA SURFACE COURSE (MIX D, N70) 8" CLASS P.V.C.C. (W/ 6" W.W. MESH OR FIBER ADDITIVE)  
 8" HMA BASE COURSE (MIX D, N70) MIN. 8" CA-6 (GRADE 8) COMPACTED GRAVEL/RECYCLED ASPHALT SUB BASE  
 6" AGGREGATE SUBGRADE
  - THE GENERAL CONTRACTOR SHALL REMOVE THE SCHOOL CROSSING SIGN AND STORE IT ON SITE UNTIL THE COUNTY CAN REINSTALL THE SIGN AT THE PROPOSED LOCATION.



- ASPHALT PAVEMENT
  - CONCRETE WALK/DRIVEWAY WITH PRIVATE DEVELOPMENT SITE. REFER TO SIDEWALK DETAIL & TYPICAL PAVEMENT CROSS SECTIONS ON SHEET 12 FOR TYPICAL SECTION.
  - PAVER PATIOS  
PAVER BRICKS ON 4" COMPACTED SAND
- SEE SHEET 4 UTILITY PLAN FOR SUMP & ROOF DISCHARGES

MEYERS ROAD (PLATTED AS MEYER ROAD)  
 COUNTY HWY. 25  
 (BY APPARENT R.O.W.)

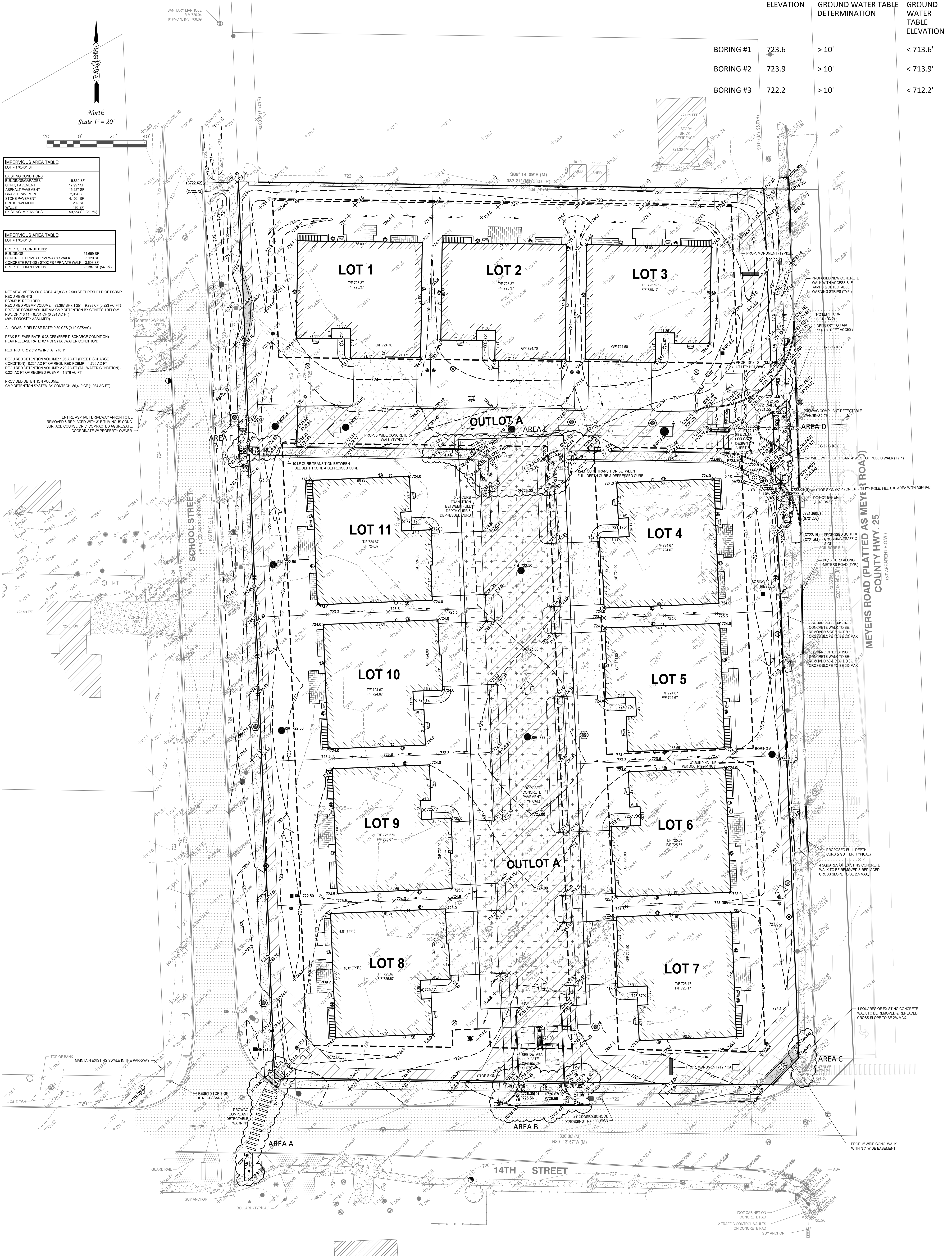
# UTILITY PLAN



# GRADING PLAN

SEASONAL GROUND WATER TABLE DETERMINATION

BORING #1	BORING #2	BORING #3
723.6	723.9	722.2
> 10'	> 10'	> 10'
< 713.6'	< 713.9'	< 712.2'



**IMPERVIOUS AREA TABLE:**  
LOT = 170,401 SF

EXISTING CONDITIONS	AREA (SF)
BUILDINGS/GARAGES	9,880 SF
CONC. PAVEMENT	17,897 SF
ASPHALT PAVEMENT	15,227 SF
GRAVEL PAVEMENT	2,954 SF
STONE PAVEMENT	4,102 SF
BRICK PAVEMENT	209 SF
WALKS	135 SF
<b>EXISTING IMPERVIOUS</b>	<b>50,554 SF (29.7%)</b>

**IMPERVIOUS AREA TABLE:**  
LOT = 170,401 SF

PROPOSED CONDITIONS	AREA (SF)
BUILDINGS	54,659 SF
CONCRETE DRIVE / DRIVEWAYS / WALK	35,120 SF
CONCRETE PATIOS / STOPS / PRIVATE WALK	3,698 SF
<b>PROPOSED IMPERVIOUS</b>	<b>93,477 SF (54.8%)</b>

NET NEW IMPERVIOUS AREA: 42,833 > 2,500 SF THRESHOLD OF PCBMP REQUIREMENTS  
PCBMP IS REQUIRED.  
REQUIRED PCBMP VOLUME = 93,387 SF x 1.25" = 9,724 CF @ 0.224 AC/FT  
PROVIDE PCBMP VOLUME VIA C&P DETENTION BY CONTECH BELOW  
NWL OF 716.14 + 9.781 CF @ 0.224 AC/FT  
(80% POROSITY ASSUMED)

ALLOWABLE RELEASE RATE: 0.39 CFS (0.10 CFS/AC)  
PEAK RELEASE RATE: 0.38 CFS (FREE DISCHARGE CONDITION)  
STEADY STATE RELEASE RATE: 0.14 CFS (TAL WATER CONDITION)  
RESTRICTOR: 2.5" DIAM. W/ IN. AT 716.11

REQUIRED DETENTION VOLUME: 1.95 AC-FT (FREE DISCHARGE CONDITION)  
REQUIRED DETENTION VOLUME: 0.224 AC-FT OF REQUIRED PCBMP + 1.728 AC-FT  
REQUIRED DETENTION VOLUME: 2.20 AC-FT (TAL WATER CONDITION)  
REQUIRED DETENTION VOLUME: 1.97 AC-FT OF REQUIRED PCBMP + 1.97 AC-FT

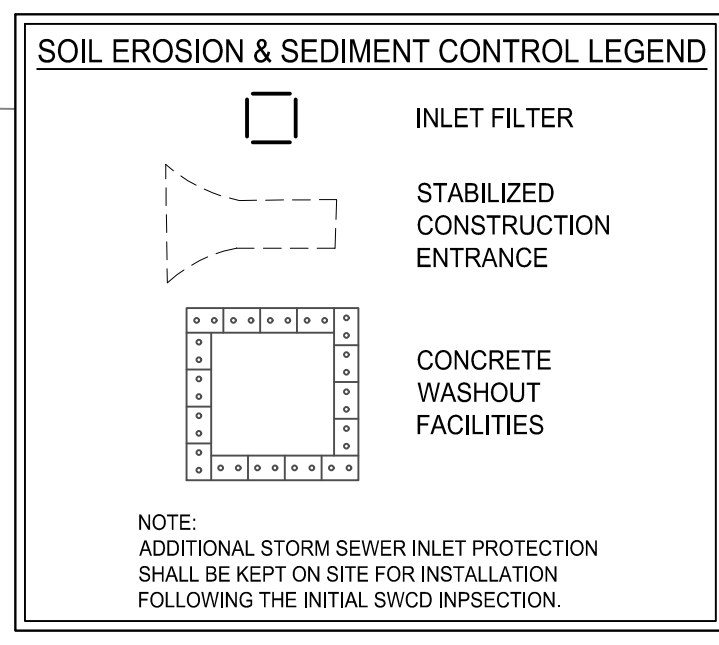
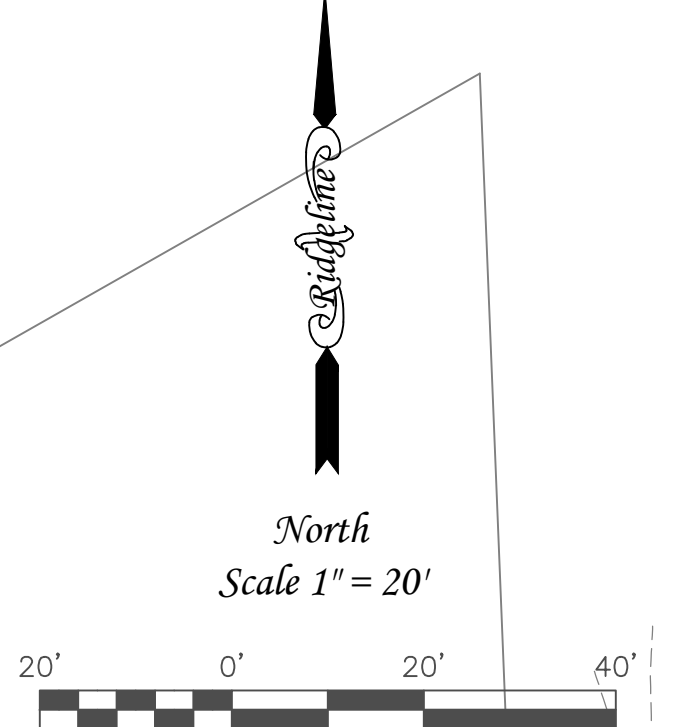
PROVIDED DETENTION VOLUME:  
C&P DETENTION SYSTEM BY CONTECH: 88,419 CF (1.984 AC-FT)

ENTIRE ASPHALT DRIVEWAY APRON TO BE REMOVED & REPLACED WITH 3" BITUMINOUS CONC. SURFACE COURSE ON 6" COMPACTED AGGREGATE. COORDINATE W/ PROPERTY OWNER.

SEE DETAILED VIEW OF AREAS A THROUGH F ON SHEET 9

SHEET <b>5</b> OF <b>16</b>	PREPARED FOR: <b>AFSAR DEVELOPER, LLC</b>	 <p><b>Ridgeline Consultants LLC</b> Micro Professional Design Firm No. 184-004766 1651 Ascott Road, Montgomery, IL 60039 PH: 630.801.7927 FAX: 630.701.1385 Janelle Hsu P.L.S. 4017 Expiration Date 11/30/2025 Sally L. Steiner P.L.S. 3415 Expiration Date 11/30/2025</p>	REVISION	DATE	DESC	REVISION	DATE	DESC	BOOK	DWG. SIZE: E1
	PROPERTY ADDRESS: 1308 - 1320 MEYERS ROAD LOMBARD, ILLINOIS		DATE	DESC	DATE	DESC	REFERENCE:	DATE: 05/23/2025	PROJECT NO:	2023-0528

# EROSION CONTROL PLAN

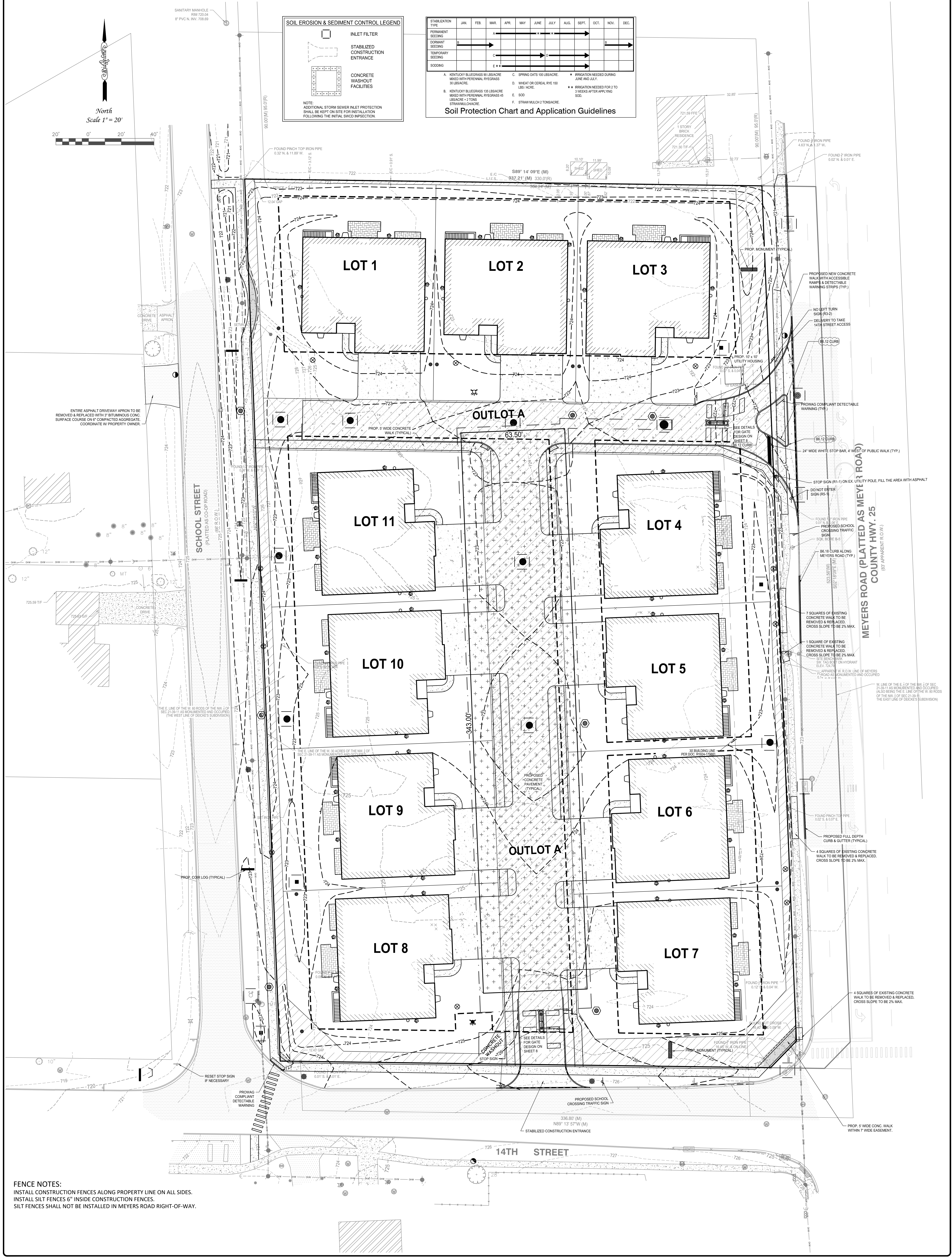


STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING												
TORNAMENT SEEDING												
TEMPORARY SEEDING												
SOODING												

A. KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.  
 B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW/MULCH/ACRE.  
 C. SPRING GRASS 100 LBS/ACRE.  
 D. WHEAT OR CEREAL RYE 100 LBS /ACRE.  
 E. SOO  
 F. STRAW/MULCH 2 TONS/ACRE.

\* IRRIGATION NEEDED DURING JUNE AND JULY.  
 \*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOO.

### Soil Protection Chart and Application Guidelines



**FENCE NOTES:**  
 INSTALL CONSTRUCTION FENCES ALONG PROPERTY LINE ON ALL SIDES.  
 INSTALL SILT FENCES 6" INSIDE CONSTRUCTION FENCES.  
 SILT FENCES SHALL NOT BE INSTALLED IN MEYERS ROAD RIGHT-OF-WAY.

SHEET <b>6</b>	PREPARED FOR <b>AFSAR DEVELOPER, LLC</b>
OF <b>16</b>	PROPERTY ADDRESS <b>1308 - 1320 MEYERS ROAD LOMBARD, ILLINOIS</b>

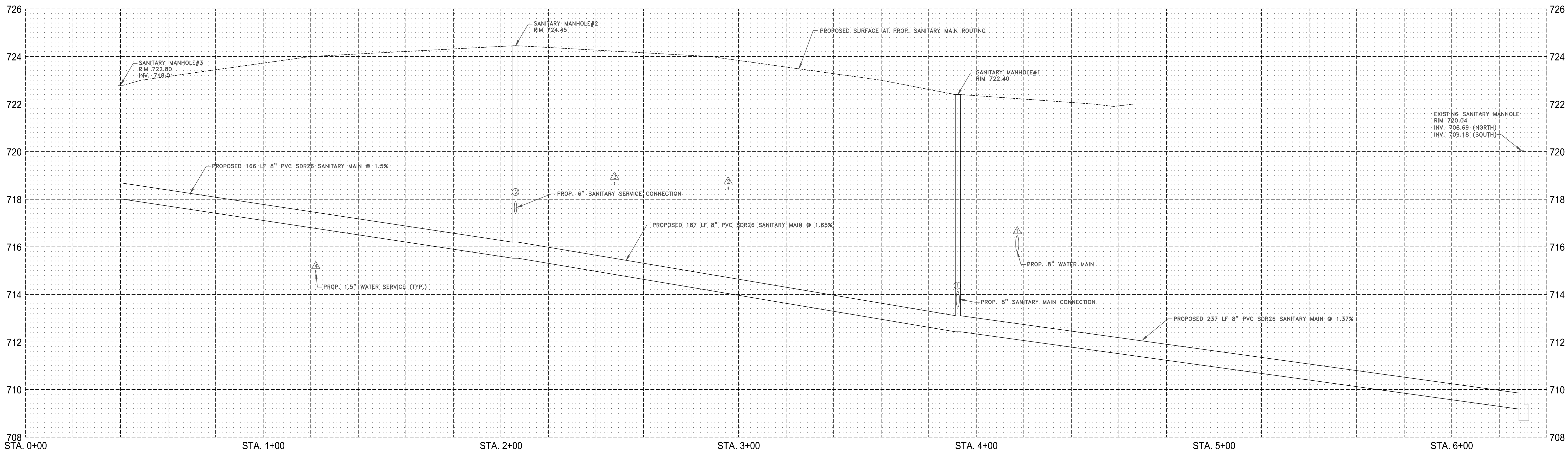


<b>Ridgeline Consultants LLC</b> Illinois Professional Design Firm No. 184-004766 1651 Ascott Road, Montgomery, IL 60039 PH: 630.801.7927 FAX: 630.701.1388 Jullien@rci.pls.us 40171 Expires 11/03/2028 Stacy L. Stewart P.L.S. 3415 Expires 11/03/2028	
--	--

REVISION	DATE	DESC	REVISION	DATE	DESC	BOOK	DWG. SIZE: E1

DNWVN, REW	CHECKED: JDL
DATE: 05/23/2025	
PROJECT NO:	2023-0528





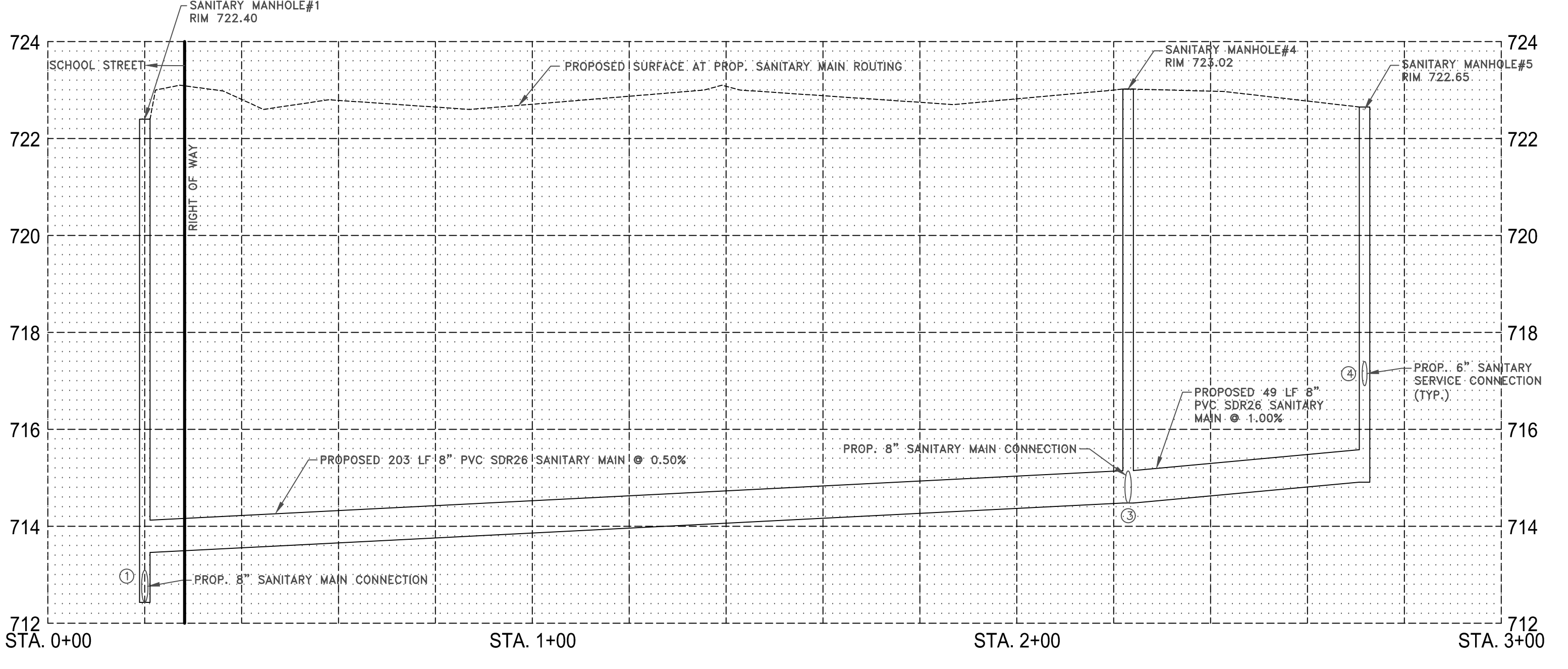
**○ SANITARY**

- INV. 713.46 (EAST)  
INV. 712.43 (SOUTH & NORTH)
- INV. 715.52 (NORTH & SOUTH)  
INV. 717.40 (EAST)

**△ UTILITY CROSSING**

- INV. WATER MAIN 715.8±  
TOP SANITARY MAIN 712.9±
- INV. WATER SERVICE 718.4±  
TOP SANITARY MAIN 714.7±
- INV. WATER SERVICE 718.6±  
TOP SANITARY MAIN 715.5±
- INV. SANITARY MAIN 718.8±  
TOP WATER SERVICE 715.3±

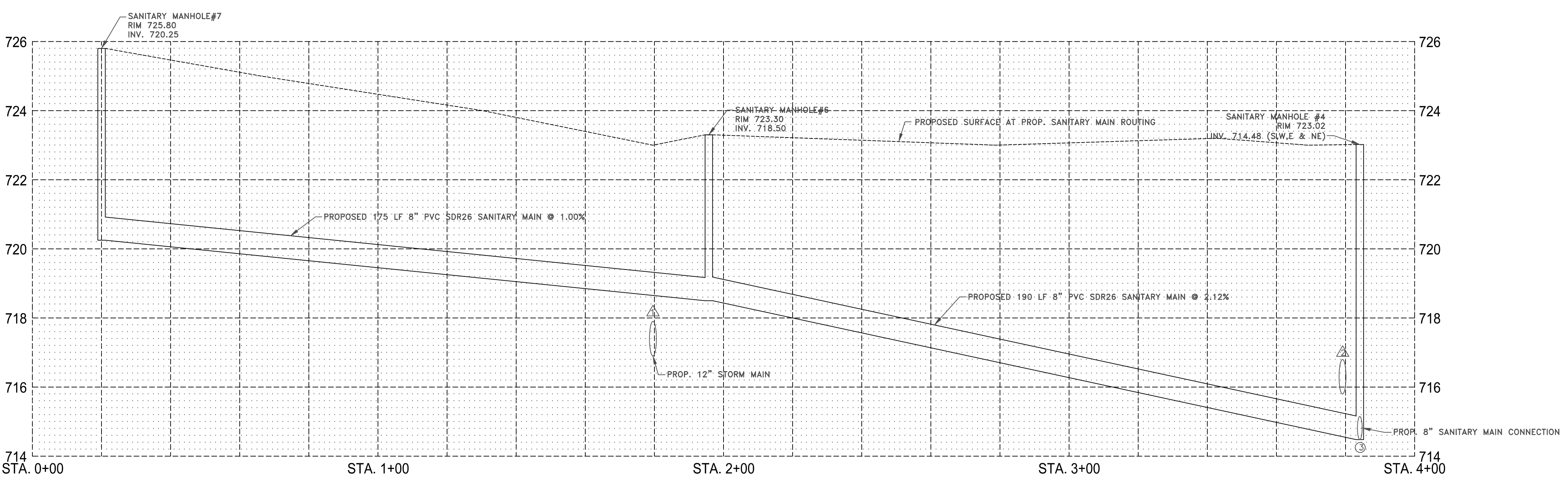
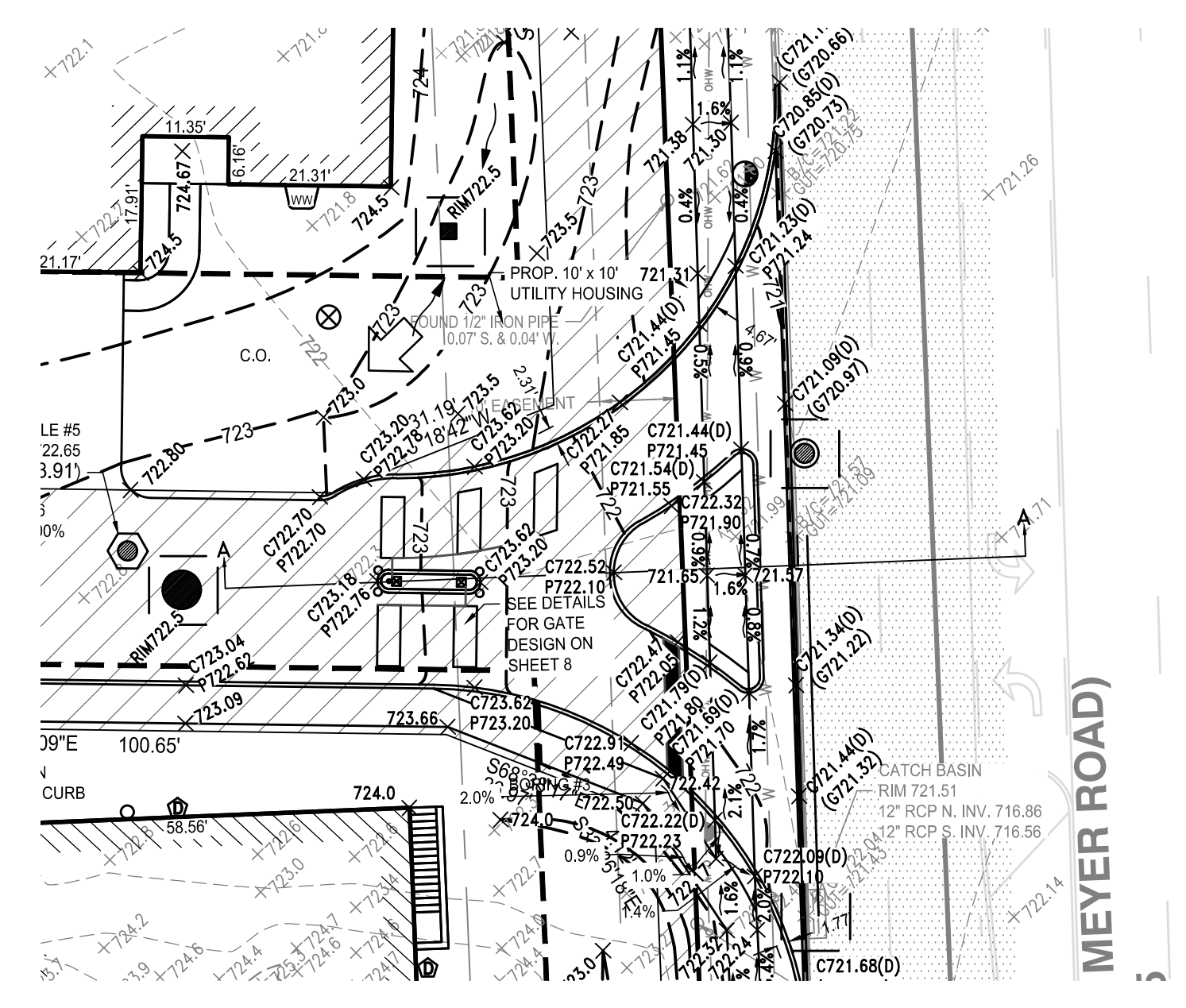
H: 1" = 20'  
V: 1" = 2'



**○ SANITARY**

- INV. 713.46 (EAST)  
INV. 712.43 (SOUTH & NORTH)
- INV. 714.48 (S.W.E & NE)
- INV. 714.97 (W)  
INV. 716.90 (N)

H: 1" = 20'  
V: 1" = 2'



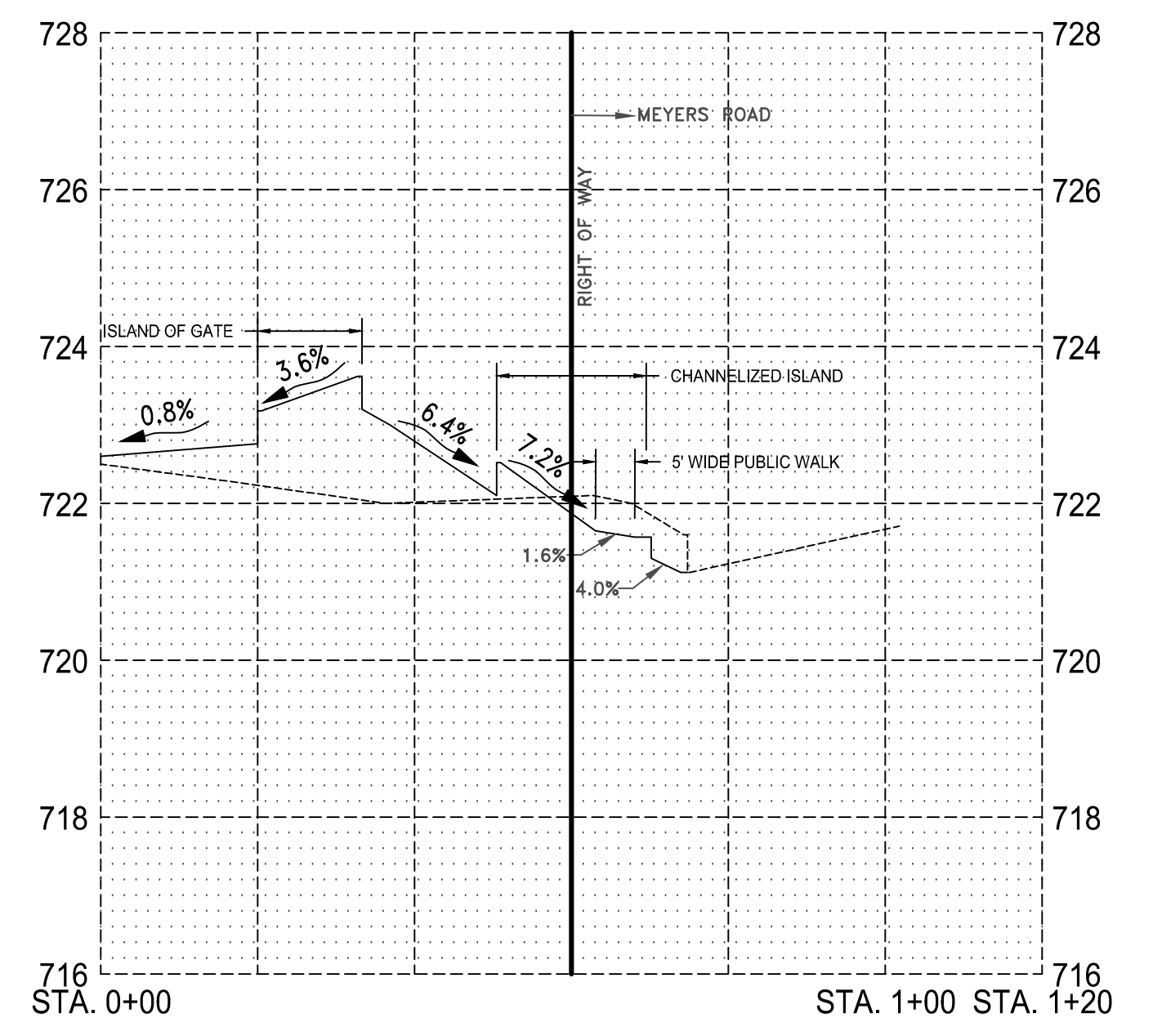
**○ SANITARY**

- INV. 714.48 (S.W.E & NE)

**△ UTILITY CROSSING**

- INV. SANITARY MAIN 718.7±  
TOP STORM 717.9±
- INV. STORM MAIN 715.8±  
TOP SANITARY MAIN 715.2±

H: 1" = 20'  
V: 1" = 2'



SECTION A-A  
(PROFILE OF DRIVEWAY ACCESSING MEYERS ROAD)

# DRIVEWAY ACCESSING MEYERS ROAD & SANITARY MAIN PROFILES

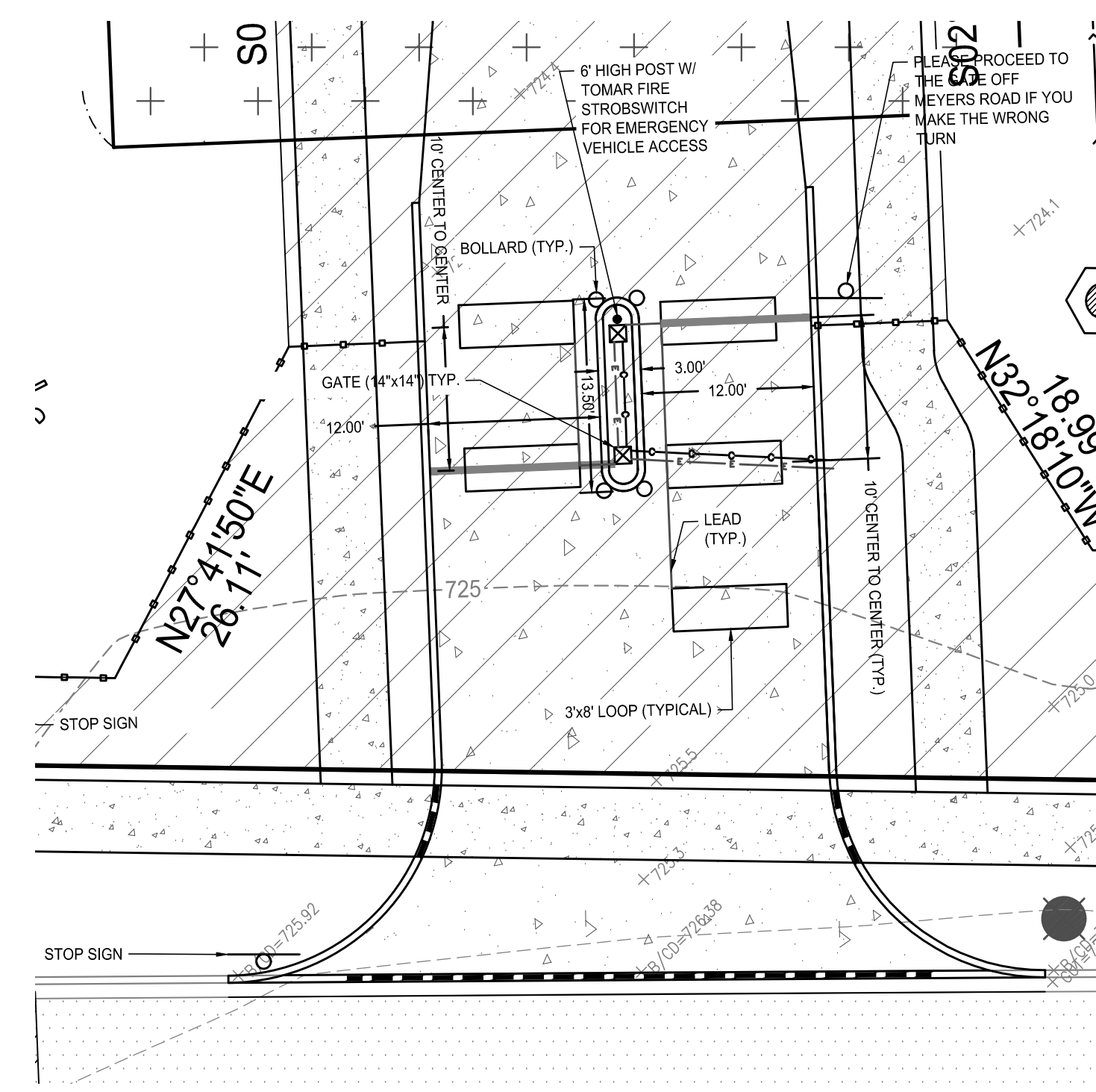
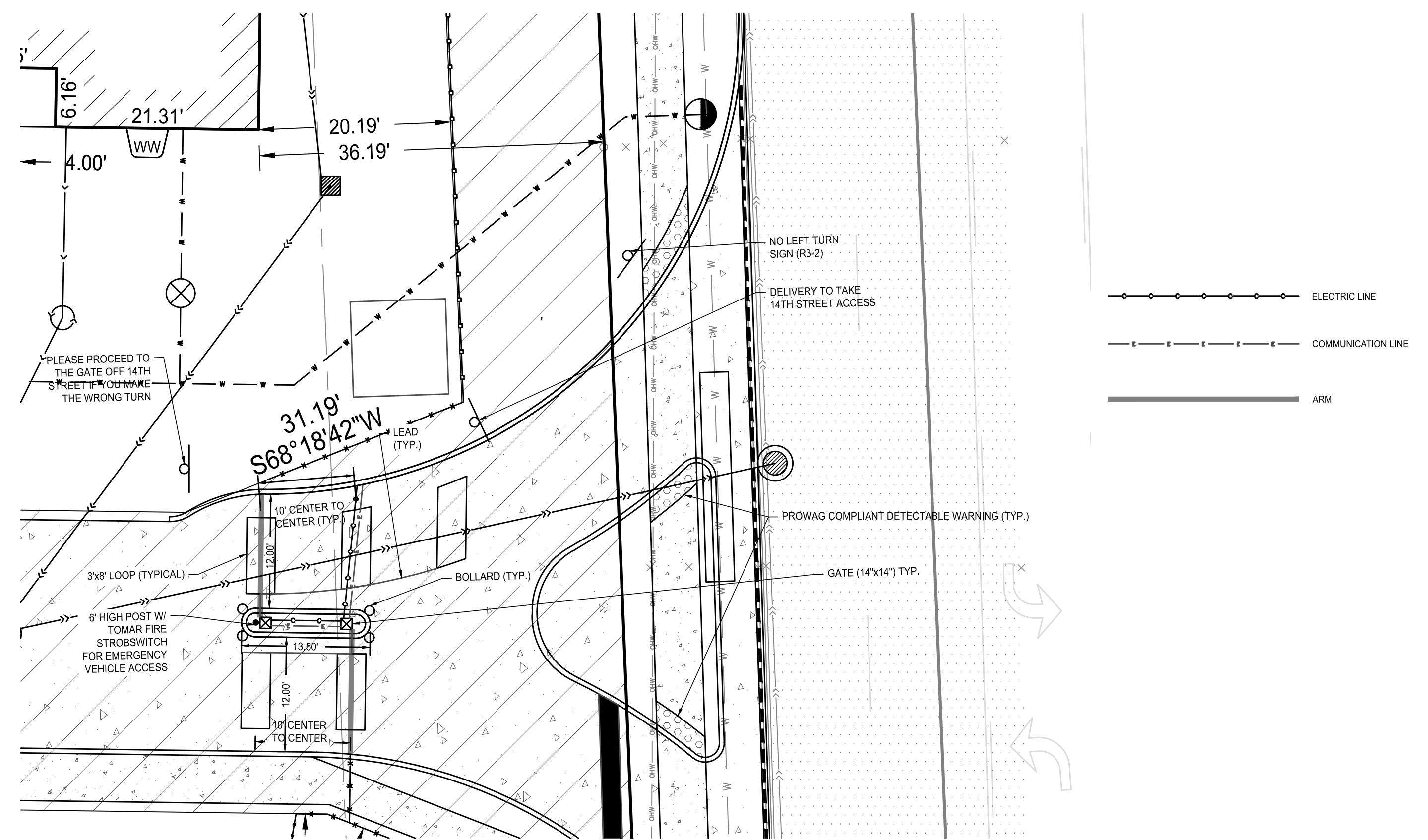
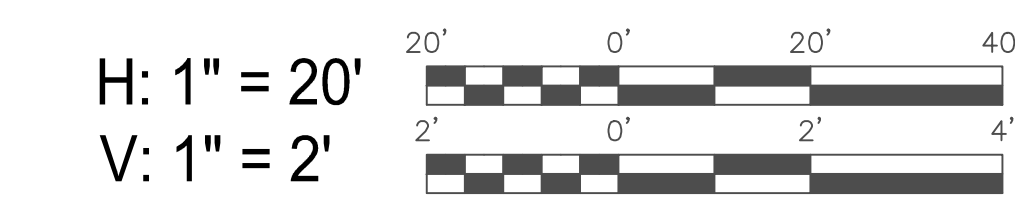
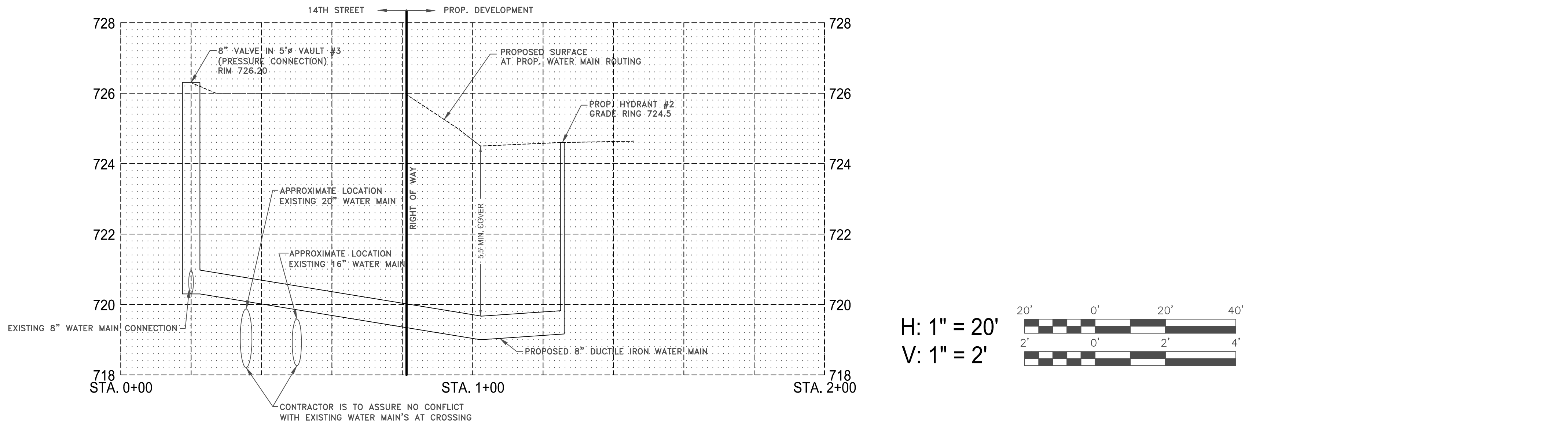
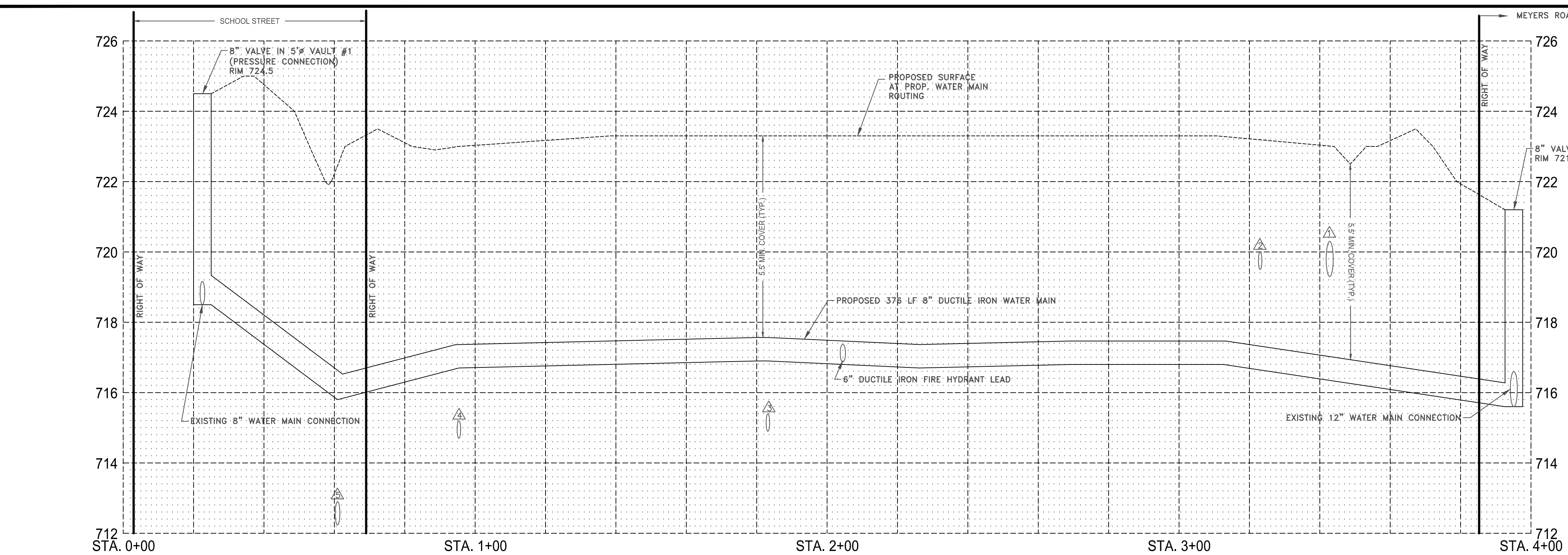
DATE	DESIGN	DATE	DESIGN	DATE	DESIGN
DATE	DESIGN	DATE	DESIGN	DATE	DESIGN

PROJECT NO. 2023-0628
 DATE: 09/20/23

**Ridgeline Consultants LLC**  
 1308 - 1320 MEYERS ROAD  
 LOMBARD, ILLINOIS

**AFSAR DEVELOPER, LLC**  
 1308 - 1320 MEYERS ROAD  
 LOMBARD, ILLINOIS

SHEET 7 OF 16



- GATE DESIGN FEATURES (APPLICABLE TO BOTH GATES OFF MEYERS RD. & 14<sup>TH</sup> STREET)**
1. GATE REQUIRES NO CODE/TRANSPONDER. IT ALWAYS OPENS.
  2. GATE OPENS BY THE TIME A CAR ARRIVES VIA 3 LOOP DETECTORS.
  3. GATE WILL NOT CLOSE IF SECOND CAR IS DETECTED.
  4. BATTERY BACK-UP, AUTOMATIC OPEN WHEN POWER OUTAGE.
  5. GATE AUTOMATIC OPENS FOR FIRST RESPONDERS WITH TOMAR FIRE STROBESWITCH.
  6. INFORMATION SIGNS AT MEYERS RD ENTRANCE DIRECTING "DELIVERY TO TAKE 14<sup>TH</sup> STREET ACCESS" AND "PLEASE PROCEED TO THE GATE OFF 14<sup>TH</sup> STREET IF YOU MAKE A WRONG TURN".

## StrongArmPark DC

Parking Barrier Arm Operator

Ultra Reliable/Low maintenance • Millions of cycles • UPS standard • Field configurable

**Is your barrier arm operator this Smart?**  
Thousand plus cycles after AC power loss\*

**Extremely low maintenance** and minimal down time

**Easy to configure** numerous functions including parking specific options

**Intelligent charging system** monitors battery condition to maximize battery life

**Sensitive auto rebound** feature greatly reduces possibility of injury or vehicle damage

**Multi-Family Residential**

**Commercial**

**Corporate**

**Advanced HyProtect™ breakaway arm mount**  
Every StrongArmPark DC™ operator includes an advanced HyProtect breakaway arm mount, which reduces the cost of arm replacement due to a vehicle strike. The HyProtect breakaway arm mount adapts easily to typical aftermarket arms such as 1 x 4 inch wood or 2.5 inch square PVC.

**HySecurity barrier arms:**

- Aluminum arms available in standard lengths of 6, 10, 12 and 14 ft. (2.4, 3, 3.7 and 4.3 m) with LED lighting and bumper
- Articulating arms with bumper, ideal for low clearance garages. Available in 8 ft clear/10 ft extended (2.4 m/3 m) or 9 ft clear/11 ft extended (2.7 m/3.4 m)

Visit [www.hysecurity.com](http://www.hysecurity.com)  
For specifications, tech support, pictures and email subscriptions

**HySecurity**  
Simple. Reliable. Secure.  
1-800-321-9947 • [www.hysecurity.com](http://www.hysecurity.com)

### Highest Customer Satisfaction

Distributed by **Smart Barrier Arm**  
See the latest from HySecurity at [www.hysecurity.com](http://www.hysecurity.com)

**HySecurity operators** secure the world's critical infrastructure and key assets where ultimate reliability is vital. **StrongArmPark DC** delivers that same uncompromising quality to commercial customers, where ease of use, consistent operation, low maintenance, long life and high reliability is expected.

**For easy integration into parking systems,** HySecurity offers a number of parking related relay options including an HyRelay™ which adds eight output relays to the Smart DC Controller.

**HySecurity strives for simplicity.** Easy to install. Easy to configure. Easy to maintain. Easy to troubleshoot and repair. Your StrongArmPark DC barrier arm is built to last.

**TROUBLESHOOT AND PROGRAM USING SMART DC CONTROLLER AND S.T.A.R.T.**  
(Smart Touch Analyze & Retrieve Tool)

- Simplifies installation
- Configures gate operation to exact user needs quickly and easily
- Communicates in real time and stores faults in a date and time stamped log
- Simple, quick and inexpensive troubleshooting

**Easily configure the operator** with 5 tact buttons and a 32 character display. Faults flash on the display accompanied by an audio sequence which alerts owner. For the ultimate in security, faults can also be communicated in real time to the command and control network system. The 300 event fault log can be downloaded to a laptop computer to easily troubleshoot random events that appeared days in the past.

**OPTIONAL ACCESSORIES:**

- HyRelay™ - extended relay module provides eight additional programmable relay outputs
- HYSA intelligent vehicle detectors
- Photo eye

Compatible with most access control, safety, vehicle detection and other accessories.

**SYSTEM DESIGN SUPPORT:** Contact HySecurity for CAD drawings, installation information, technical manuals, help with custom site requirements or other support. Visit [www.hysecurity.com](http://www.hysecurity.com) or call to speak with a HySecurity representative today.

Standard	StrongArmPark DC 10	StrongArmPark DC 14
<b>Solar</b>	StrongArmPark DCs 10	StrongArmPark DCs 14
<b>Arm Length Max.</b>	up to 10 ft (3 m)	10 ft (3 m) or 14 ft (4.3 m)
<b>Field Adjustable Open/Close Time</b>	3 speeds: 1.5/2/3 seconds	3 speeds: 2.5/3/5 seconds
<b>Handing</b>	Left handing standard. Easy to convert to right handing in field.	Left handing standard. Right handing available.
<b>Arm Design</b>	Custom aluminum	Custom aluminum
<b>Duty Cycle</b>	Continuous	Continuous
<b>Uninterrupted Power Supply*</b>	Two 12V 8Ah batteries. Operates for 15 minutes plus cycle after AC power loss. Field configurable to full open or secure when batteries deplete.	Two 12V 8Ah batteries. Operates for 15 minutes plus cycle after AC power loss. Field configurable to full open or secure when batteries deplete.
<b>Voltage Input</b>	115VAC, 3A, 50/60 Hz, 208/230VAC, 1.5A, 50/60 Hz	115V AC, 3A, 50/60 Hz, 208/230VAC, 1.5A, 50/60 Hz
<b>Accessory Power</b>	12VDC and 24VDC 1A each	12VDC and 24VDC 1A each
<b>Temperature Rating</b>	-13° F to 158° F (-20° C to 70° C) No heater necessary.	-13° F to 158° F (-20° C to 70° C) No heater necessary.
<b>Communication</b>	USB, RS-232, RS-485	USB, RS-232, RS-485
<b>User Controls</b>	Smart DC Controller with 70+ configurable settings, 32 character LCD display and 5 tact buttons or a PC using S.T.A.R.T. software.	Smart DC Controller with 70+ configurable settings, 32 character LCD display and 5 tact buttons or a PC using S.T.A.R.T. software.
<b>Relays</b>	Two configurable relay outputs: 30VDC, 3A solid state and 240VAC, 10A electromechanical, HyRelay option.	Two configurable relay outputs: 30VDC, 3A solid state and 240VAC, 10A electromechanical, HyRelay option.
<b>ETL Listed (UL 325)</b>	UL94 V-0, I, II, IV	UL94 V-0, I, II, IV
<b>Cycle Tested</b>	2 million cycles	2 million cycles
<b>Warranty</b>	2 years	2 years

\* Actual UPS cycles depend on accessory power drain, frequency of cycles, battery health, ambient temperature and other conditions.

**HySecurity** Simple. Reliable. Secure.  
Contact HySecurity for an operator/parts distributor near you.  
phone: 800-321-9947 | 253-867-3700 fax: 888-321-9946  
[www.hysecurity.com](http://www.hysecurity.com) • [info@hysecurity.com](mailto:info@hysecurity.com)

Intertek  
D0590132814

# WATER MAIN PROFILES & GATE DESIGN

DATE: 06/22/2015  
PROJECT NO.: 2023-0628

REVISION: DATE: 06/22/2015  
DATE: 06/22/2015

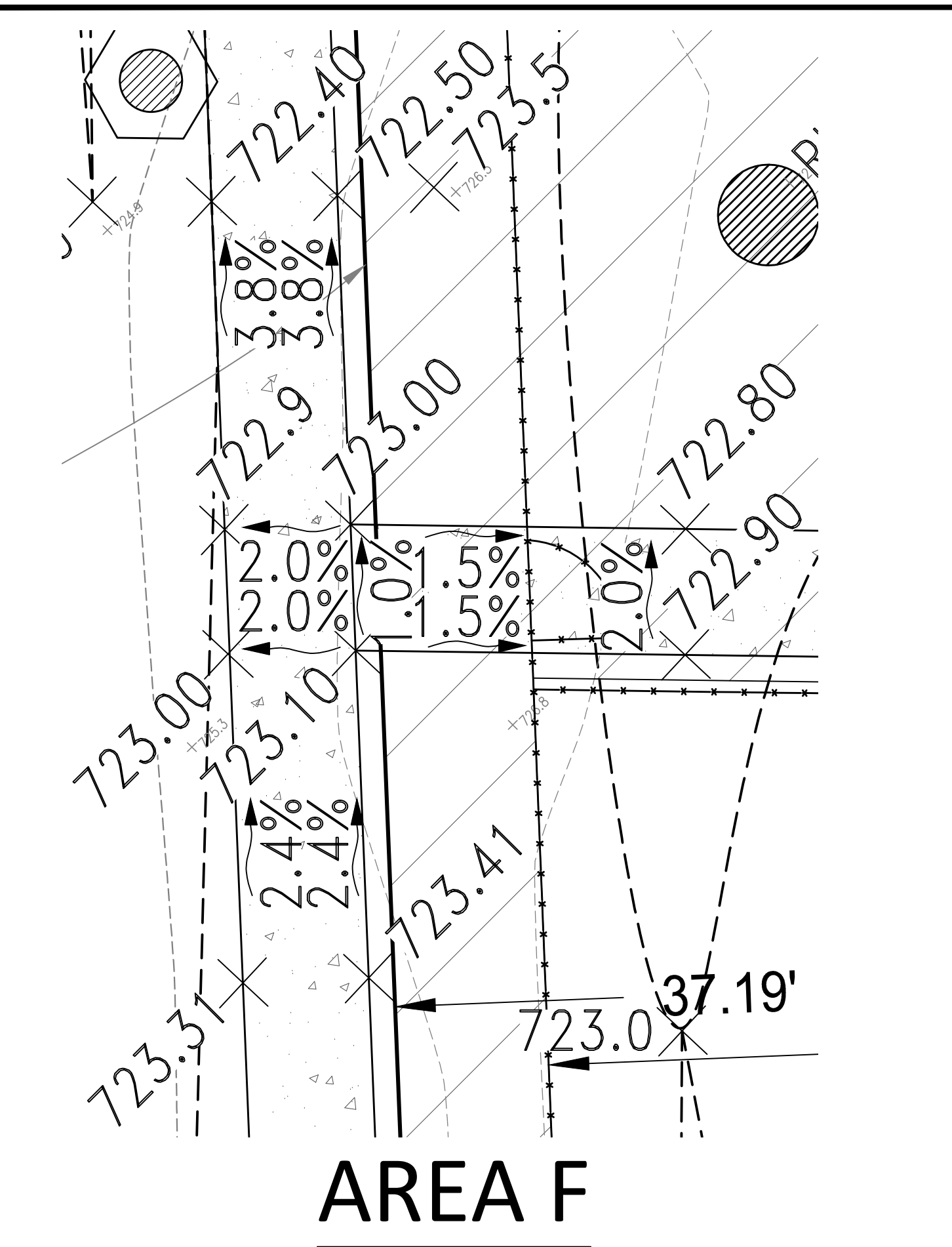
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DATE: 06/22/2015

PROJECT NO.: 2023-0628

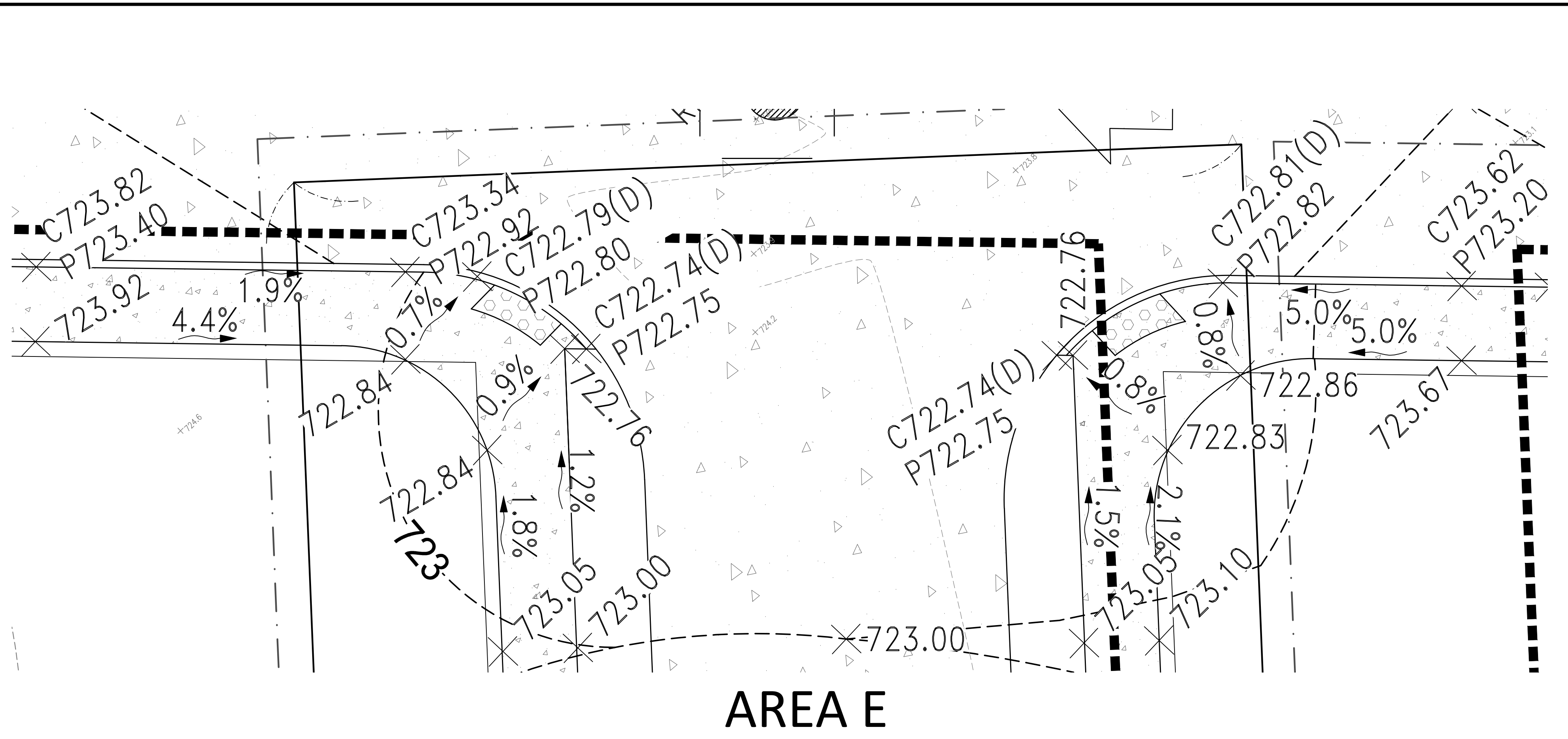
**Ridgeline Consultants LLC**  
1000 W. Park Road, Suite 100, Lombard, IL 60148  
PH: 630.807.2977 • FAX: 630.707.1888  
www.ridgeline.com  
Shirley L. Shaver P.E., S.H.S. Expires Date: 11/30/2026

**AFSAR DEVELOPER, LLC**  
1309 - 1320 MEYERS ROAD  
LOMBARD, ILLINOIS

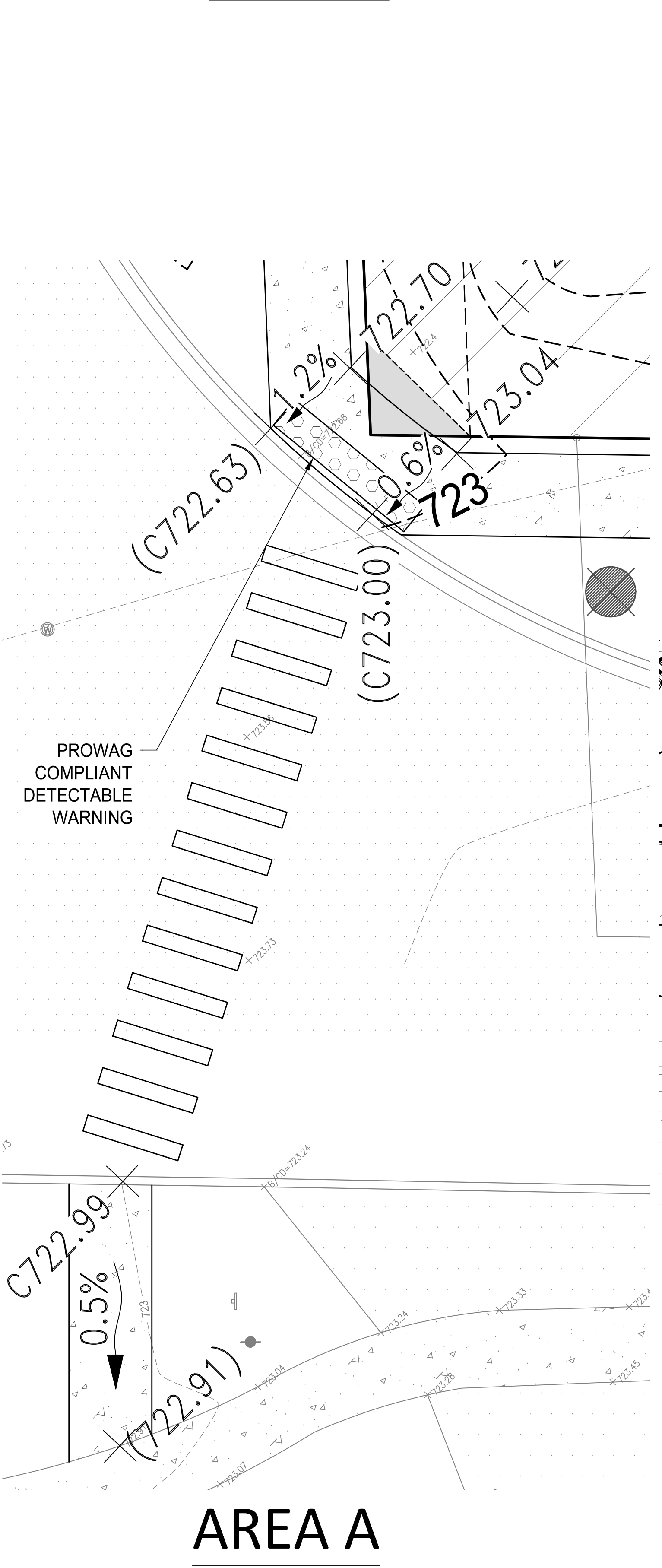
SHEET 8 OF 16



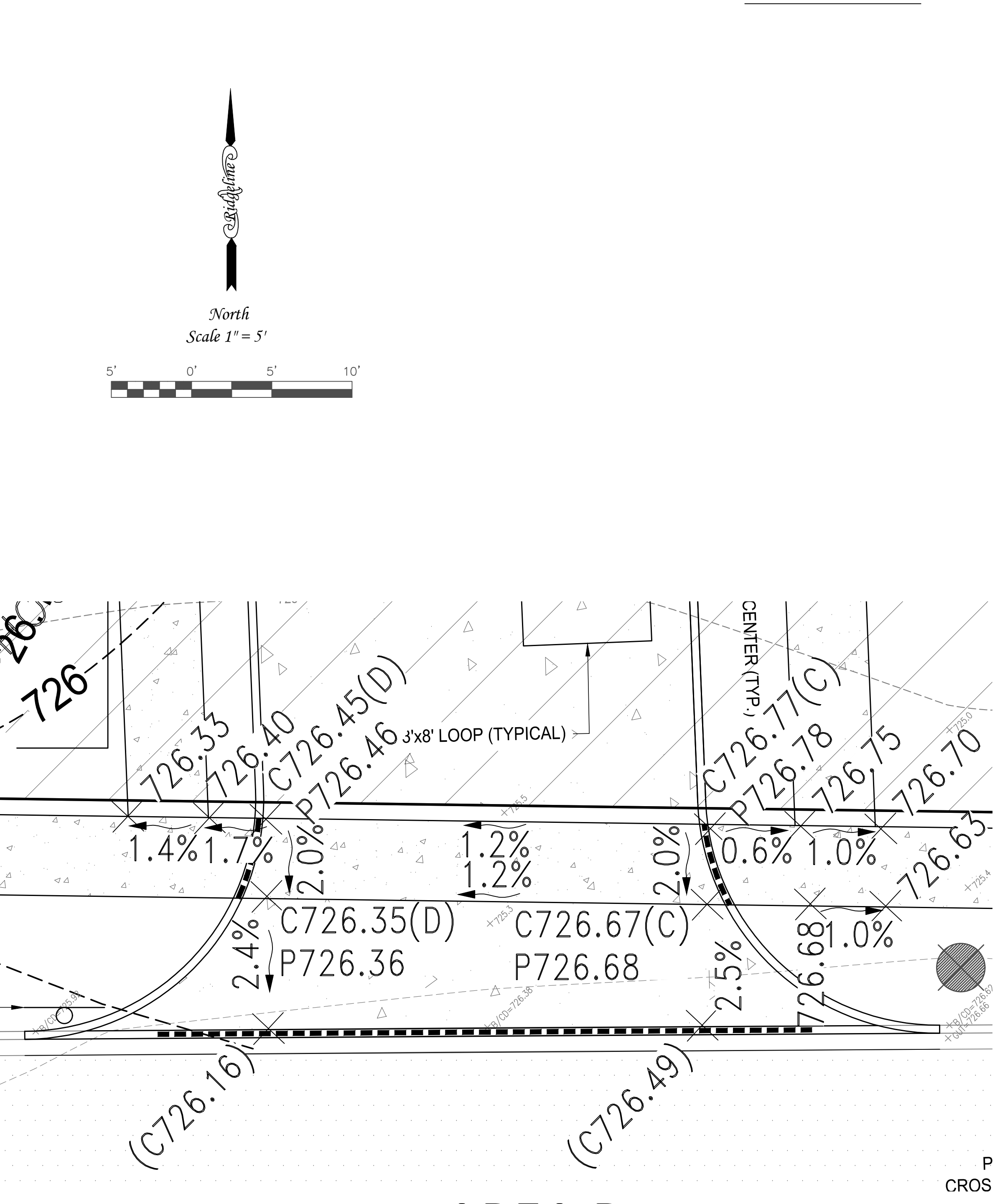
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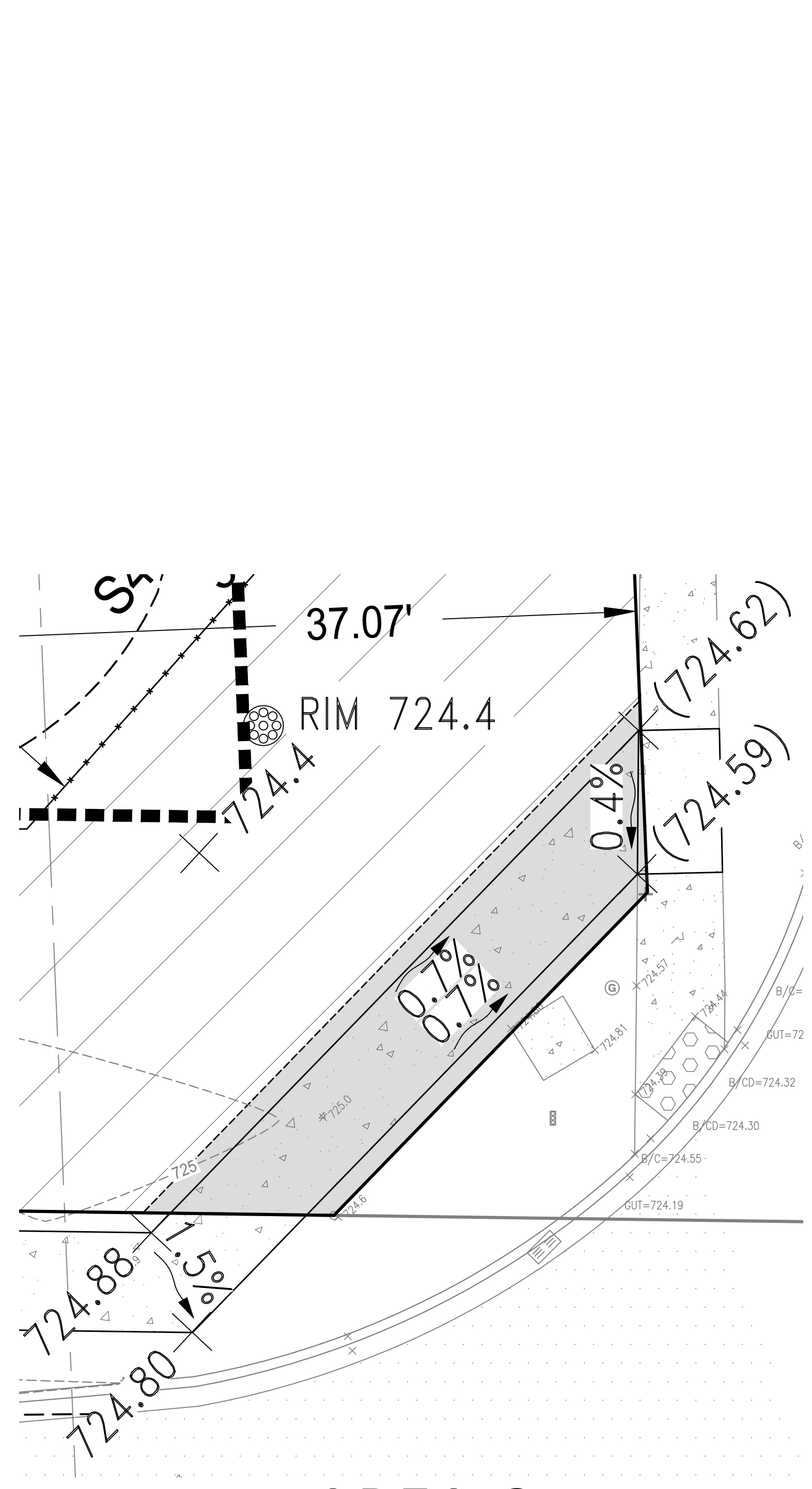
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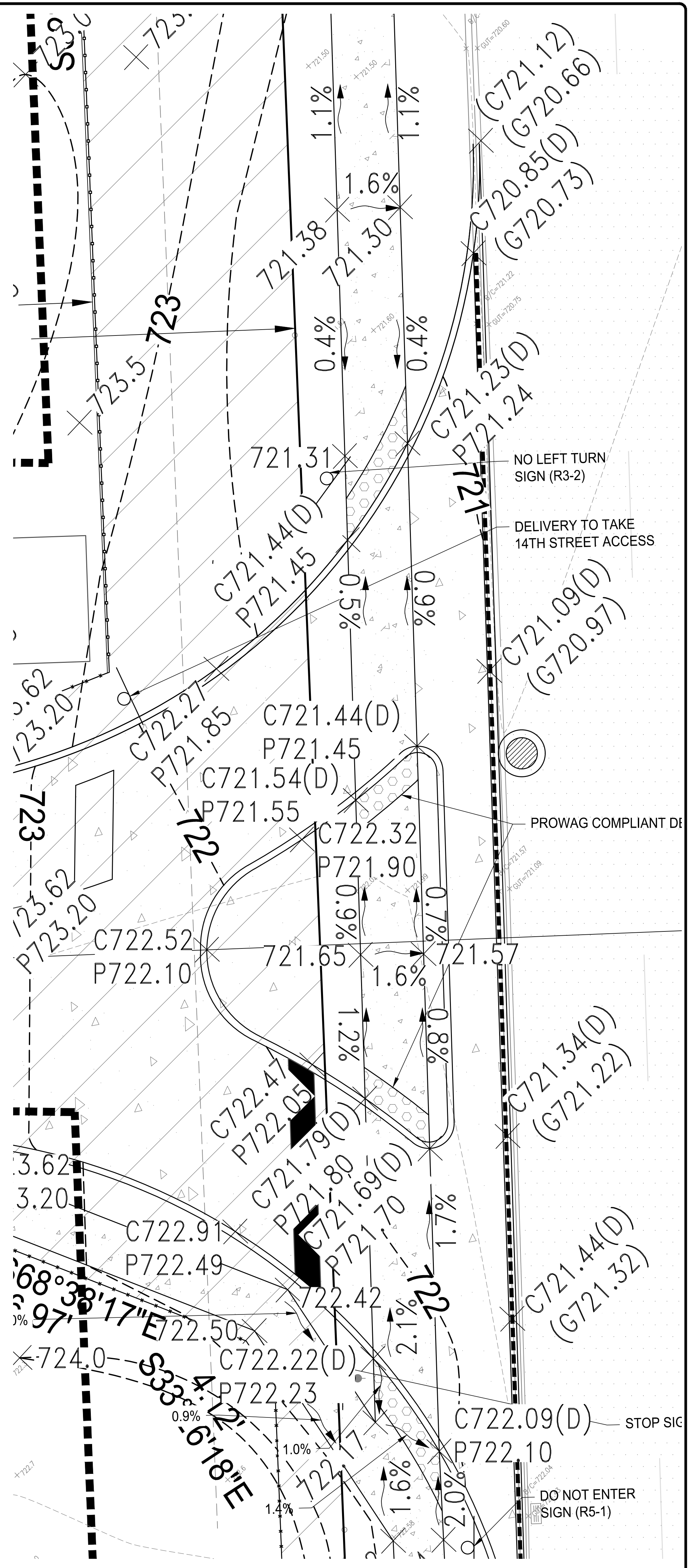
**AREA A**



**AREA B**



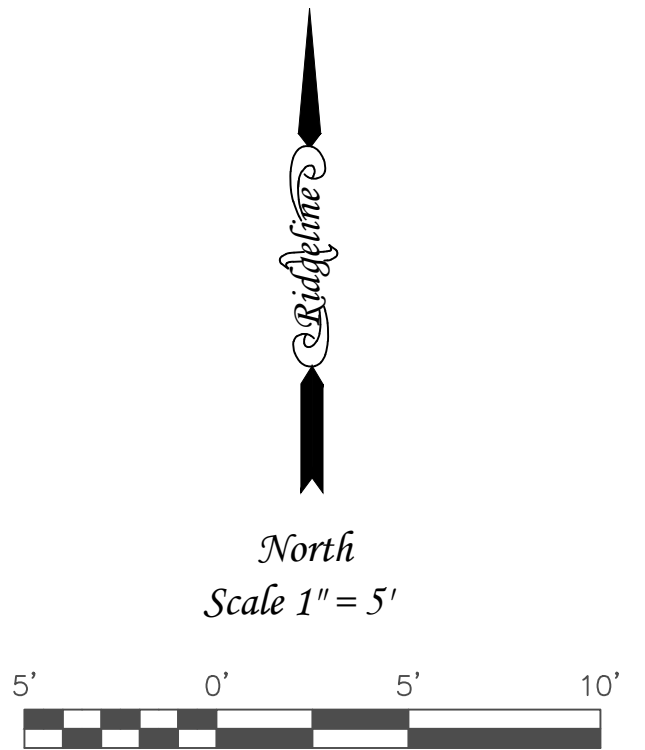
**AREA C**



**AREA D**

NOTE: "RED" WARNING DEVICES ARE REQUIRED IN COUNTY RIGHT-OF-WAY EDGE TO EDGE OF PAVEMENT OR WALK

# HANDICAP ACCESSIBILITY DETAILS



NO.	REVISION	DATE	BY

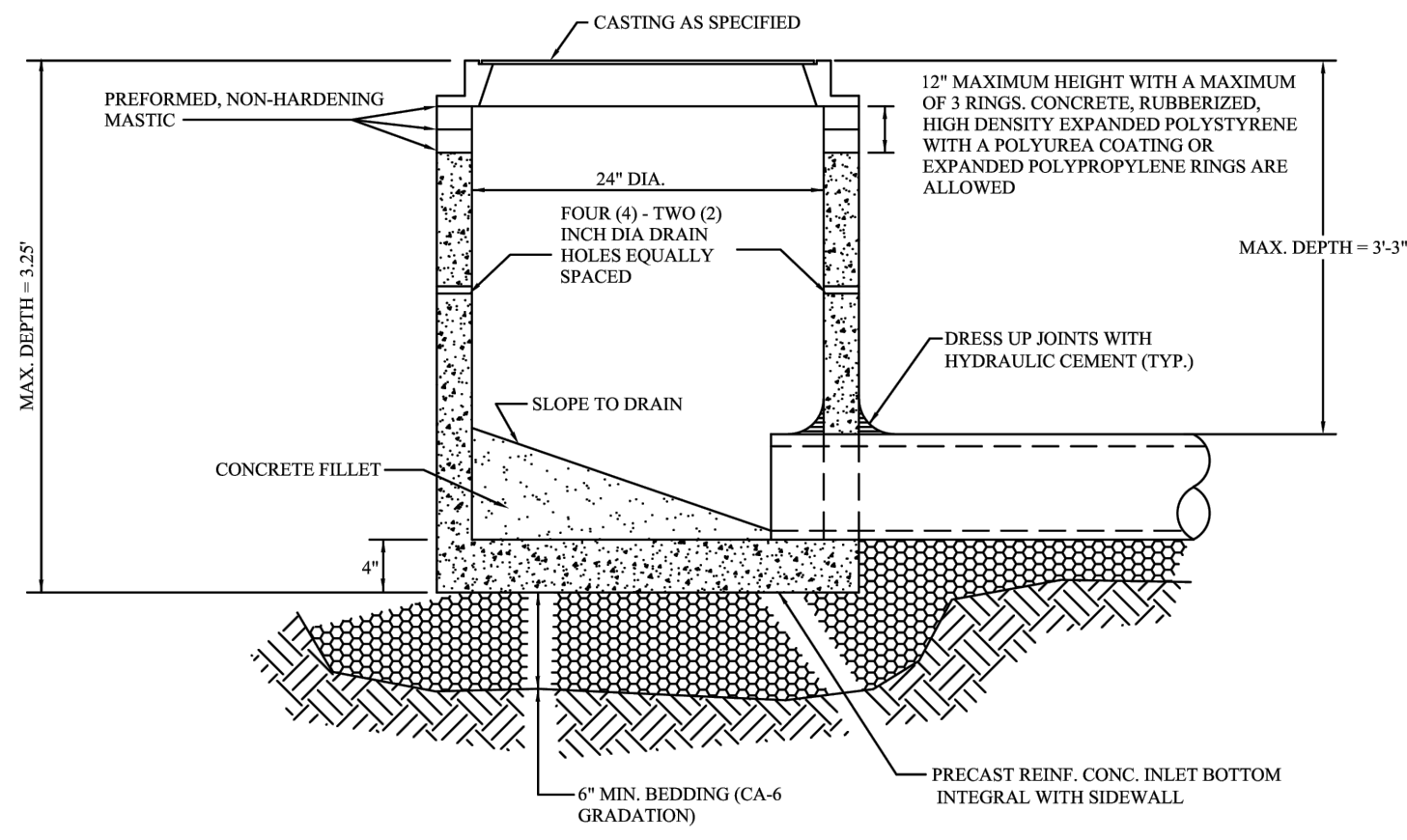
  

DATE: 09/29/2023	PROJECT NO: 2023-0528
DATE: 09/29/2023	PROJECT NO: 2023-0528

**Ridgeline Consultants LLC**  
1000 West 120th Street, Suite 200  
Chicago, IL 60642  
PH: (847) 277-7000 FAX: (847) 1388-0000  
www.ridgeline.com

**AFSAR DEVELOPER, LLC**  
1308 - 1320 METERS ROAD  
LOMBARD, ILLINOIS

SHEET 9 OF 16

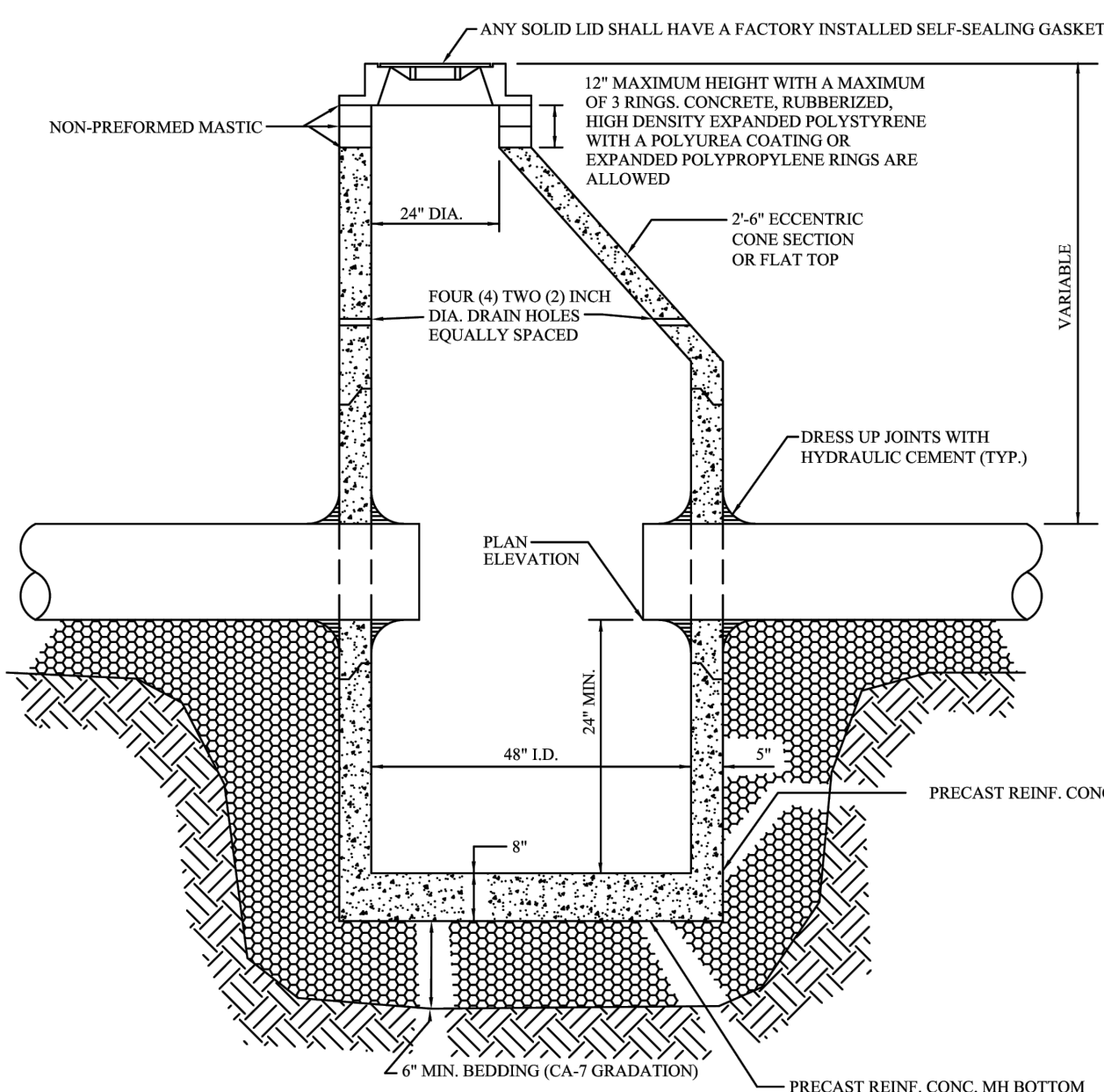


**GENERAL NOTES:**

- ONLY PRECAST REINFORCED CONCRETE BARREL AND RISER SECTIONS ARE ALLOWED.
- PROVIDE GRANULAR BACKFILL AROUND THE INLET TO SUBGRADE ELEVATIONS IN PAVED AREAS. MATERIAL SHALL MEET THE REQUIREMENTS OF IDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" FOR COARSE AGGREGATE CA-6 GRADATION.
- WHEN THE FRAME DOES NOT MEET THE PROPOSED ELEVATION, ADJUSTING RINGS SHALL BE USED FOR FINAL ADJUSTMENT. A MAXIMUM OF THREE (3) ADJUSTING RINGS MAY BE USED TO A MAXIMUM HEIGHT OF TWELVE (12) INCHES. CONCRETE, RUBBERIZED, HIGH DENSITY EXPANDED POLYSTYRENE WITH A POLYUREA COATING OR EXPANDED POLYPROPYLENE RINGS MAY BE USED (ALL RINGS MUST BE IDOT APPROVED). CONCRETE RINGS MAY BE NO LESS THAN THREE (3) INCHES THICK. EACH RING SHALL BE SEALED UNDERNEATH THE FRAME PER THE PRODUCT MANUFACTURERS SPECIFICATIONS WITH THE APPROVAL OF THE ENGINEER.
- PRECAST ADJUSTING RINGS SHALL BE REINFORCED WITH NO. 3 GAUGE WIRE AND SHALL HAVE A MINIMUM THICKNESS OF THREE (3) INCHES.
- MORTAR SHALL NOT BE USED TO DRESS UP ADJUSTING RINGS AND/OR FRAME.
- IN PAVED AREAS, DRAIN HOLES/WEEP HOLES SHALL BE COVERED WITH FILTER FABRIC. FILTER FABRIC SHALL BE SECURED TO THE OUTSIDE OF THE STRUCTURE PRIOR TO BACKFILLING.
- IN GRASSED AREAS, DRAIN HOLES/WEEP HOLES SHALL BE PLUGGED WITH HYDRAULIC CEMENT.
- IF AN IDOT TYPE 8 GRATE CASTING IS SPECIFIED, NO MASTIC SHALL BE ALLOWED BETWEEN THE FRAME AND THE TOP RING OR STRUCTURE. A MINIMUM OF ONE RUBBER RING 1/4 INCH THICKNESS SHALL BE PLACED BETWEEN THE FRAME AND THE TOP RING OR STRUCTURE. ALL EXCESS MATERIAL EXTENDING BEYOND THE EDGE OF THE GRATE SHALL BE TRIMMED FLUSH.

REV.:	REV.:	VILLAGE OF LOMBARD
TEG	02-02-2024	
DATE:	02-16-1998	
DRAWN BY: VJGL		STORM 2

**INLET TYPE A**

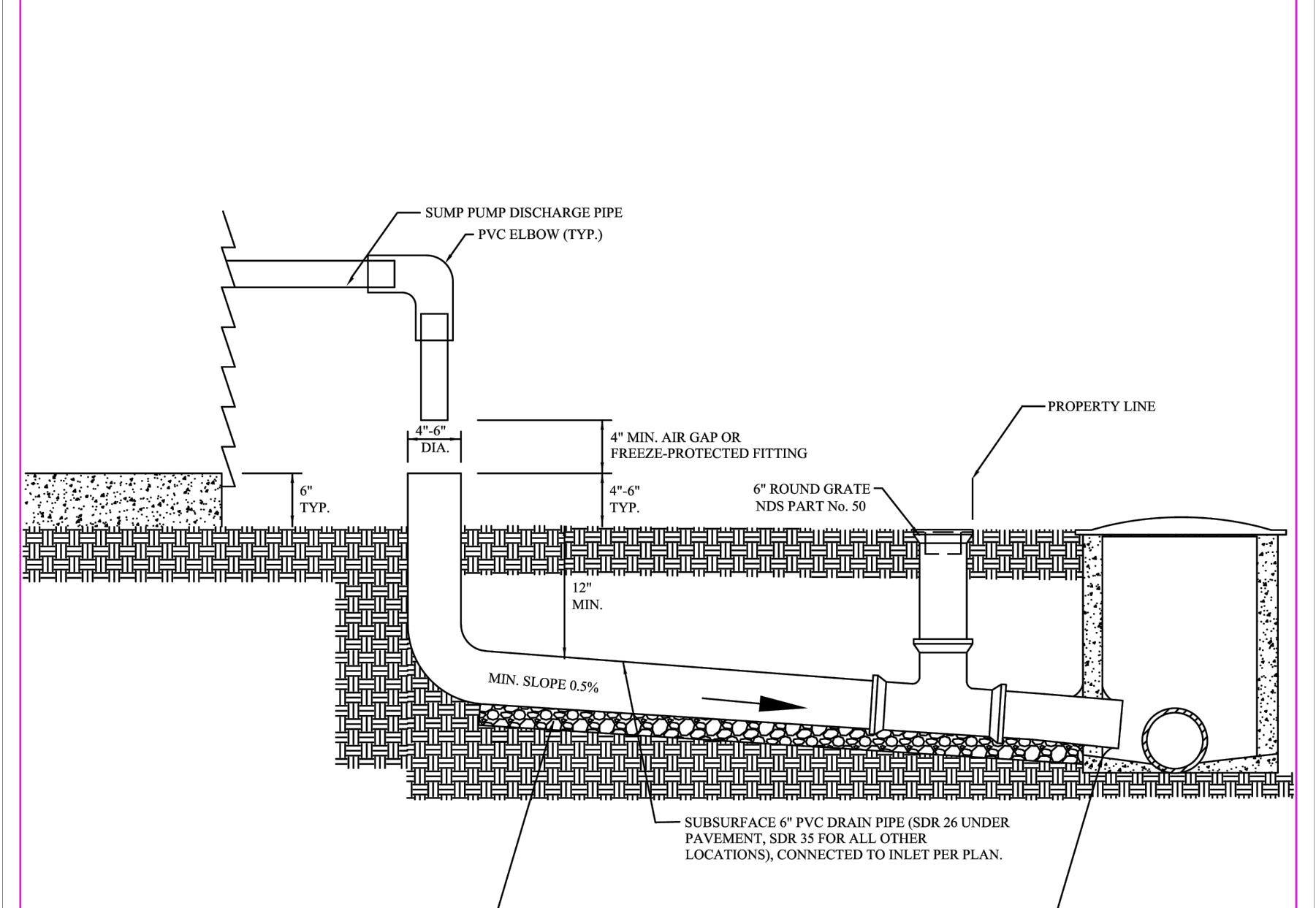


**GENERAL NOTES:**

- ONLY PRECAST REINFORCED CONCRETE BARREL AND RISER SECTIONS ARE ALLOWED.
- PROVIDE GRANULAR BACKFILL AROUND THE MANHOLE TO SUBGRADE ELEVATION IN PAVED AREAS. MATERIAL SHALL MEET THE REQUIREMENTS OF IDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" FOR COARSE AGGREGATE CA-6 GRADATION.
- APPLY A CONTINUOUS LAYER OF NON-HARDENING PREFORMED BITUMINOUS MASTIC MATERIAL (RU 106 RUB-R-SIK BY HENRY, EZ-STICK BY PRESS-SEAL CORPORATION OR AN APPROVED SUBSTITUTION) TO EACH JOINT BELOW THE BOTTOM OF THE CONE OR FLAT TOP.
- WHEN THE FRAME DOES NOT MEET PROPOSED ELEVATION, ADJUSTING RINGS SHALL BE USED FOR FINAL ADJUSTMENT. A MAXIMUM OF 3 ADJUSTING RINGS MAY BE USED UP TO A MAXIMUM HEIGHT OF 12 INCHES. CONCRETE, RUBBERIZED, HIGH DENSITY EXPANDED POLYSTYRENE WITH A POLYUREA COATING OR EXPANDED POLYPROPYLENE RINGS MAY BE USED (ALL RINGS MUST BE IDOT APPROVED). CONCRETE RINGS MAY BE NO LESS THAN 3 INCHES THICK. EACH RING SHALL BE SEALED UNDERNEATH THE FRAME PER THE PRODUCT MANUFACTURERS SPECIFICATIONS WITH THE APPROVAL OF THE ENGINEER.
- PRECAST ADJUSTING RINGS SHALL BE REINFORCED WITH NO. 3 GAUGE WIRE AND SHALL HAVE A MINIMUM THICKNESS OF TWO INCHES.
- WITHIN NON-PAVED AREAS, MORTAR SHALL ONLY BE USED TO DRESS UP ADJUSTING RINGS AND/OR FRAMES ON THE EXTERIOR OF THE STRUCTURE. MORTAR IS NOT PERMITTED ON THE INSIDE OF THE RINGS AND/OR FRAME.
- STEPS SHALL NOT BE INSTALLED.
- WHEN THE MANHOLE DEPTH IS OVER 12 FEET, THE THICKNESS OF THE BASE SHALL BE A MINIMUM OF 10 INCHES. WHEN THE MANHOLE DEPTH IS LESS THAN 12 FEET, THE THICKNESS SHALL BE A MINIMUM OF 8 INCHES.
- IN PAVED AREAS, DRAIN HOLES/WEEP HOLES SHALL BE COVERED WITH FILTER FABRIC. FILTER FABRIC SHALL BE SECURED TO THE OUTSIDE OF THE STRUCTURE PRIOR TO BACKFILL.
- IN GRASS AREAS, DRAIN HOLES/WEEP HOLES SHALL BE PLUGGED WITH HYDRAULIC CEMENT.

REV.:	REV.:	VILLAGE OF LOMBARD
TEG	02-02-2024	
DATE:	02-16-1998	
DRAWN BY: VJGL		STORM 3

**CATCH BASIN TYPE A**

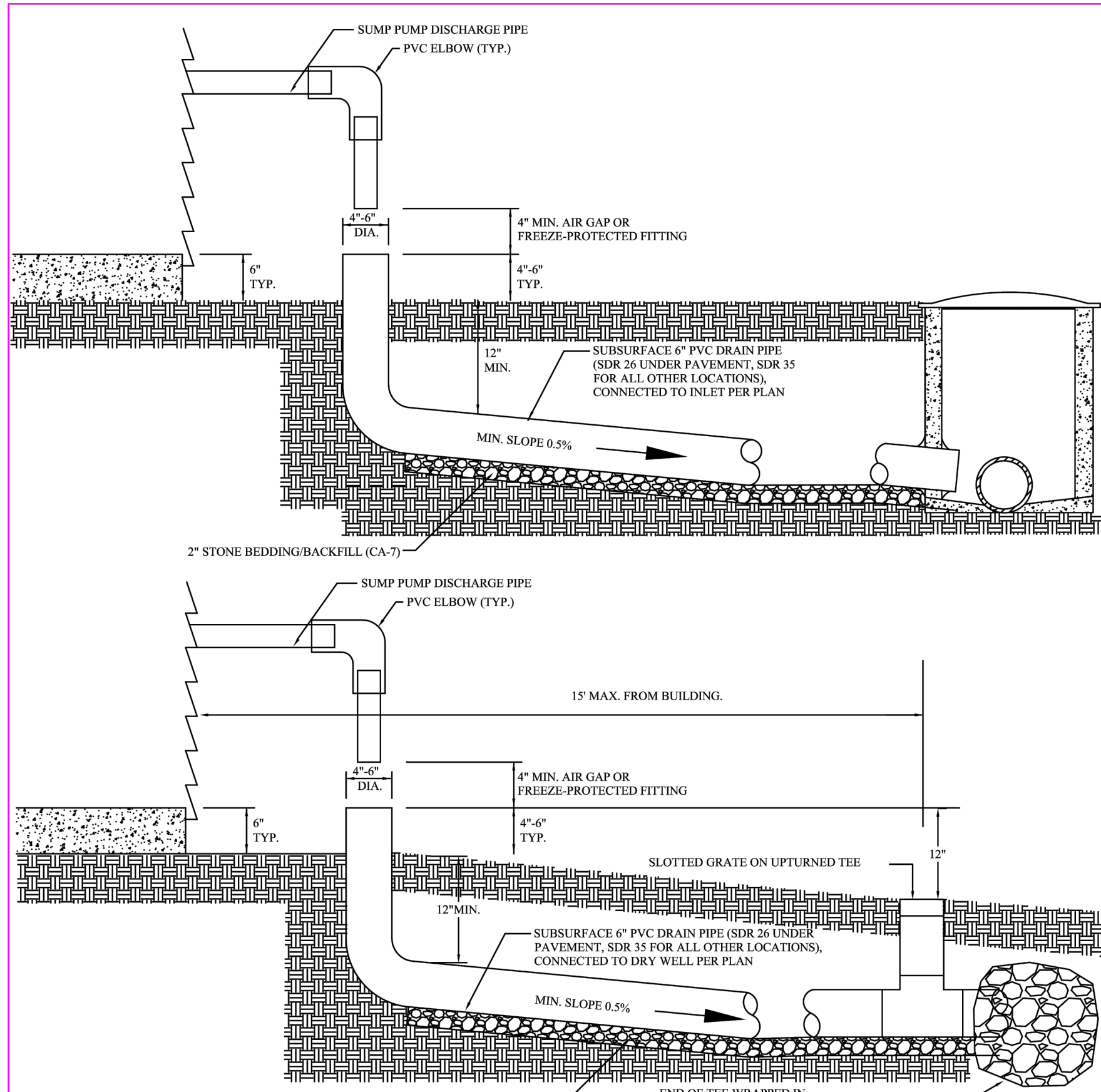


**GENERAL NOTES:**

- HOMES THAT ARE LOCATED IN AREAS SERVED BY A COMBINED SEWER SYSTEM SHALL NOT CONNECT SUMP PUMPS TO THE SEWER SYSTEM.
- SUMP PUMP CONNECTIONS THAT DIRECTLY CONNECT INTO THE SEPARATED STORM SEWER SYSTEM ARE ONLY PERMITTED IF APPROVED BY THE DIRECTOR OF PUBLIC WORKS OR COMMUNITY DEVELOPMENT.
- INSTALLATION OF SUMP PUMP CONNECTION MUST BE INSPECTED BY THE VILLAGE OF LOMBARD.
- INSTALLER ASSUMES FULL RESPONSIBILITY AND LIABILITY FOR ANY AND ALL DAMAGE TO UTILITIES OR ADJOINING PROPERTIES.
- REFER TO STORM 10A FOR STANDARD SURFACE DRAIN TILE SUMP PUMP CONNECTION.
- EXISTING SIDEWALK SHALL BE REMOVED AND REPLACED.
- SEE STORM 11 FOR TRENCH SECTION.

REV.:	REV.:	VILLAGE OF LOMBARD
TEG	02-05-2024	
DATE:	05-13-2009	
DRAWN BY: AK		STORM 10

**DIRECT SUBSURFACE DRAIN TILE SUMP PUMP CONNECTION**

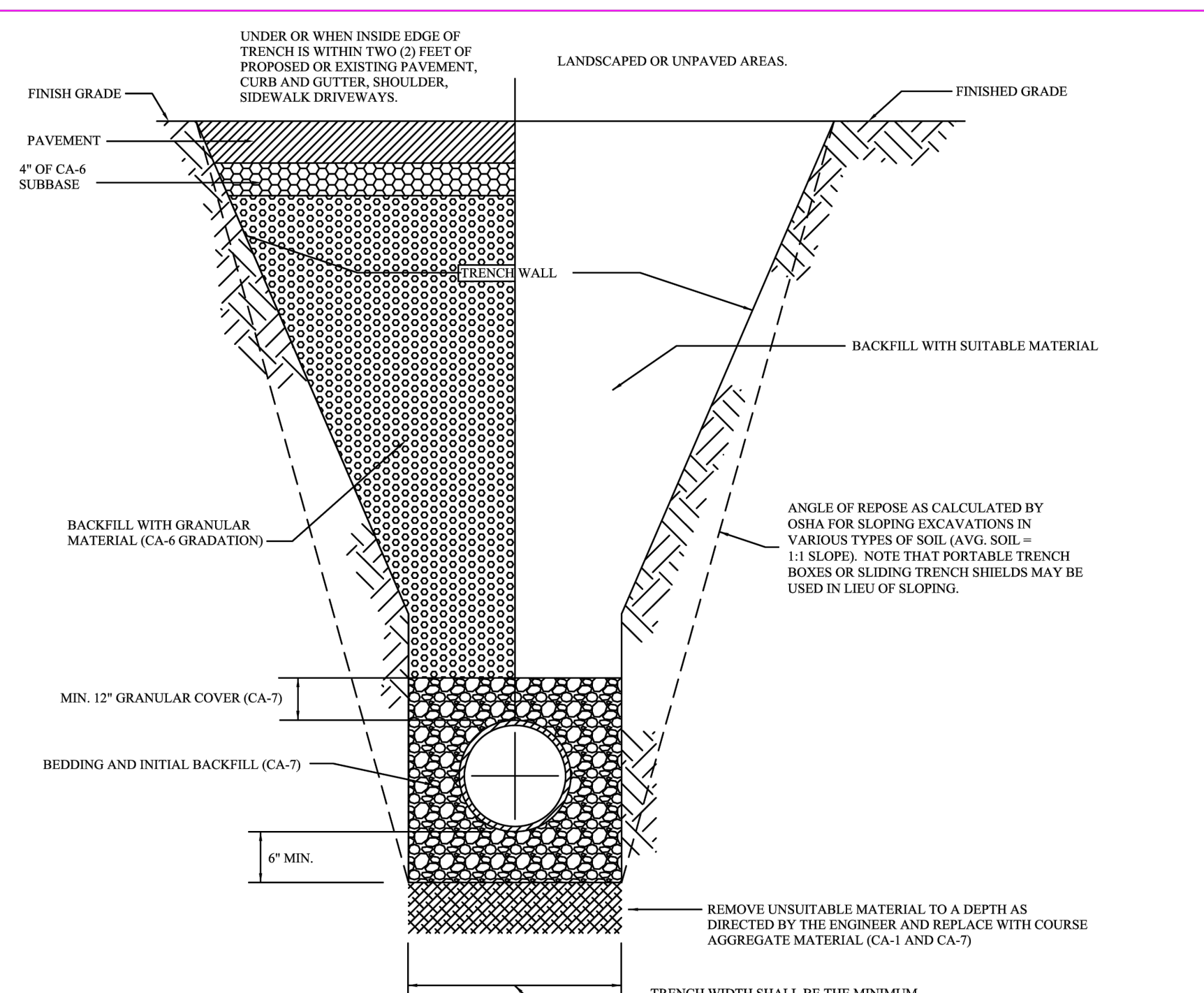


**GENERAL NOTES:**

- FOR RESIDENTIAL DEVELOPMENTS WITH AN ON-SITE STORM WATER CONTROL FACILITY, THE SUMP PUMP SHALL BE CONNECTED INTO THE STORM SEWER SYSTEM NOT LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL OTHER SUMP PUMP CONNECTIONS ARE TO SPLASH TO GRADE UNLESS WRITTEN APPROVAL IS GIVEN BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
- SUMP PUMP DISCHARGE SHALL BE DIRECTED AWAY FROM ADJACENT PROPERTIES.
- INSTALLER ASSUMES FULL RESPONSIBILITY AND LIABILITY FOR ANY AND ALL DAMAGE TO UTILITIES OR ADJOINING PROPERTIES.
- INSTALLATION OF SUMP PUMP DRAIN TILES MUST BE INSPECTED BY THE VILLAGE OF LOMBARD.
- SLOTTED GRATE ON UP-TURNED TEE SHALL BE 12" BENT ENTRANCE POINT.
- SEE STORM 11 FOR TRENCH SECTION.

REV.:	REV.:	VILLAGE OF LOMBARD
TEG	02-05-2024	
DATE:	02-16-1998	
DRAWN BY: VJGL		STORM 10A

**SUBSURFACE DRAIN TILE SUMP PUMP CONNECTION**

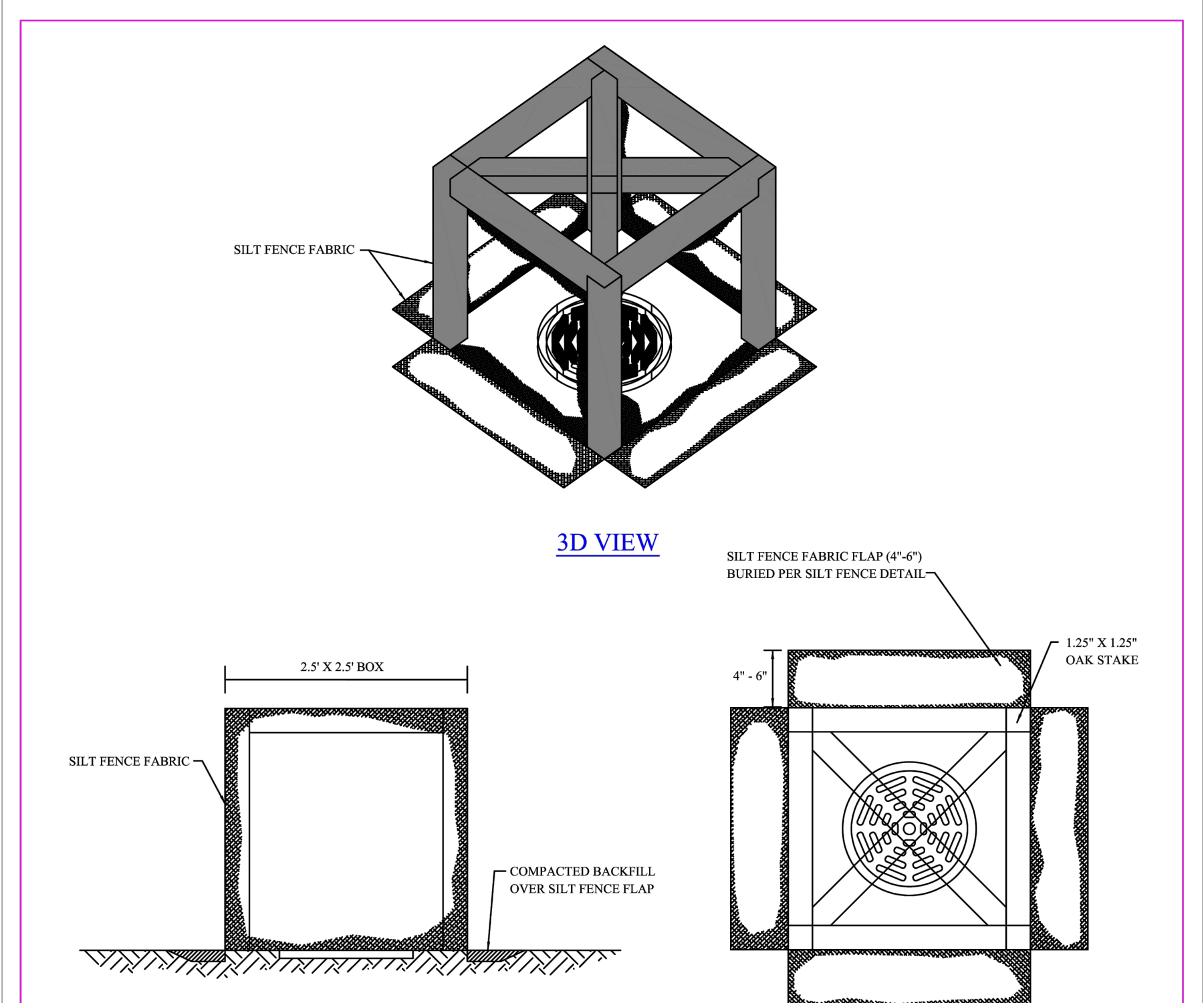


**GENERAL NOTES:**

- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING REGULATIONS, INCLUDING BUT NOT LIMITED TO OSHA SAFETY STANDARDS.
- BEDDING THICKNESS SHALL BE A MINIMUM OF SIX (6) INCHES OR ONE QUARTER (1/4) OF THE OUTSIDE DIAMETER OF THE PIPE, WHICHEVER IS GREATER.
- ALL BEDDING AND PIPE BACKFILL MATERIAL UP TO A HEIGHT OF 12 INCHES ABOVE THE PIPE SHALL BE CAREFULLY DEPOSITED IN UNIFORM LAYERS NOT EXCEEDING 6 INCHES THICK. LOOSE MATERIALS EACH FOOT SHALL BE COMPACTED BY MECHANICAL MEANS TO THE SATISFACTION OF THE ENGINEER.
- UNDER PAVED AND/OR HARD SURFACES, GRANULAR BACKFILL MATERIAL (CA-6) SHALL BE PLACED AND COMPACTED AS SPECIFIED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 58.01 METHOD 1. THE USE OF JETTING (METHOD 3) SHALL NOT BE ALLOWED UNLESS AUTHORIZED IN WRITING BY THE VILLAGE ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE APPROPRIATE JUSTIFICATION (ON THE FORM OF DOCUMENTATION) TO THE VILLAGE ENGINEER WITH THE REQUEST FOR THE APPROVAL OF JETTING.
- GRANULAR MATERIAL FOR BACKFILL AND BEDDING SHALL BE GRAVEL, CRUSHED GRAVEL, OR STONE MEETING THE REQUIREMENTS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION FOR COARSE AGGREGATE OF THE GRADATION SPECIFIED. NO RECYCLED CONCRETE SHALL BE ALLOWED.
- UNDER LANDSCAPED AREAS SUITABLE BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED AS SPECIFIED IN NOTE 4. THE USE OF JETTING (METHOD 3) SHALL NOT BE ALLOWED UNLESS AUTHORIZED IN WRITING BY THE VILLAGE ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE APPROPRIATE JUSTIFICATION (ON THE FORM OF DOCUMENTATION) TO THE VILLAGE ENGINEER WITH THE REQUEST FOR THE APPROVAL OF JETTING.
- WHEN THE INSIDE EDGE OF THE TRENCH IS WITHIN TWO (2) FEET OF THE PROPOSED OR EXISTING PAVEMENT, CURB, AND GUTTER, SHOULDER, SIDEWALK, OR DRIVEWAY, GRANULAR MATERIAL PER NOTE 4 SHALL BE USED.
- THE MINIMUM COVER OVER THE TOP OF THE RIGID PIPE SHALL BE ONE (1) FOOT BELOW THE PAVED OR LANDSCAPED FINISHED GRADE. THE MINIMUM COVER OVER THE TOP OF A FLEXIBLE PIPE UP TO AND INCLUDING FORTY-EIGHT (48) INCHES IN DIAMETER SHALL BE ONE (1) FOOT BELOW THE PAVED OR LANDSCAPED FINISHED GRADE.
- THE MAXIMUM TRENCH WIDTH ALLOWED FOR PAYMENT OF BACK FILL SHALL BE 18 INCHES PLUS THE OUTER PIPE DIAMETER WHEN THE TRENCH DEPTH IS LESS THAN 5 FEET FROM SUBGRADE TO THE PIPE INVERT OR 36 INCHES PLUS THE OUTER PIPE DIAMETER WHEN THE TRENCH DEPTH IS 5 FEET OR GREATER.

REV.:	REV.:	VILLAGE OF LOMBARD
TEG	02-05-2024	
DATE:	02-16-1998	
DRAWN BY: VJGL		STORM 11

**STORM SEWER TRENCH SECTION**

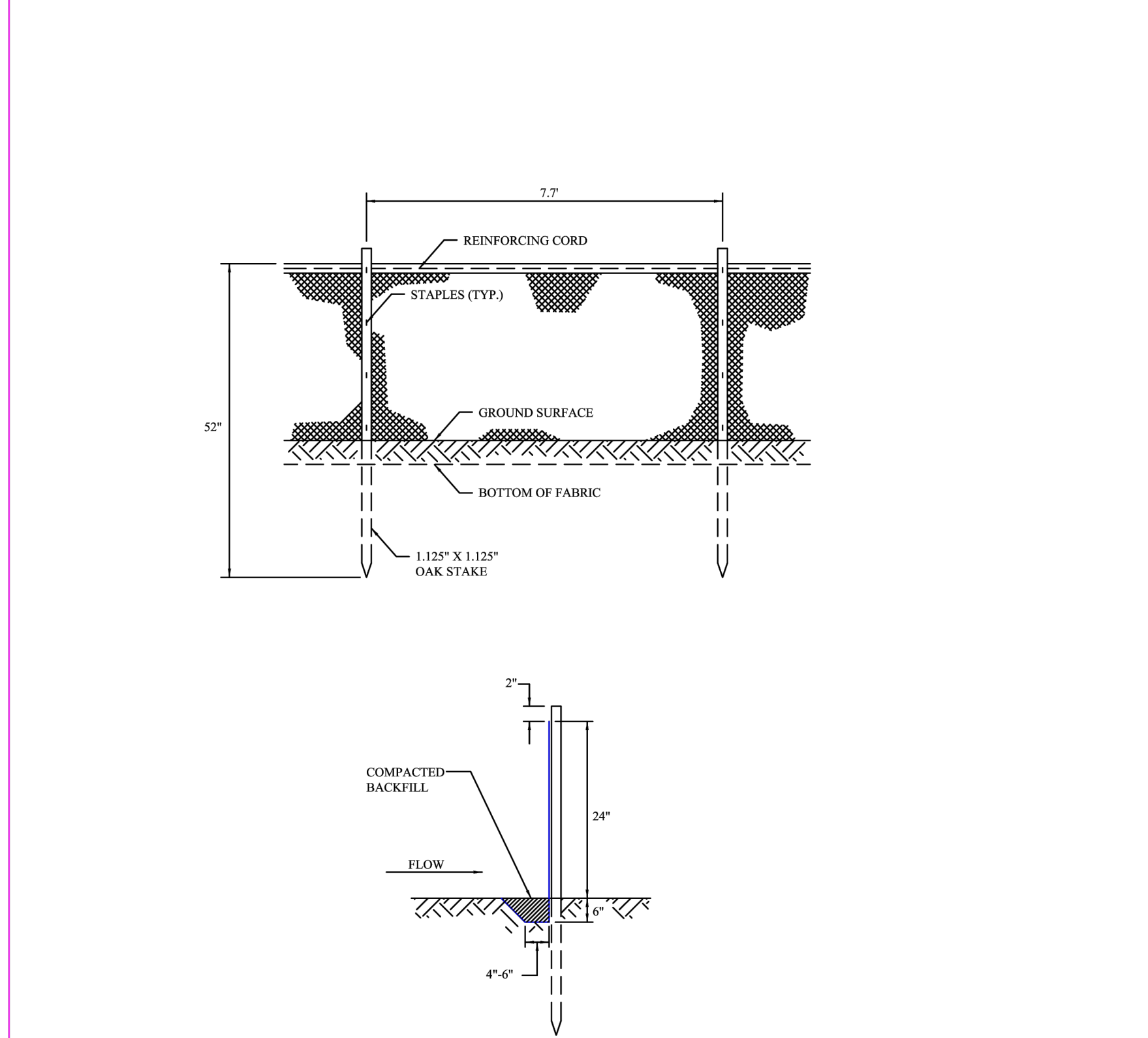


**GENERAL NOTES:**

- SILT BOX SHALL BE MAINTAINED UNTIL THE AREA TRIBUTARY TO THE STRUCTURE HAS STABILIZED GROUND COVER, AS DETERMINED BY THE VILLAGE ENGINEER.
- ALLOWABLE FOR BOTH PAVED AND NON-PAVED AREAS IS THE FLEXSTORM "CATCH IT" OR OTHER APPROVED EQUIVALENT DROP-IN STRUCTURE DESIGNED TO CATCH SEDIMENT WITH AN OVERFLOW ALLOWANCE. GEOTEXTILE FILTER BAGS SHALL BE CLEANED OUT/REPLACED AS NEEDED DUE TO STORM EVENTS.
- SILT BOX ONLY TO BE USED FOR NON-PAVED AREAS.
- FILTREX® INLETS® IS ALSO ALLOWED IN NON-PAVED AREAS, AS LONG AS INSTALLED PER MANUFACTURERS SPECIFICATIONS.

REV.:	REV.:	VILLAGE OF LOMBARD
TEG	02-14-2024	
DATE:	02-25-2016	
DRAWN BY: DRG		STORM 14

**OPEN LID SEDIMENT PROTECTION**

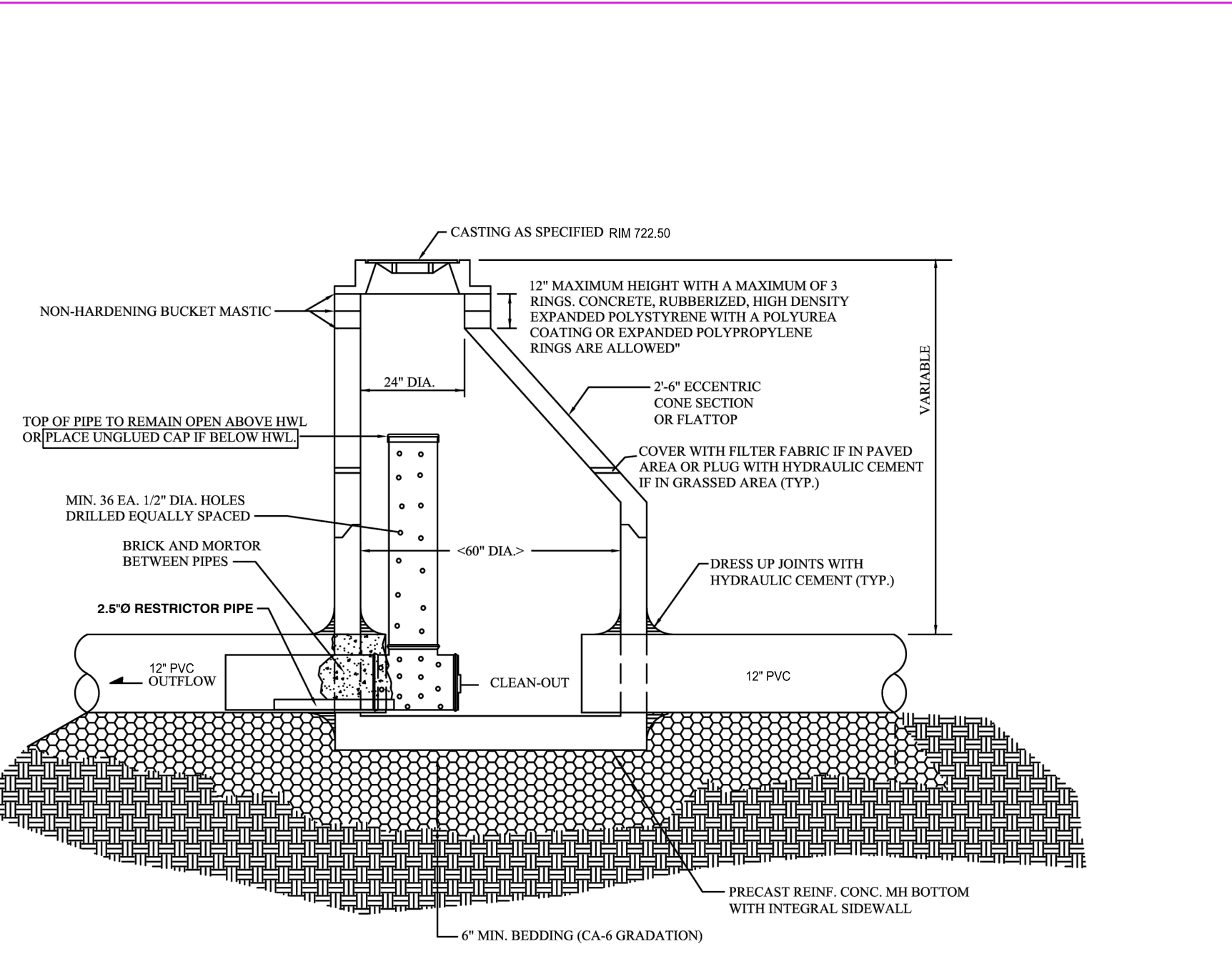


**GENERAL NOTES:**

- SILT FENCE SHALL BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER UNTIL THE AREA TRIBUTARY TO THE STRUCTURE HAS STABILIZED GROUND COVER.
- THE SILT FENCE MATERIAL SHALL COMPLY WITH ARTICLE 1080.02 OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

REV.:	REV.:	VILLAGE OF LOMBARD
TEG	02-05-2024	
DATE:	02-16-1998	
DRAWN BY: VJGL		STORM 15

**SILT FENCE INSTALLATION**

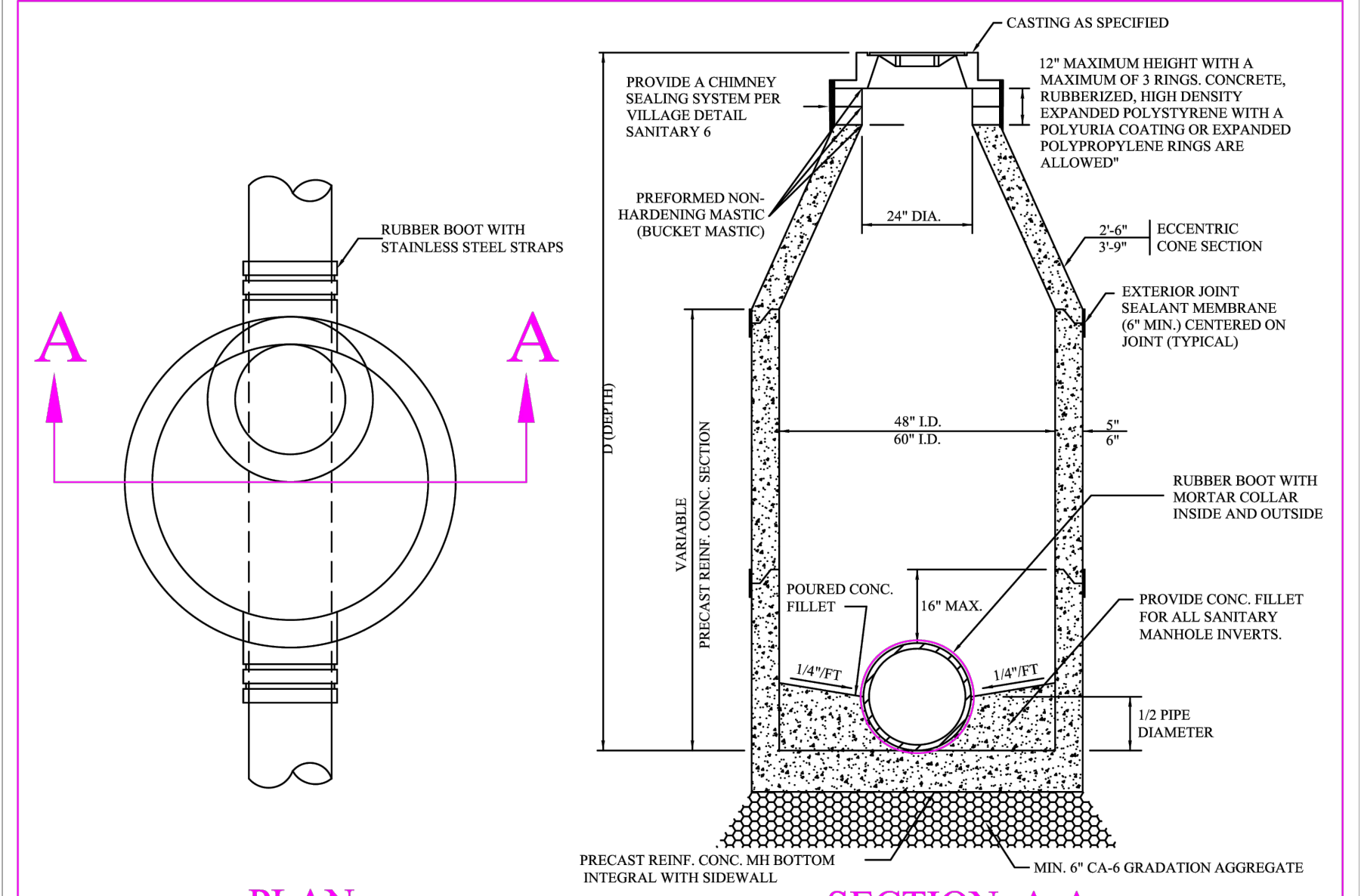


**GENERAL NOTES:**

- RESTRICTOR PIPE MATERIAL CAN BE SCHEDULE 40 PVC PIPE.
- 6" DIA. SDR 35 PVC PIPE GROUDED INTO THE OUTLET PIPE. EXTEND RESTRICTOR PIPE INTO VISIBLE AREA OF THE FOR VERIFICATION.
- CASTINGS SHALL HAVE FACTORY INSTALLED O-RING GASKETS.
- MANHOLE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH MANHOLE TYPE A (STORM 11) SPECIFICATIONS.

REV.:	REV.:	VILLAGE OF LOMBARD
TEG	02-05-2024	
DATE:	09-01-2004	
DRAWN BY: ERH		STORM 19

**RESTRICTOR DETAIL**



**GENERAL NOTES:**

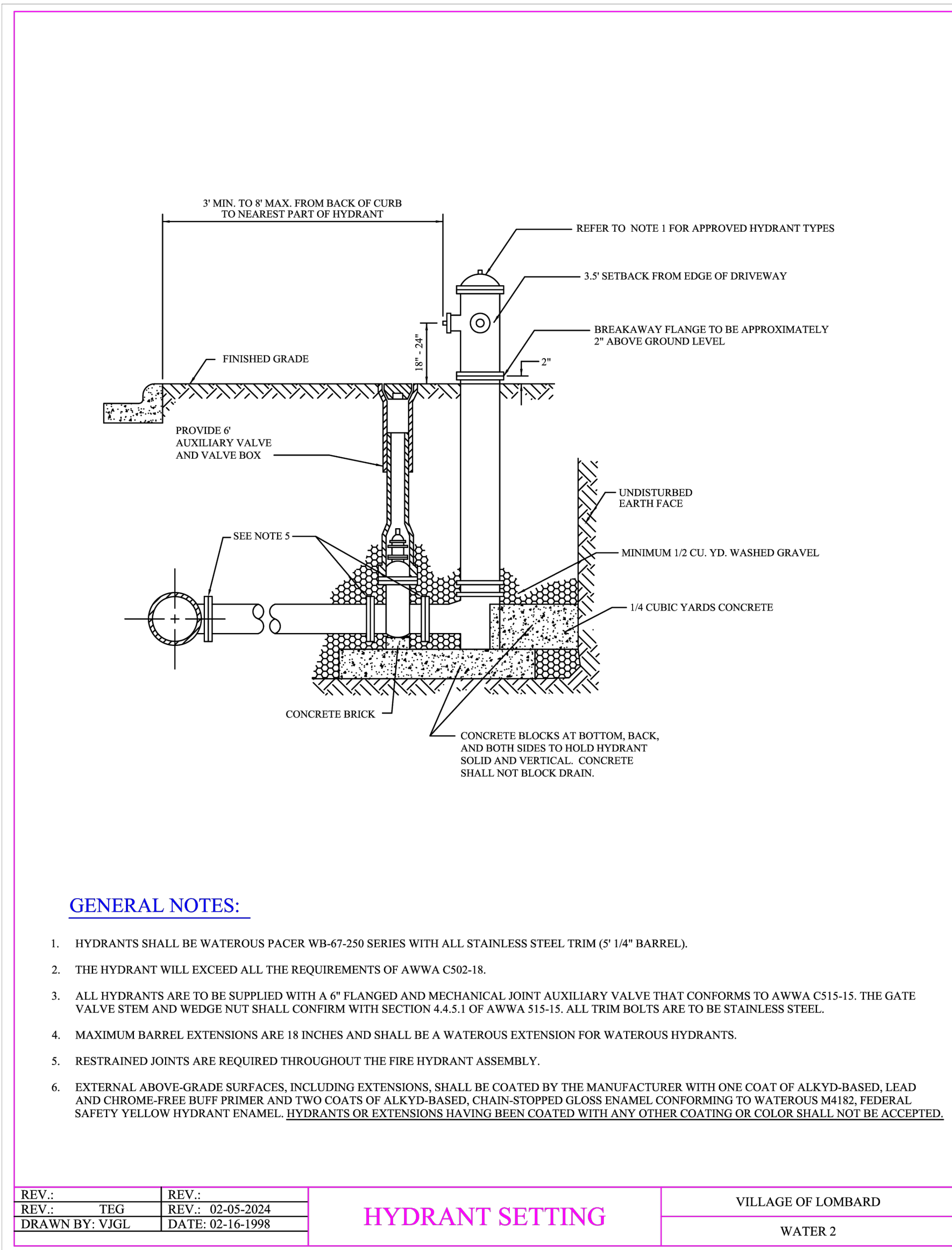
- PROVIDE PRECAST REINFORCED CONCRETE BARREL AND RISER SECTION. CONCRETE BLOCK CONSTRUCTION IS NOT PERMITTED.
- REFER TO VILLAGE DETAIL SANITARY 6 FOR BARREL JOINT SEAL.
- WHEN THE FRAME DOES NOT MEET THE PROPOSED ELEVATION, ADJUSTING RINGS SHALL BE USED FOR FINAL ADJUSTMENT. A MAXIMUM OF 3 ADJUSTING RINGS MAY BE USED TO A MAXIMUM HEIGHT OF 12 INCHES. CONCRETE, RUBBERIZED, HIGH DENSITY EXPANDED POLYSTYRENE WITH A POLYUREA COATING OR EXPANDED POLYPROPYLENE RINGS MAY BE USED (ALL RINGS MUST BE IDOT APPROVED). CONCRETE RINGS MAY BE NO LESS THAN 3 INCHES THICK. EACH RING SHALL BE SEALED UNDERNEATH THE FRAME PER THE PRODUCT MANUFACTURERS SPECIFICATIONS WITH THE APPROVAL OF THE ENGINEER.
- PRECAST ADJUSTING RINGS SHALL BE REINFORCED WITH NO. 3 GAUGE WIRE OR EQUIVALENT AND SHALL HAVE A MINIMUM THICKNESS OF 3 INCHES.
- OUTSIDE OF FULL DEPTH ROADWAY AREAS, SANITARY MANHOLES SHALL BE CONSTRUCTED WITH A CHIMNEY SEALING SYSTEM. REFER TO VILLAGE DETAIL SANITARY 6.
- STEPS SHALL NOT BE USED TO DRESS UP ADJUSTING RINGS AND/OR FRAME.
- STEPS SHALL NOT BE INSTALLED.
- WHEN MANHOLE DEPTH IS OVER 12 FEET, THE THICKNESS OF THE BASE SHALL BE A MINIMUM OF 10 INCHES. WHEN MANHOLE DEPTH IS LESS THAN 12 FEET, THE THICKNESS SHALL BE A MINIMUM OF 8 INCHES.
- PROVIDE GRANULAR BACKFILL AROUND MANHOLE TO SUBGRADE ELEVATION IN PAVED AREAS. MATERIALS SHALL MEET THE REQUIREMENTS OF IDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" FOR COARSE AGGREGATE CA-6 GRADATION.
- APPROVED EXTERIOR JOINT SEALANT MEMBRANE PRODUCTS ARE AS FOLLOWS: CRETEX WRAP BY CRETEX SPECIALTY PRODUCTS, INT-SHIELD GATOR WRAP BY SEALING SYSTEMS, INC. OR BARREL WRAP BY ADAPTOR. THE PRODUCT SHALL BE PROVIDED BY AND AUTHORIZED VENDOR AND SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. APPROVED EXTERNAL CHIMNEY PRODUCTS ARE: CLASSIC EXTERNAL CHIMNEY SEAL BY CRETEX SPECIALTY PRODUCTS, INT-SHIELD RUBBER EXTERNAL CHIMNEY SEALING BY SEALING SYSTEMS, INC. OR INTERNAL EXTERNAL ADAPTOR SEAL (EA SEAL) BY ADAPTOR. THE PRODUCT SHALL BE PROVIDED BY AN AUTHORIZED VENDOR AND INSTALLED PER THE MANUFACTURERS SPECIFICATIONS.

REV.:	REV.:	VILLAGE OF LOMBARD
TEG	02-01-2024	
DATE:	02-16-1998	
DRAWN BY: VJGL		SANITARY 1

**SANITARY MANHOLE**

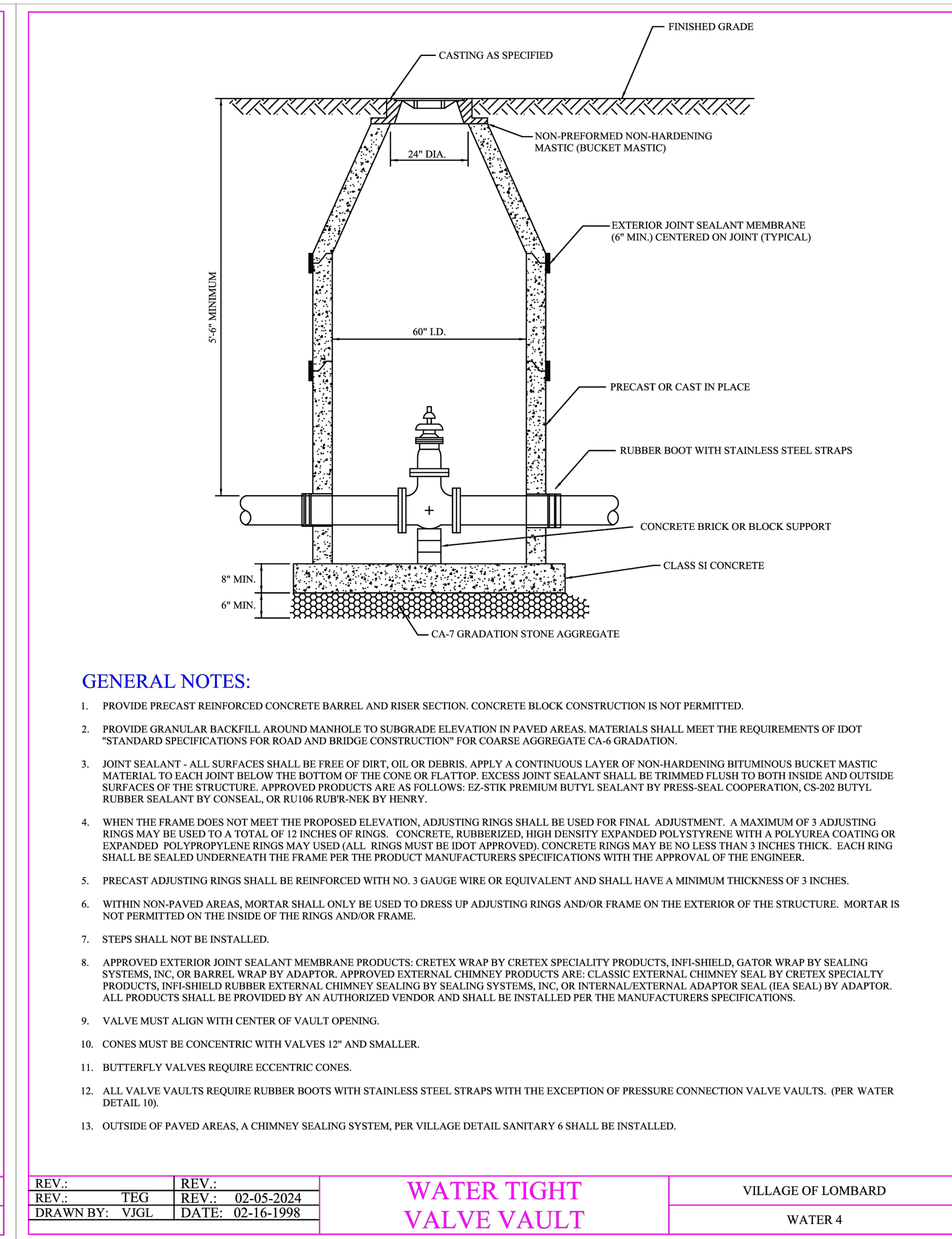
# CONSTRUCTION DETAILS





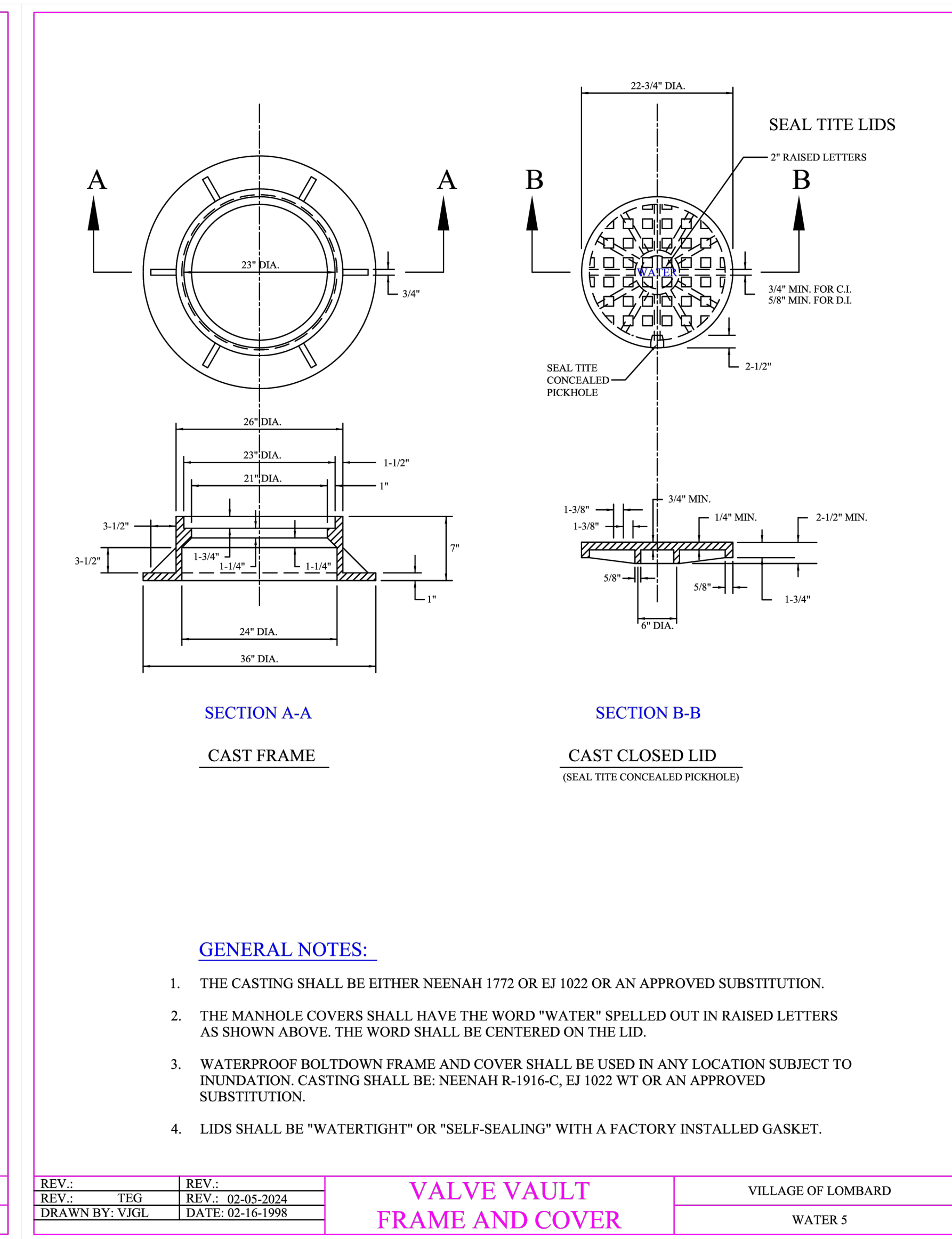
**HYDRANT SETTING**  
VILLAGE OF LOMBARD  
WATER 2

REV: TEG	REV: 02-05-2024
ADD: VJGL	DATE: 02-16-1998



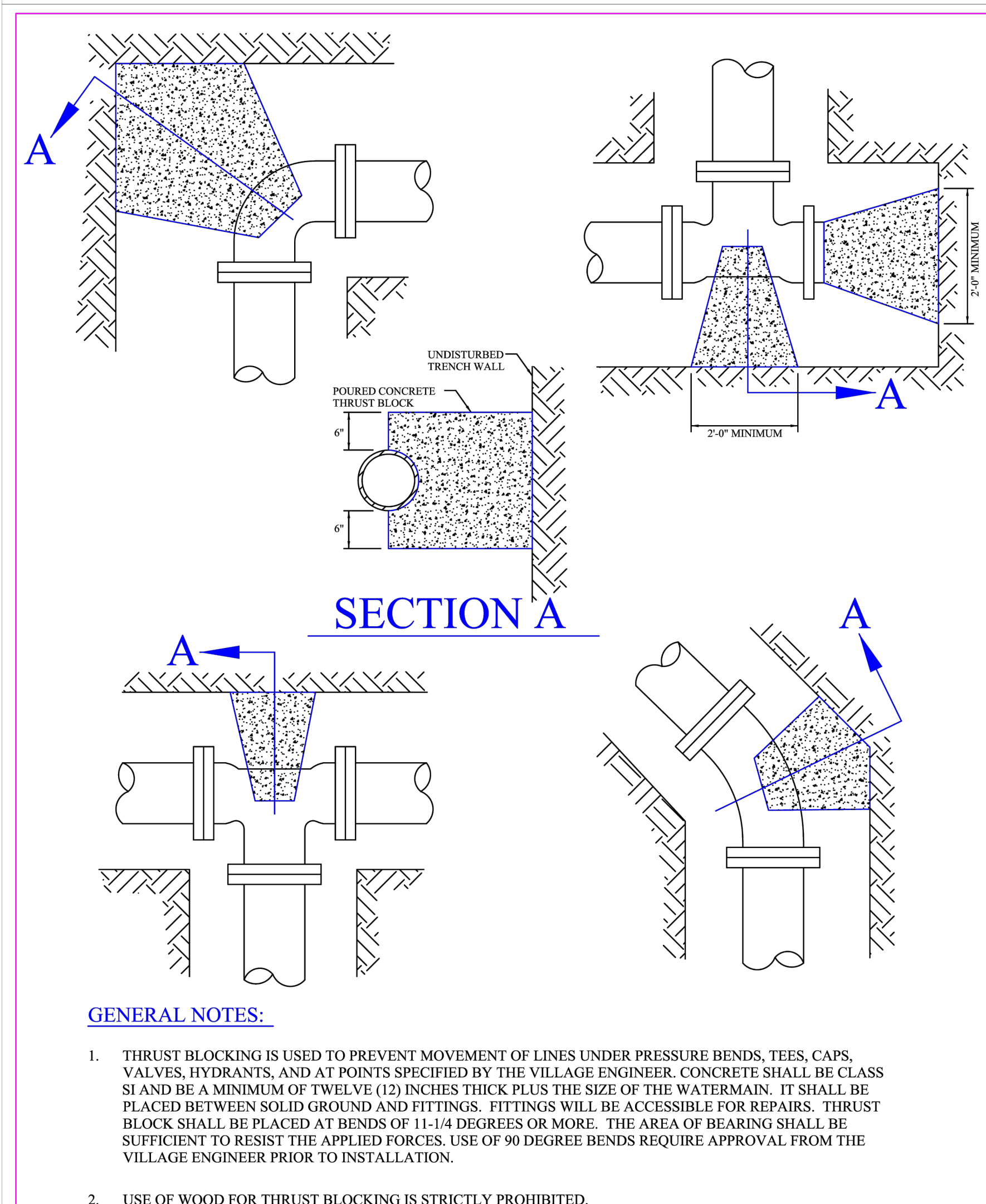
**WATER TIGHT VALVE VAULT**  
VILLAGE OF LOMBARD  
WATER 4

REV: TEG	REV: 02-05-2024
ADD: VJGL	DATE: 02-16-1998



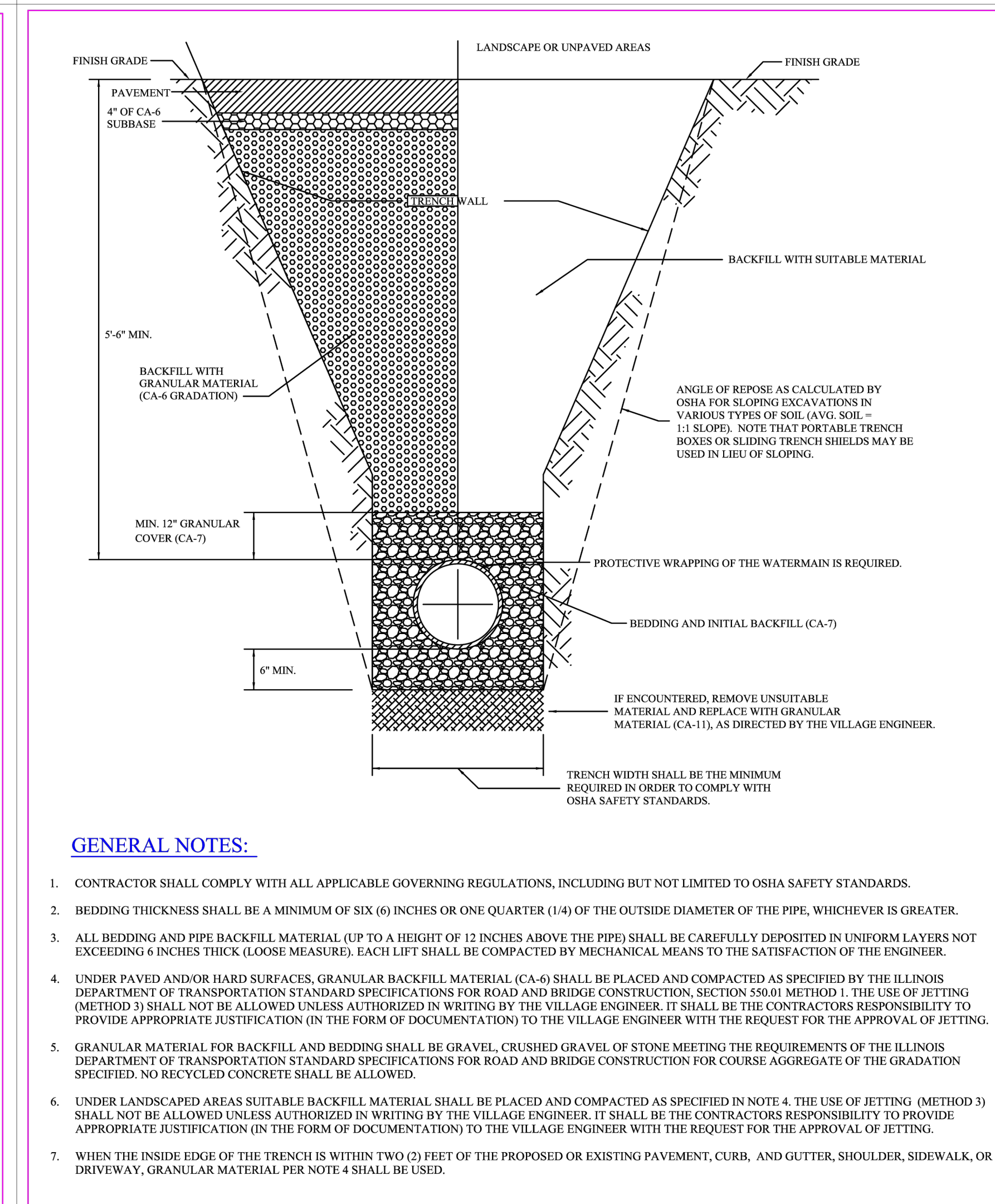
**VALVE VAULT FRAME AND COVER**  
VILLAGE OF LOMBARD  
WATER 5

REV: TEG	REV: 02-05-2024
ADD: VJGL	DATE: 02-16-1998



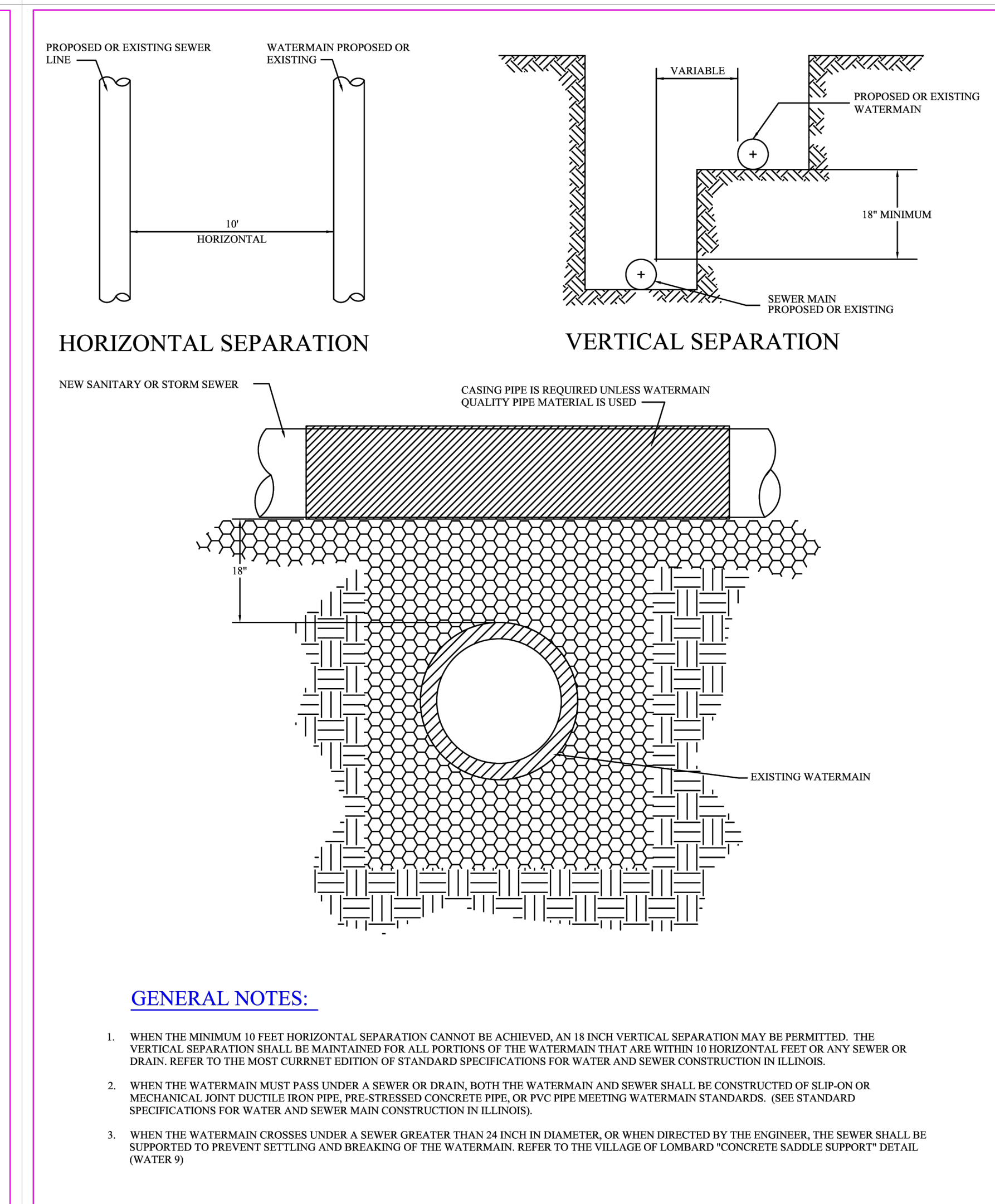
**THRUST BLOCK INSTALLATION**  
VILLAGE OF LOMBARD  
WATER 6

REV: TEG	REV: 02-05-2024
ADD: VJGL	DATE: 02-16-1998



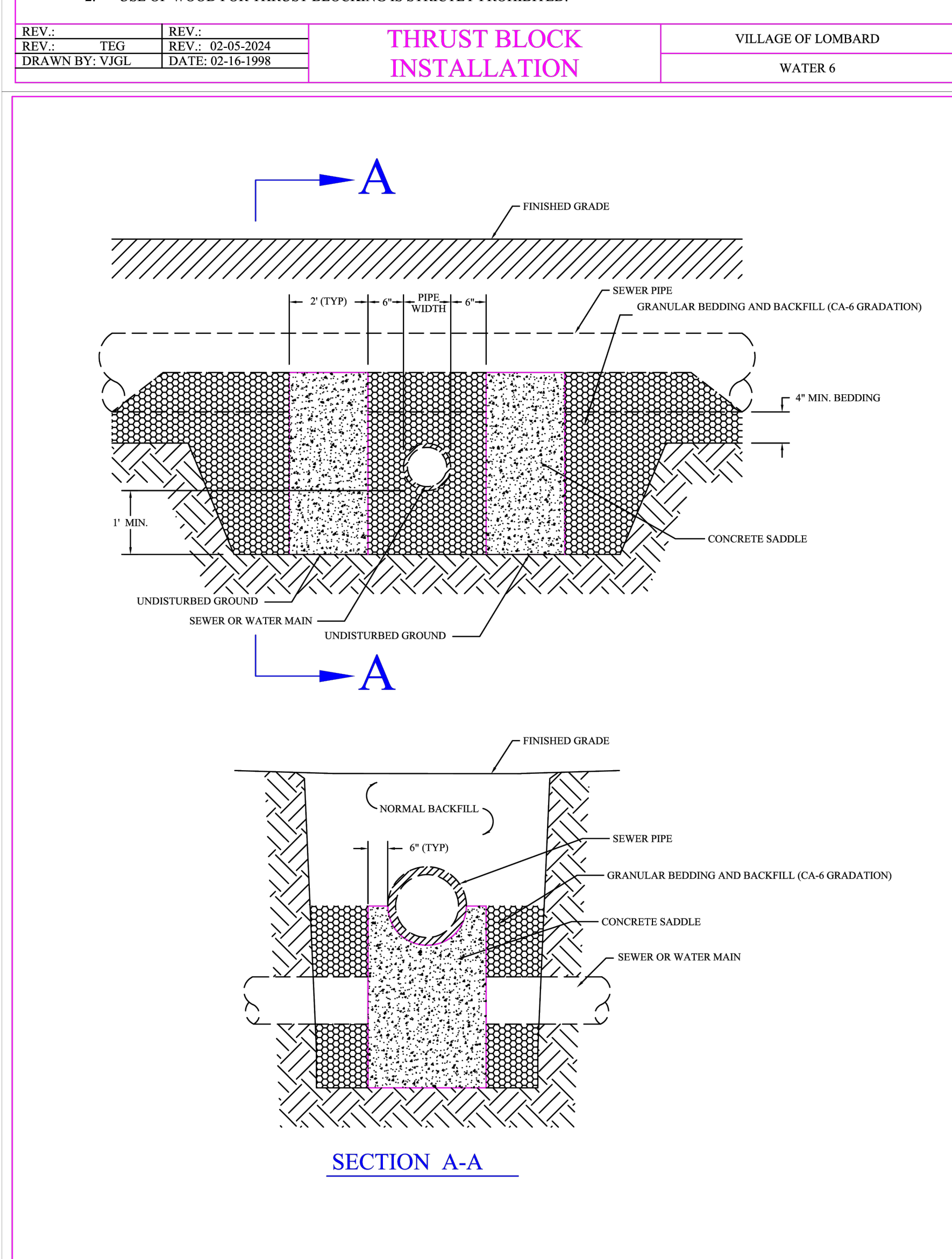
**WATER MAIN TRENCH SECTION**  
VILLAGE OF LOMBARD  
WATER 7

REV: TEG	REV: 02-05-2024
ADD: VJGL	DATE: 02-16-1998



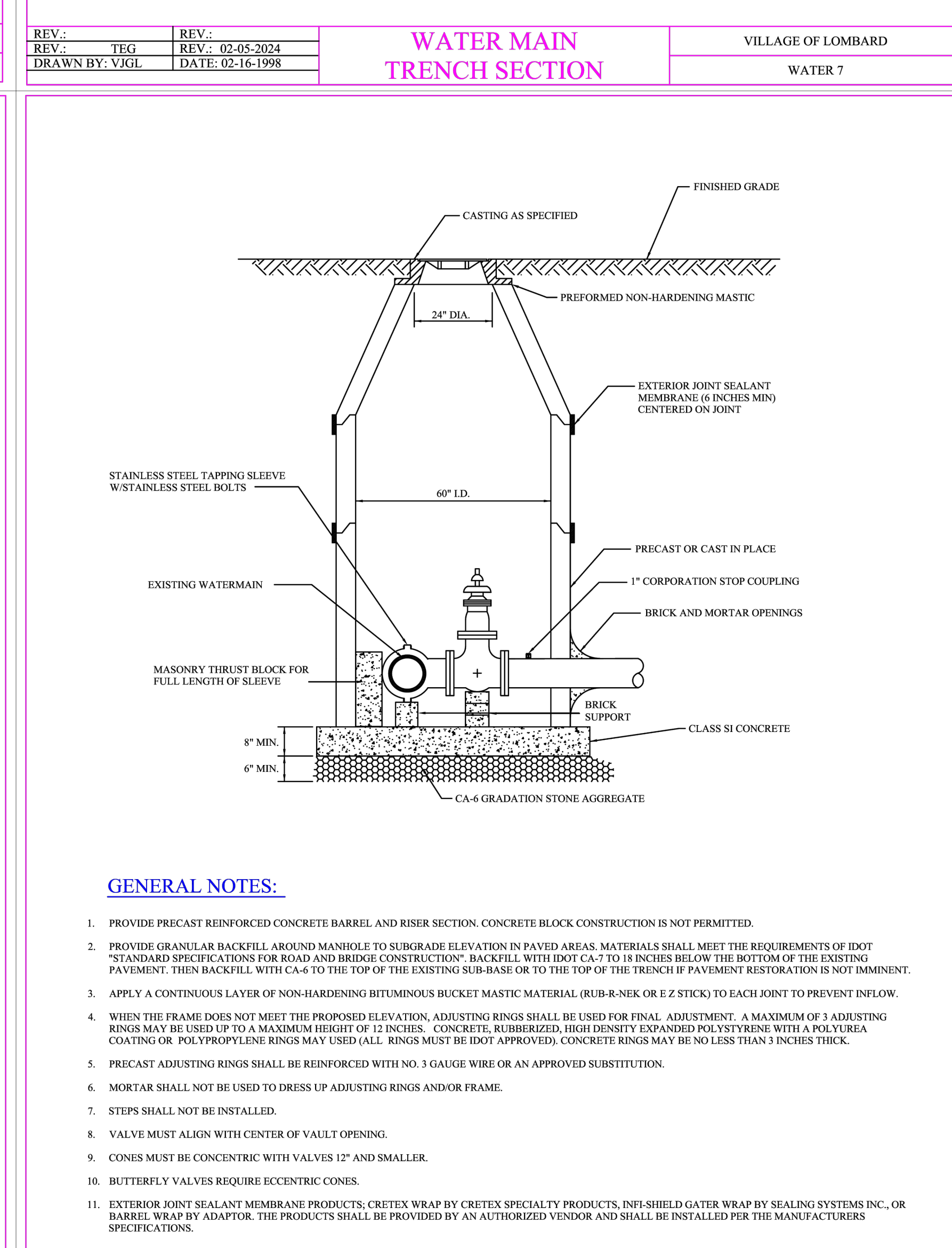
**WATER AND SEWER SEPARATION**  
VILLAGE OF LOMBARD  
WATER 8

REV: TEG	REV: 02-05-2024
ADD: VJGL	DATE: 02-16-1998



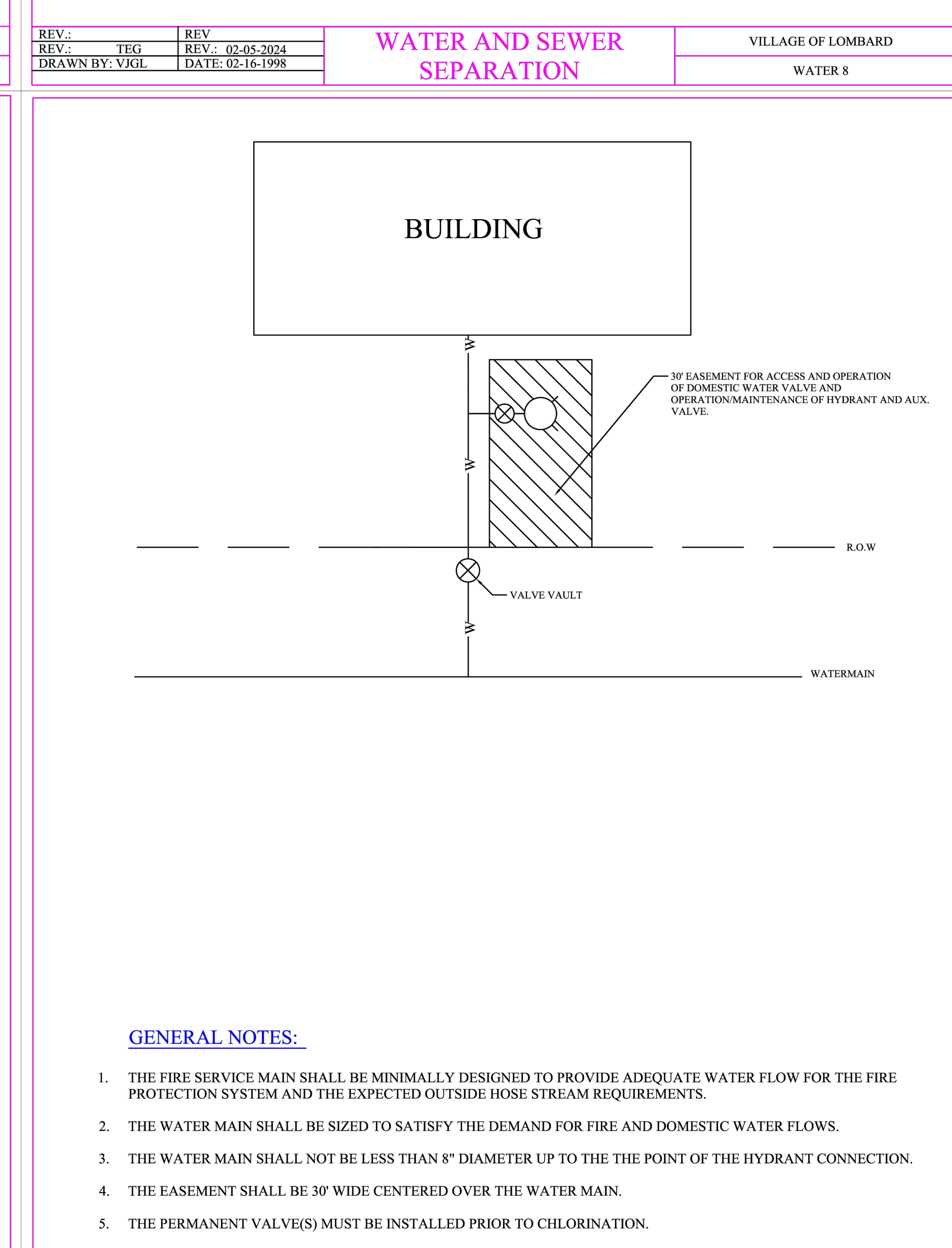
**CONCRETE SADDLE SUPPORT**  
VILLAGE OF LOMBARD  
WATER 9

REV: TEG	REV: 02-05-2024
ADD: VJGL	DATE: 02-16-1998



**TYPICAL PRESSURE CONNECTION IN VAULT**  
VILLAGE OF LOMBARD  
WATER 10

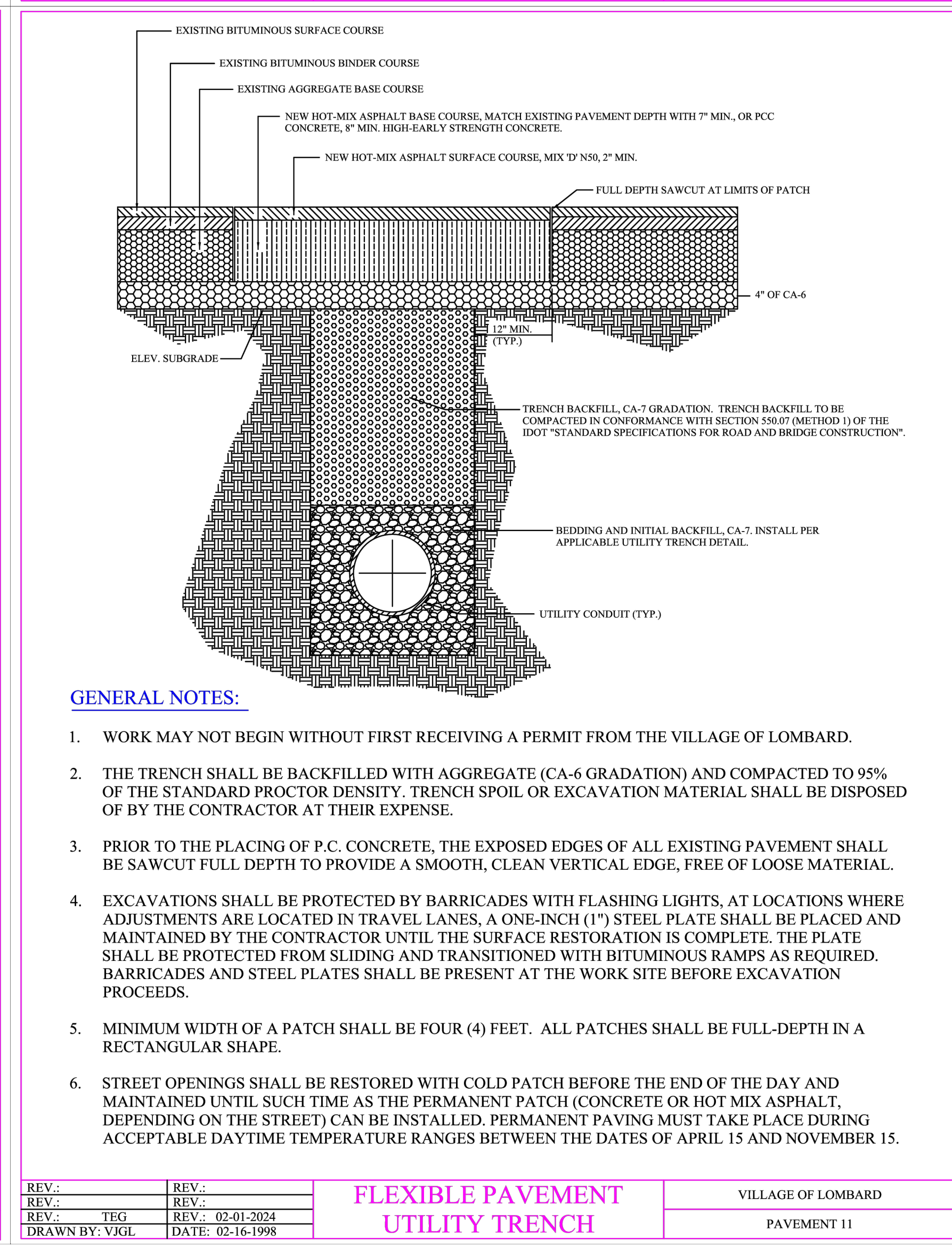
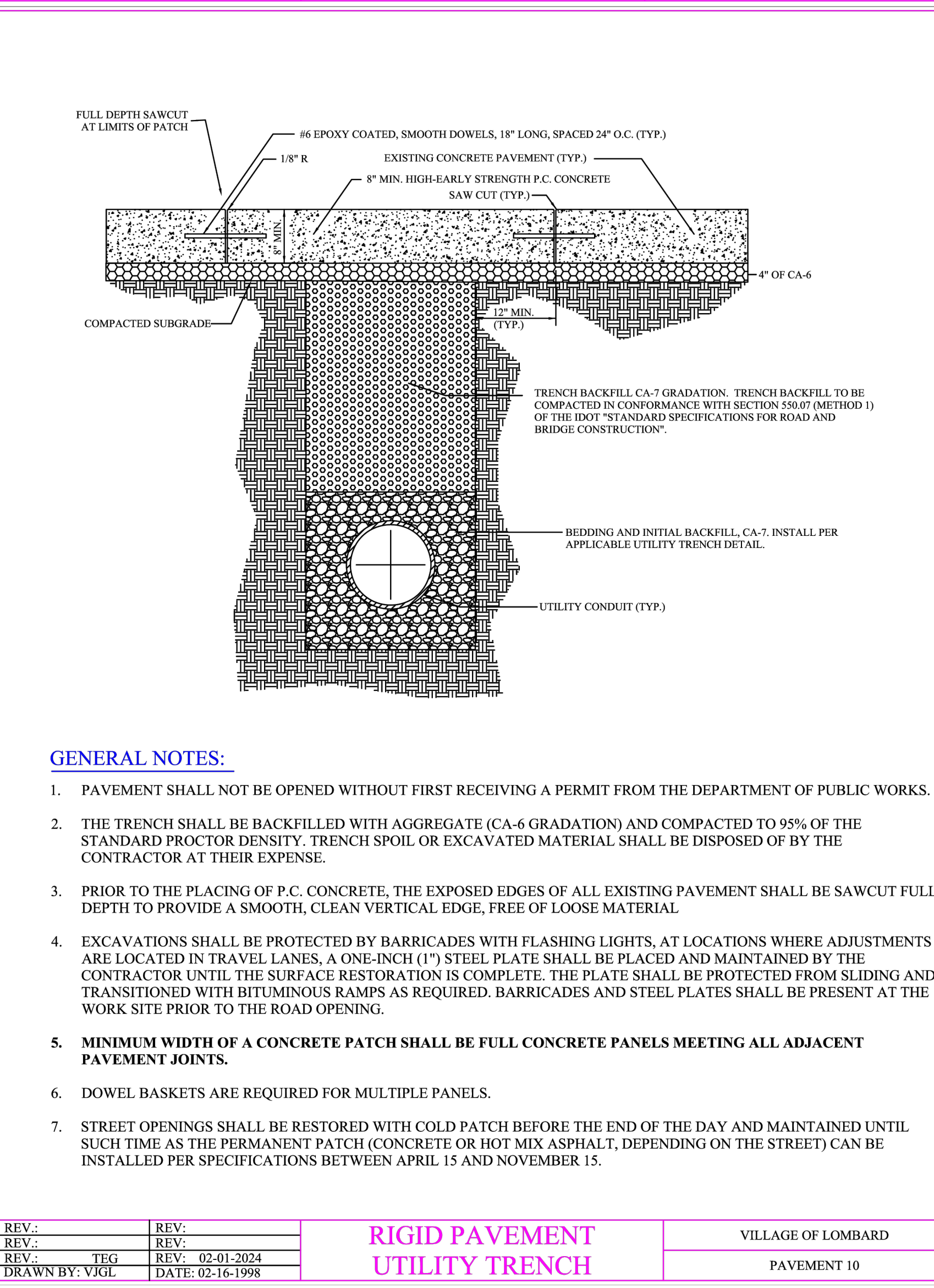
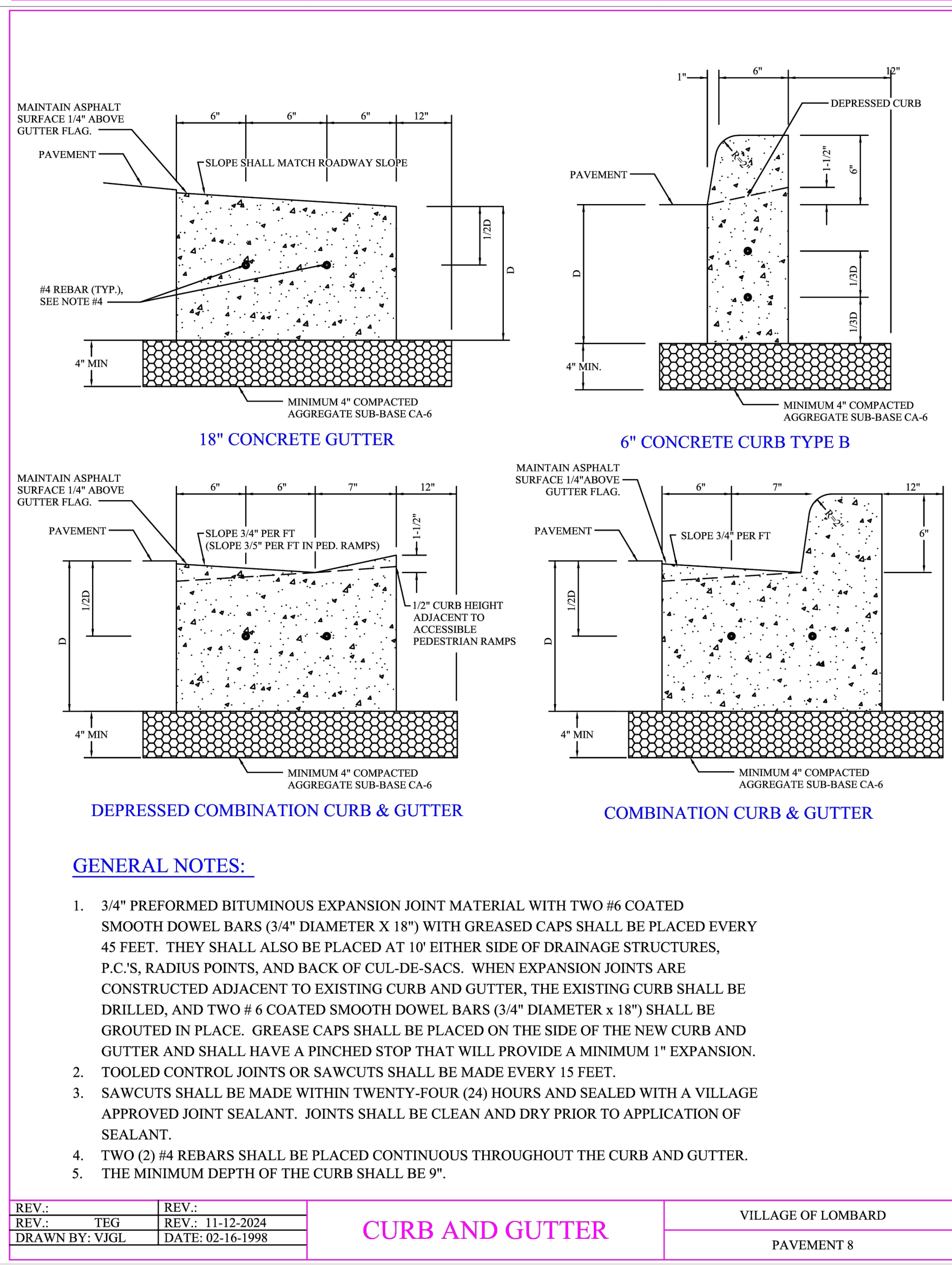
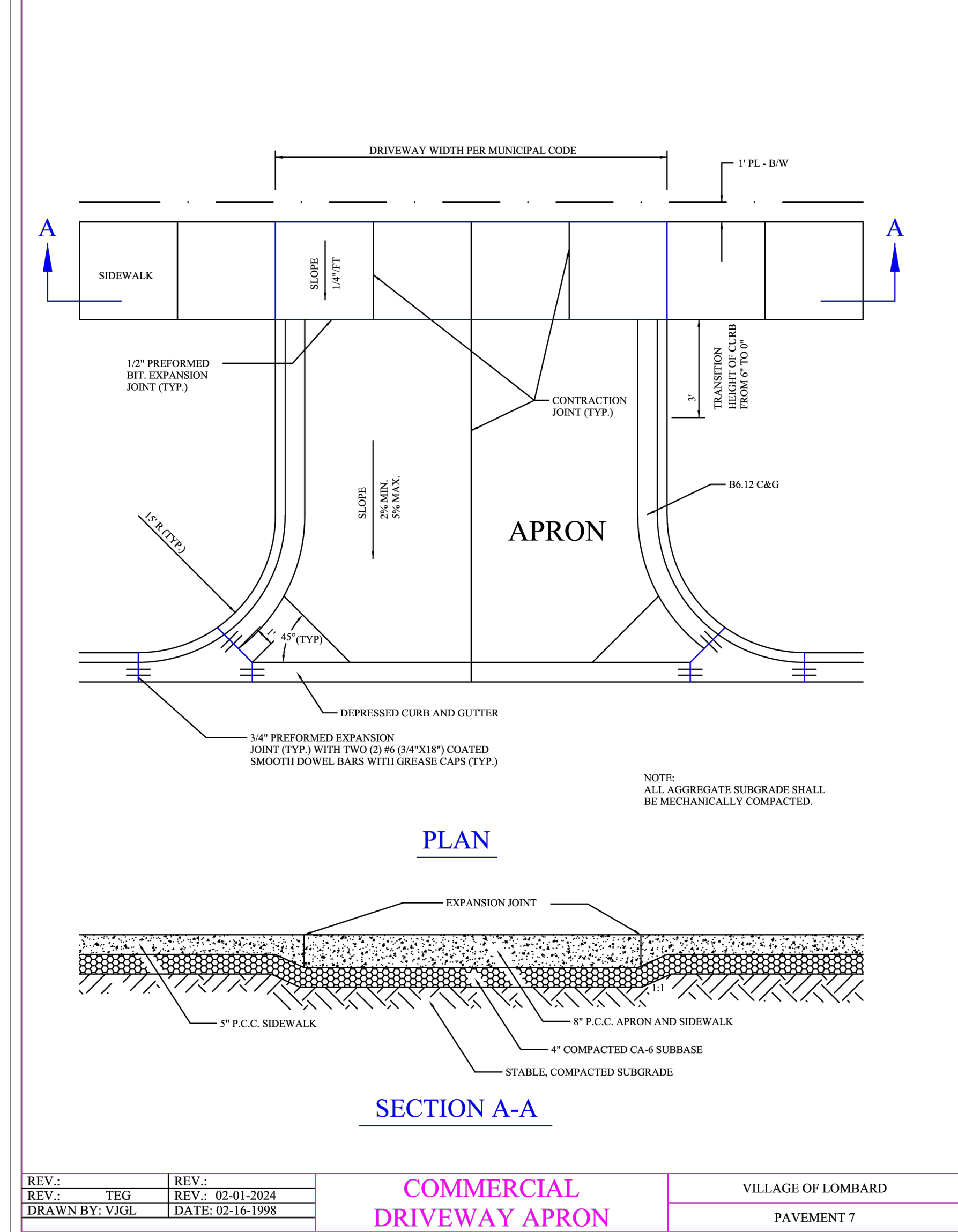
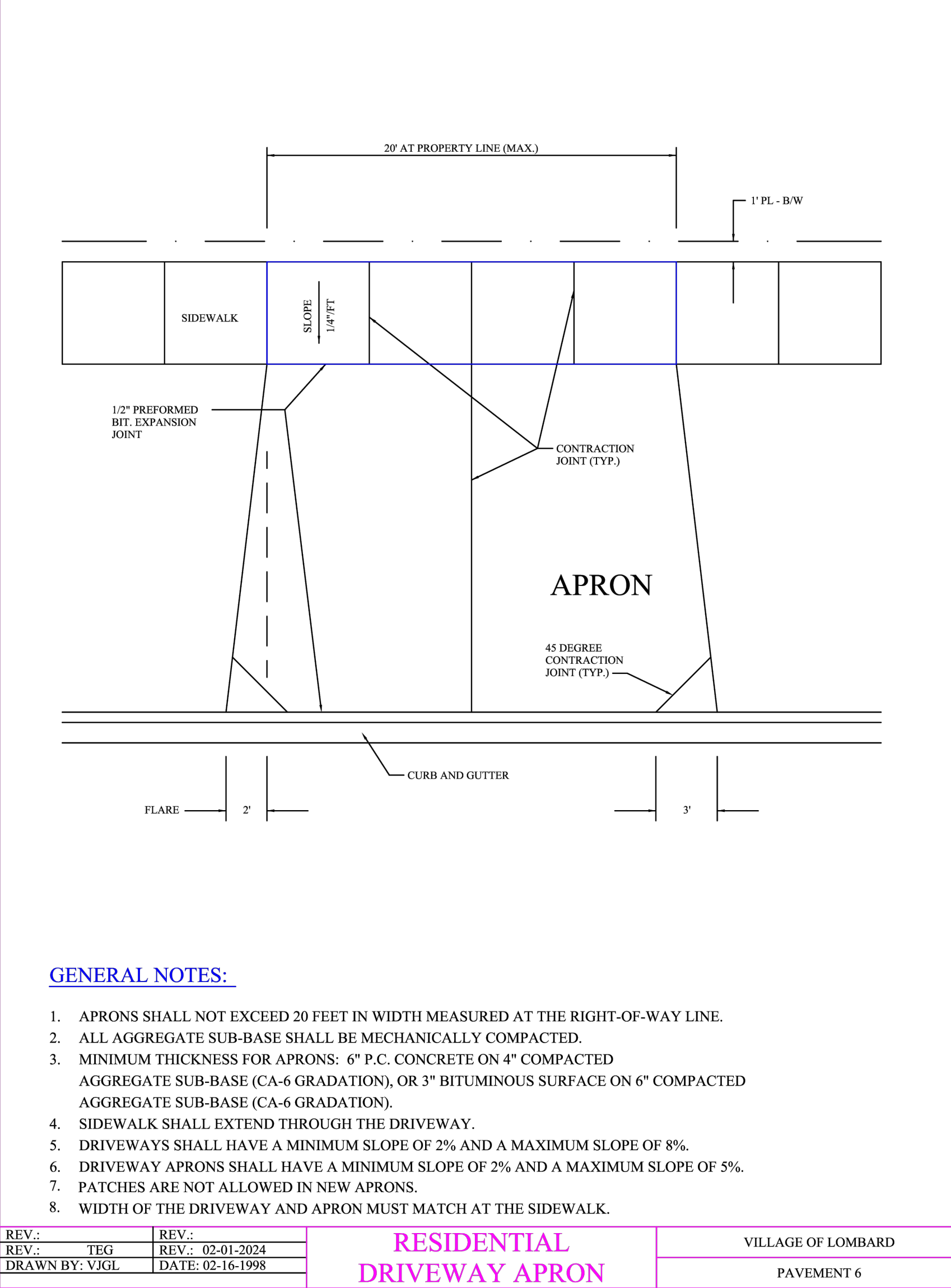
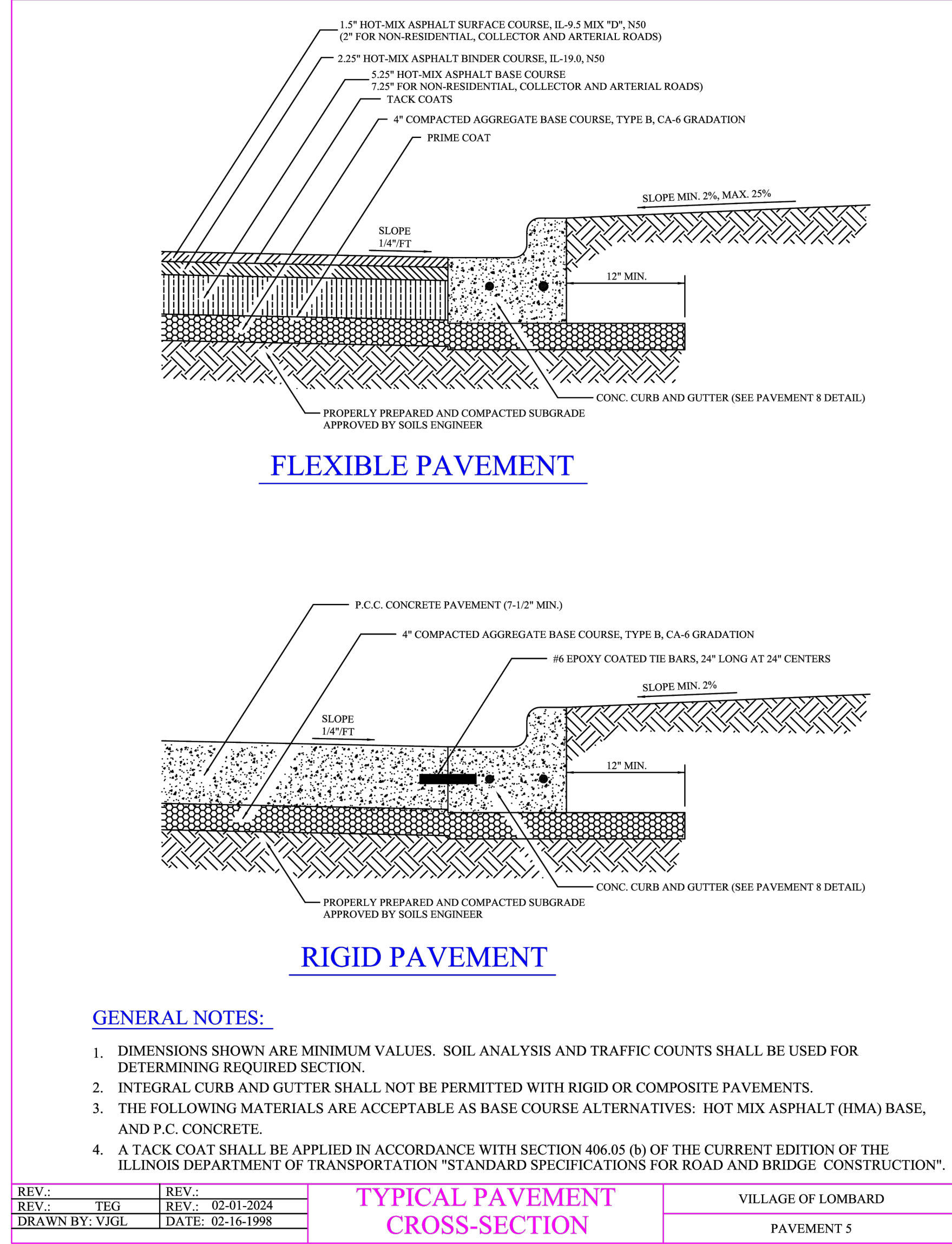
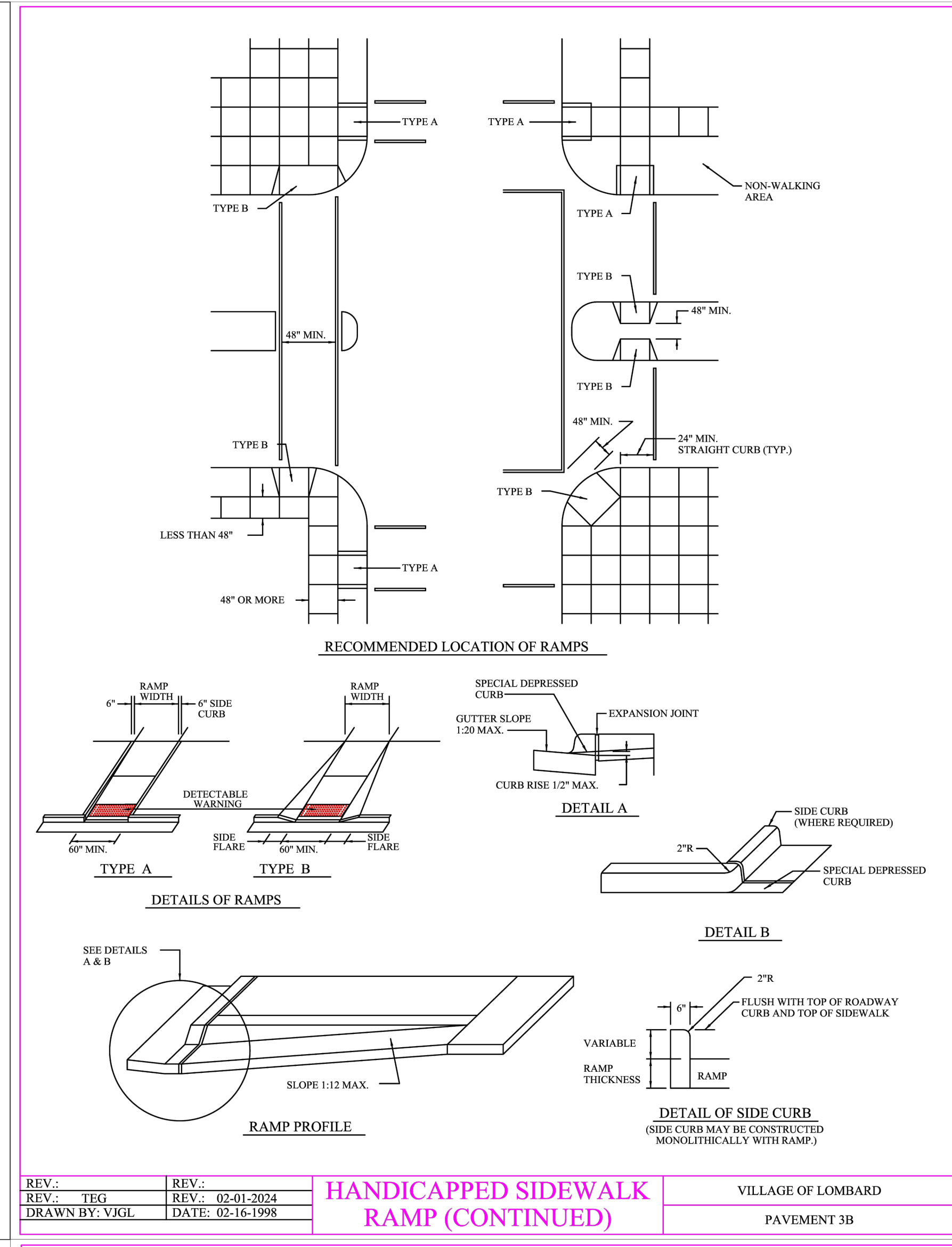
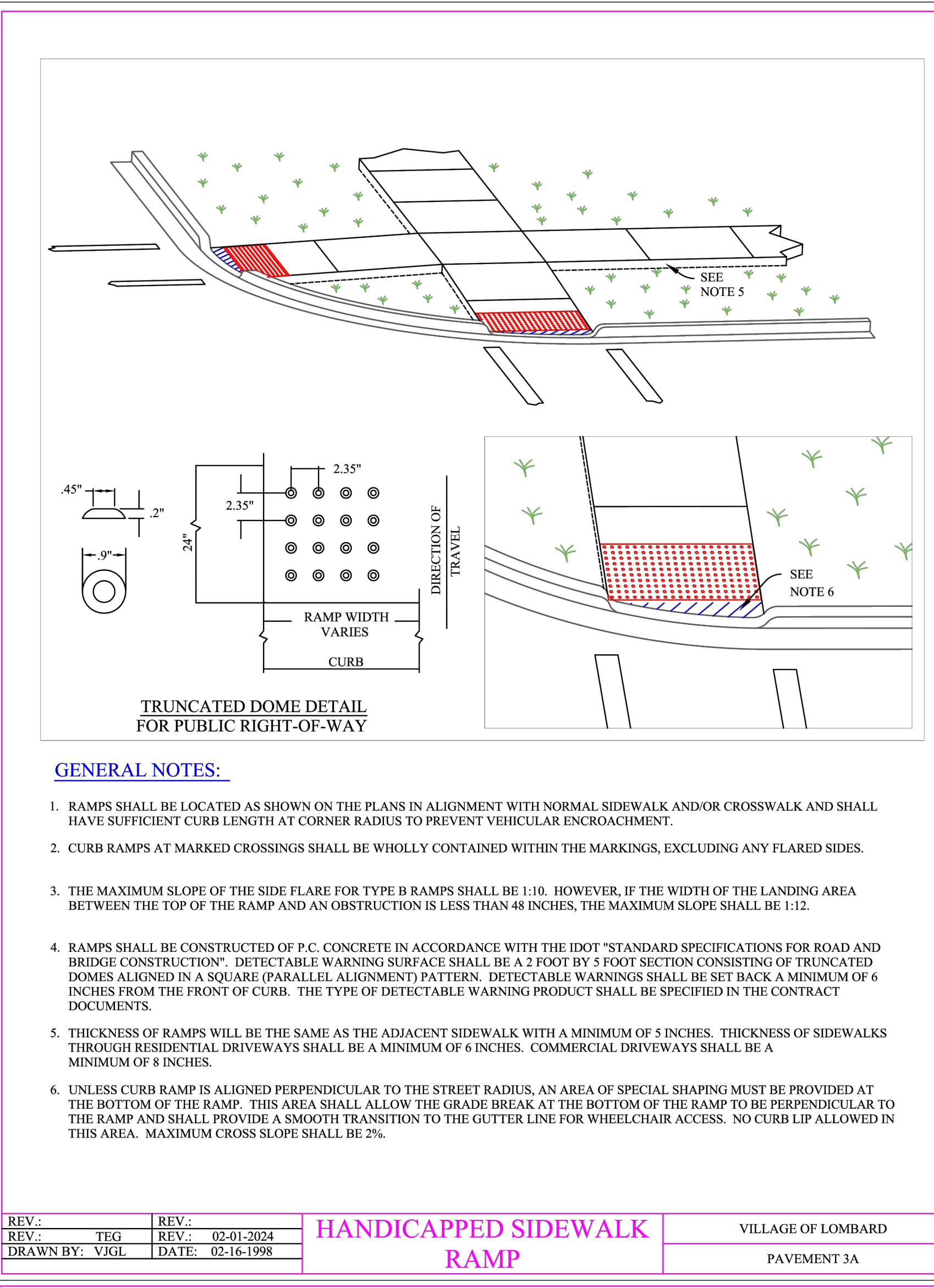
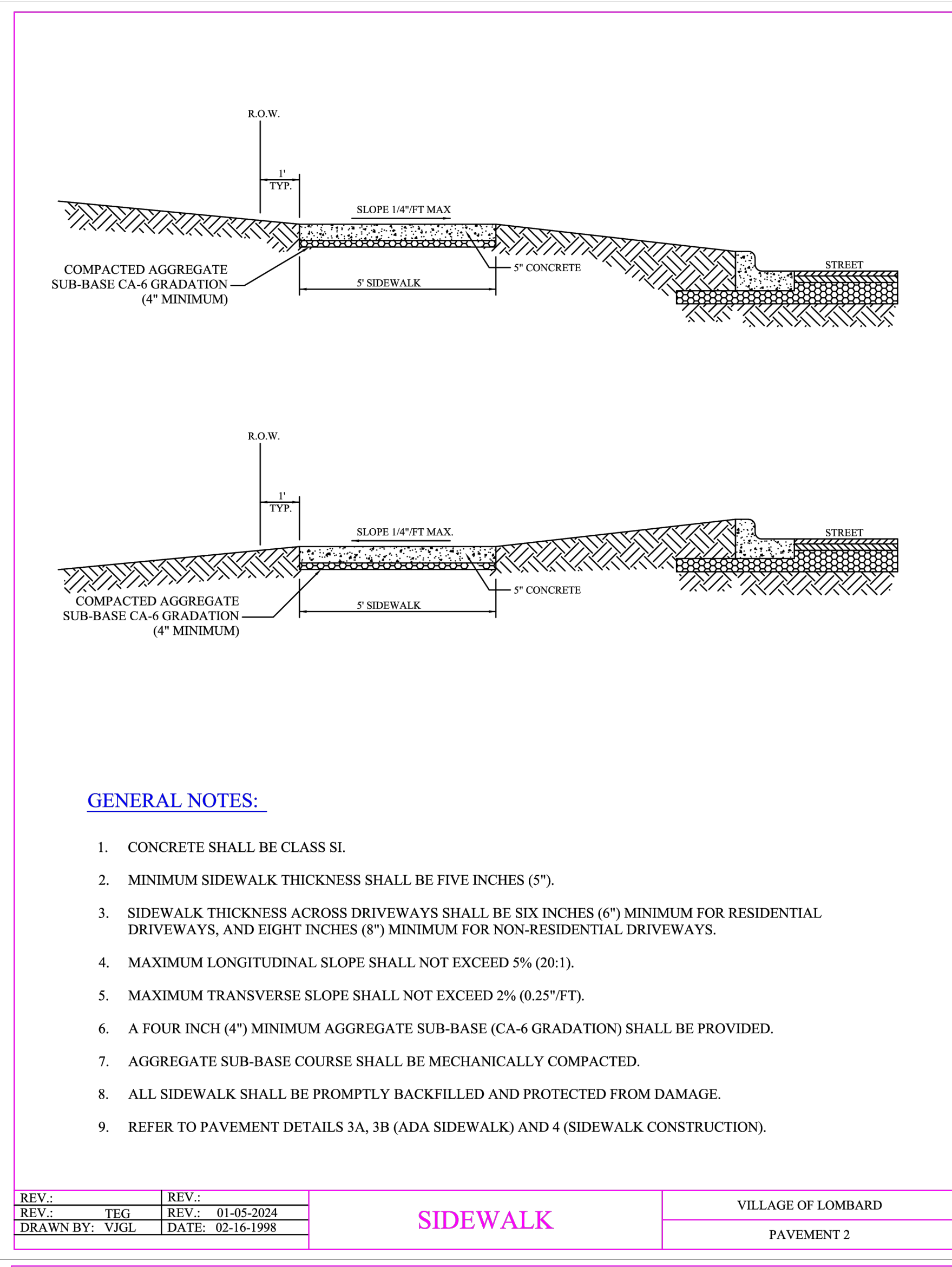
REV: TEG	REV: 02-05-2024
ADD: VJGL	DATE: 02-04-2000



**WATER SERVICE WITH HYDRANT**  
VILLAGE OF LOMBARD  
WATER 12

REV: DRG	REV: 02-25-2016
ADD: TEG	DATE: 02-05-2024

# CONSTRUCTION DETAILS



# CONSTRUCTION DETAILS

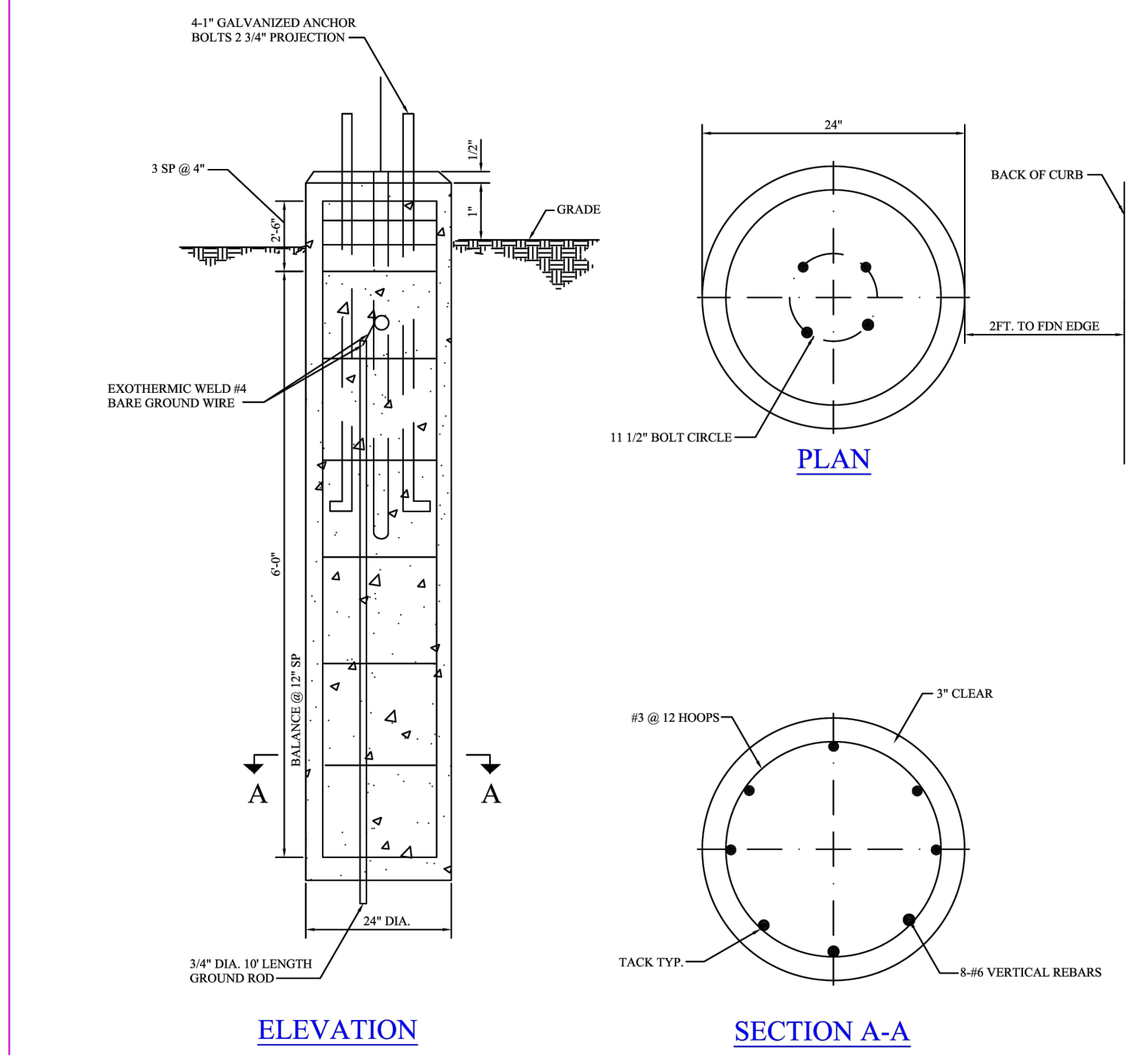
TYPE OF SOIL	FOUNDATION DEPTH (D)	REINFORCEMENT IN FOUNDATION	
		VERTICAL BARS	HORIZONTAL BARS
ROCK OR SOLIDIFIED SLAG	5'-0"	NONE	NONE
DENSE SAND	7'-9"	8 - #6 X 7'-4"	#3 X 7'
MEDIUM SAND	8'-3"	8 - #6 X 7'-10"	#3 X 7'
LOOSE SAND	9'-0"	8 - #6 X 8'-7"	#3 X 8'
STIFF CLAY	7'-0"	8 - #6 X 6'-7"	#3 X 6'
MEDIUM CLAY	9'-6"	8 - #6 X 9'-1"	#3 X 9'
SOFT CLAY	13'-0"	8 - #6 X 12'-7"	#3 X 12'

24 IN. DIA. FOUNDATION DEPTH TABLE  
DESIGN BASE ON 80 M.P.H. AASHTO WIND LOADING

REV. NO.	DATE	DESCRIPTION	BY	CHECKED	DATE	DESCRIPTION	BY	CHECKED	DATE
1	04-28-2003	ADDED LIGHTING FOUNDATION	...	...	04-28-2003	ADDED LIGHTING FOUNDATION	...	...	04-28-2003

LIGHTING FOUNDATION  
SIZE CHART

VILLAGE OF LOMBARD	LIGHTING 1
--------------------	------------

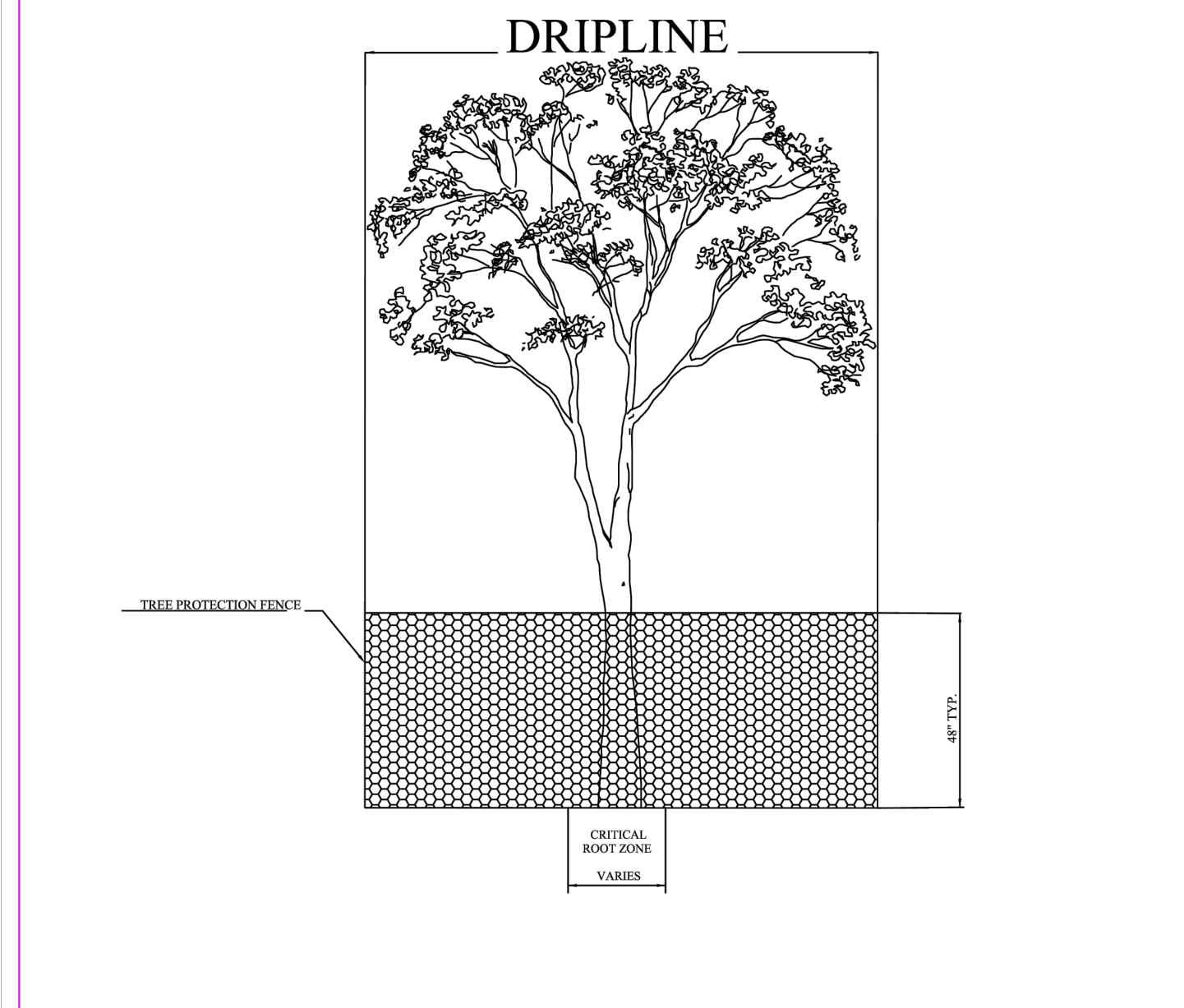


CONCRETE FOUNDATION DETAIL  
T.T.A.

REV. NO.	DATE	DESCRIPTION	BY	CHECKED	DATE	DESCRIPTION	BY	CHECKED	DATE
1	04-28-2003	ADDED LIGHTING FOUNDATION	...	...	04-28-2003	ADDED LIGHTING FOUNDATION	...	...	04-28-2003

LIGHTING FOUNDATION  
SIZE CHART

VILLAGE OF LOMBARD	LIGHTING FOUNDATION 2
--------------------	-----------------------

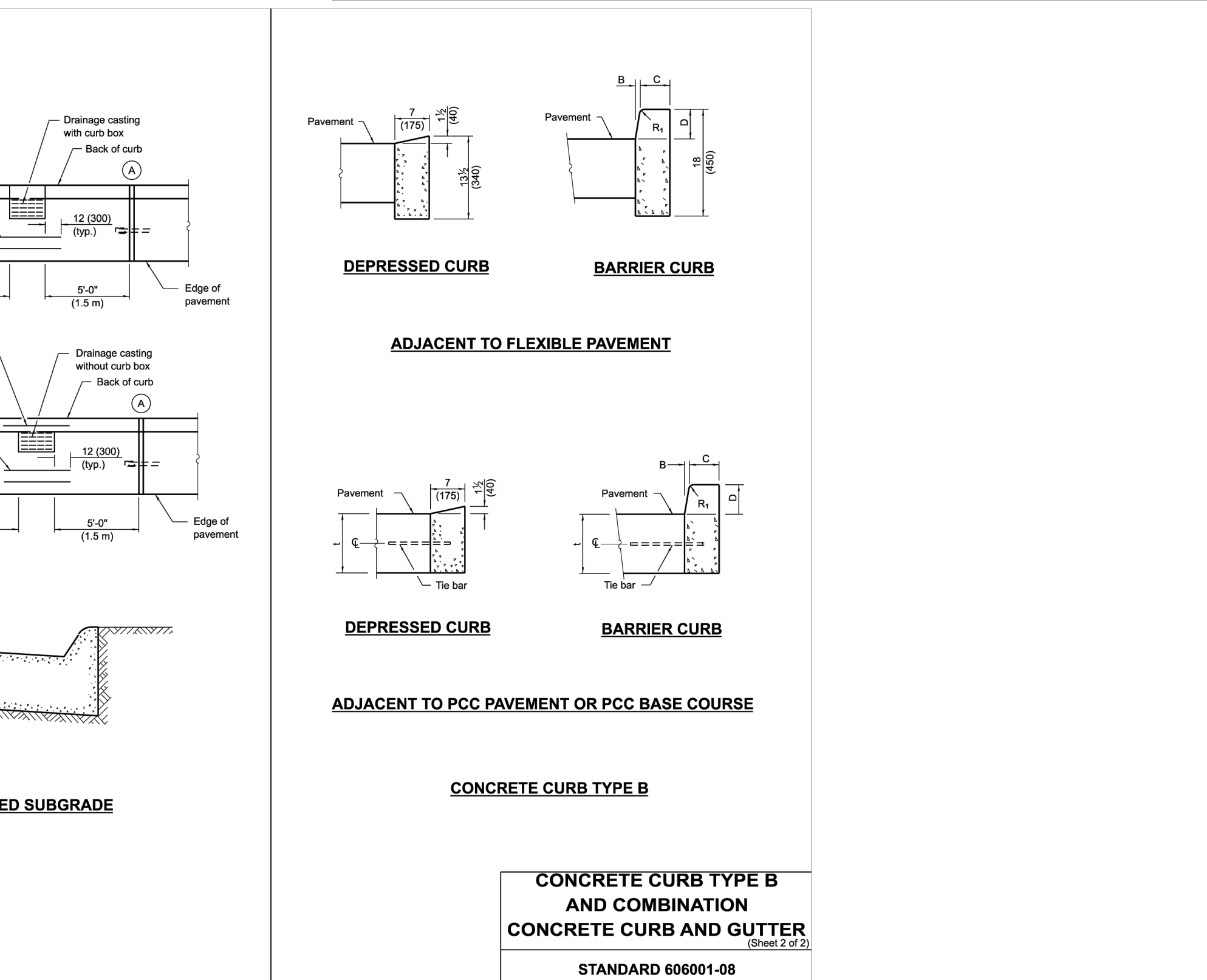
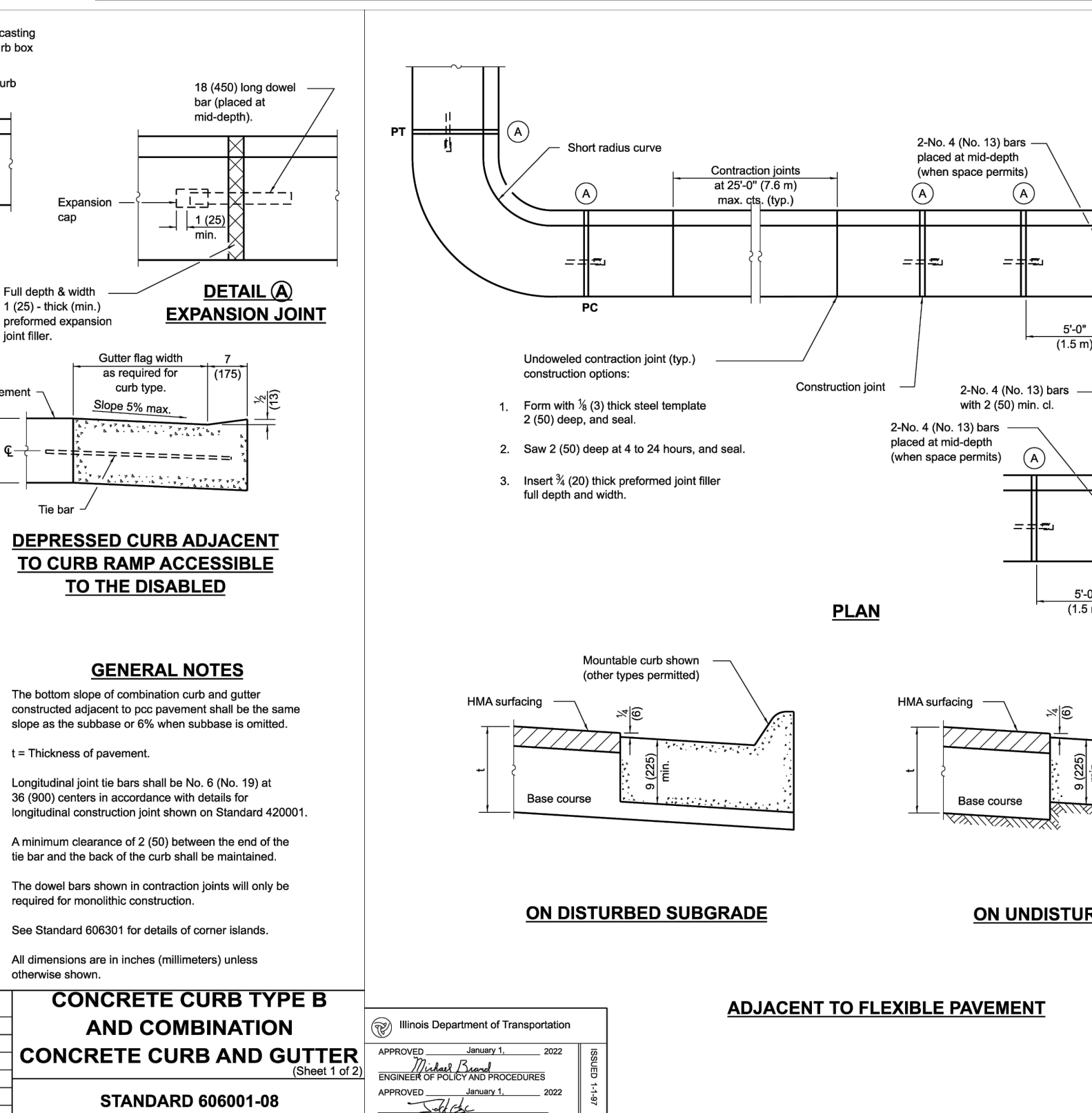
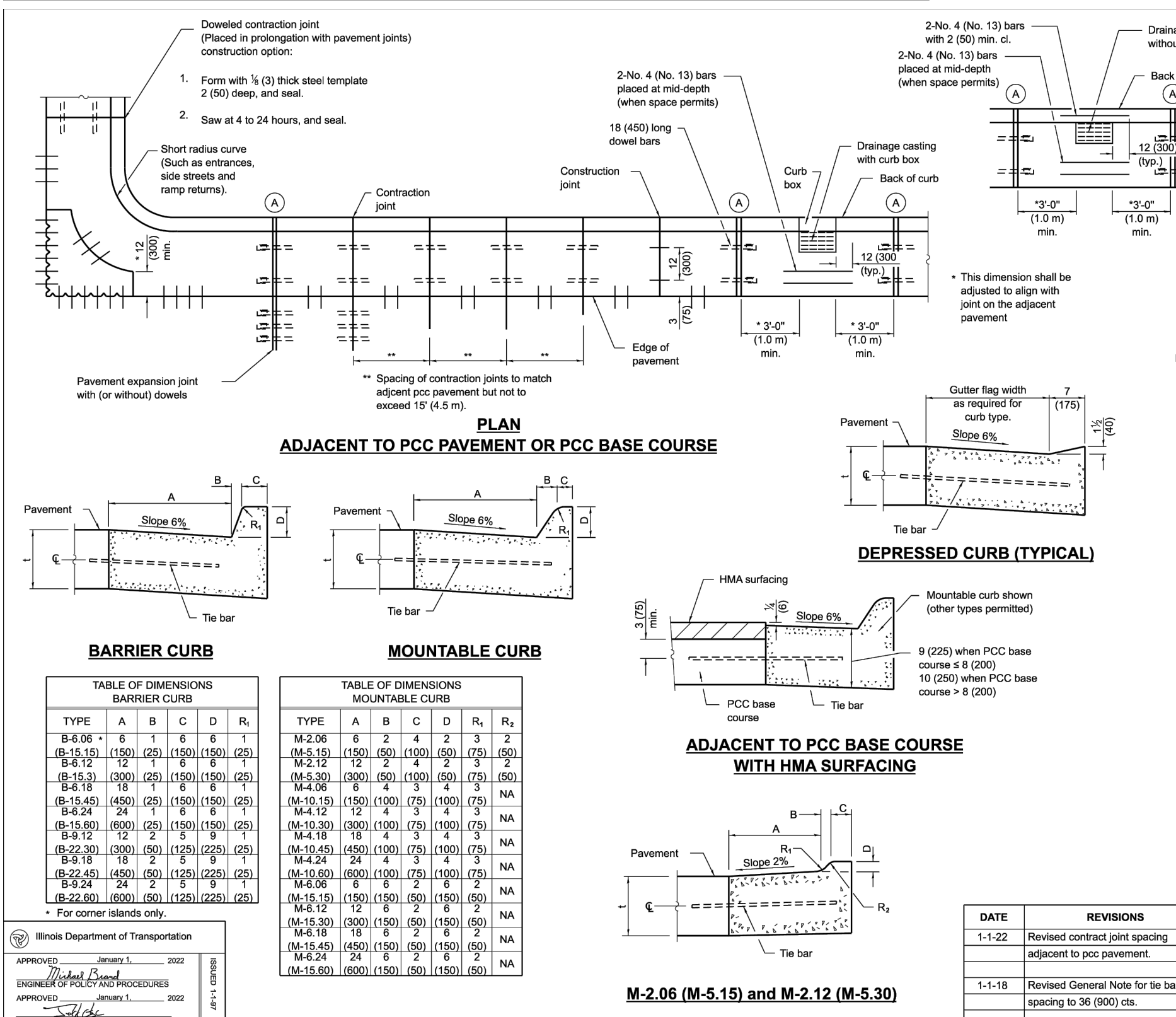


GENERAL NOTES:

- WITHIN THE TREE LINE, WHICH EXTENDS AS FAR AS THE CANOPY, PARKWAY TREES SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES BY MEANS OF A SEE-THROUGH PLASTIC, CHAIN-LINK OR WIRE MESH FENCE WITH THE POSSIBLE EXCEPTION OF A 4 FT GAP FOR LAWN MOWER ACCESS. WITHIN THE TREE LINE, ANY CONSTRUCTION ACTIVITY THAT HAS NOT BEEN ACCURATELY DEPICTED ON A PERMITTED PLAN MUST BE EXPRESSLY AUTHORIZED BY THE ENGINEER, AND ANY SUCH CONSTRUCTION IS CONDITIONAL UPON ROOT PRUNING AND LIMITING EXCAVATION ONLY FOR THE MINIMUM NECESSARY WIDTH.
- WITHIN THE CRITICAL ROOT ZONE (CRZ), WHICH IS ONE FOOT OF RADII PER CALIPER-INCH AND MEASURED FROM THE EDGE OF THE TREE TRUNK, THESE PROHIBITIONS APPLY: (1) ALTERATION OR DISTURBANCE TO EXISTING GRADE; (2) STORAGE OF MATERIALS, EQUIPMENT, SOIL, OR DEBRIS; (3) DISPOSAL OF ANY EXCESS IRREGULAR WATER; AND (4) CONSTRUCTION UNLESS EXPRESSLY APPROVED BY THE ENGINEER, PROFESSIONAL AND CONDITIONAL UPON DIRECTIONAL BORING, ROOT PRUNING, AND/OR PROTECTIVE MATERIAL (E.G. 6 INCHES OF WOOD CHIPS OR 3/4" PLYWOOD) TO THE FURTHEST EXTENT POSSIBLE.
- ANY DAMAGES TO ROOTS, TRUNK, OR BRANCHES WITHIN THE DRIPLINE MAY BE SUBJECT TO FORFEITURES AND FINES PER VILLAGE OF LOMBARD CODE CHAPTER 99.10 UP TO THE VALUATION OF THE TREE, PLUS REMOVAL.

VILLAGE OF LOMBARD	PARKWAY TREE PROTECTION
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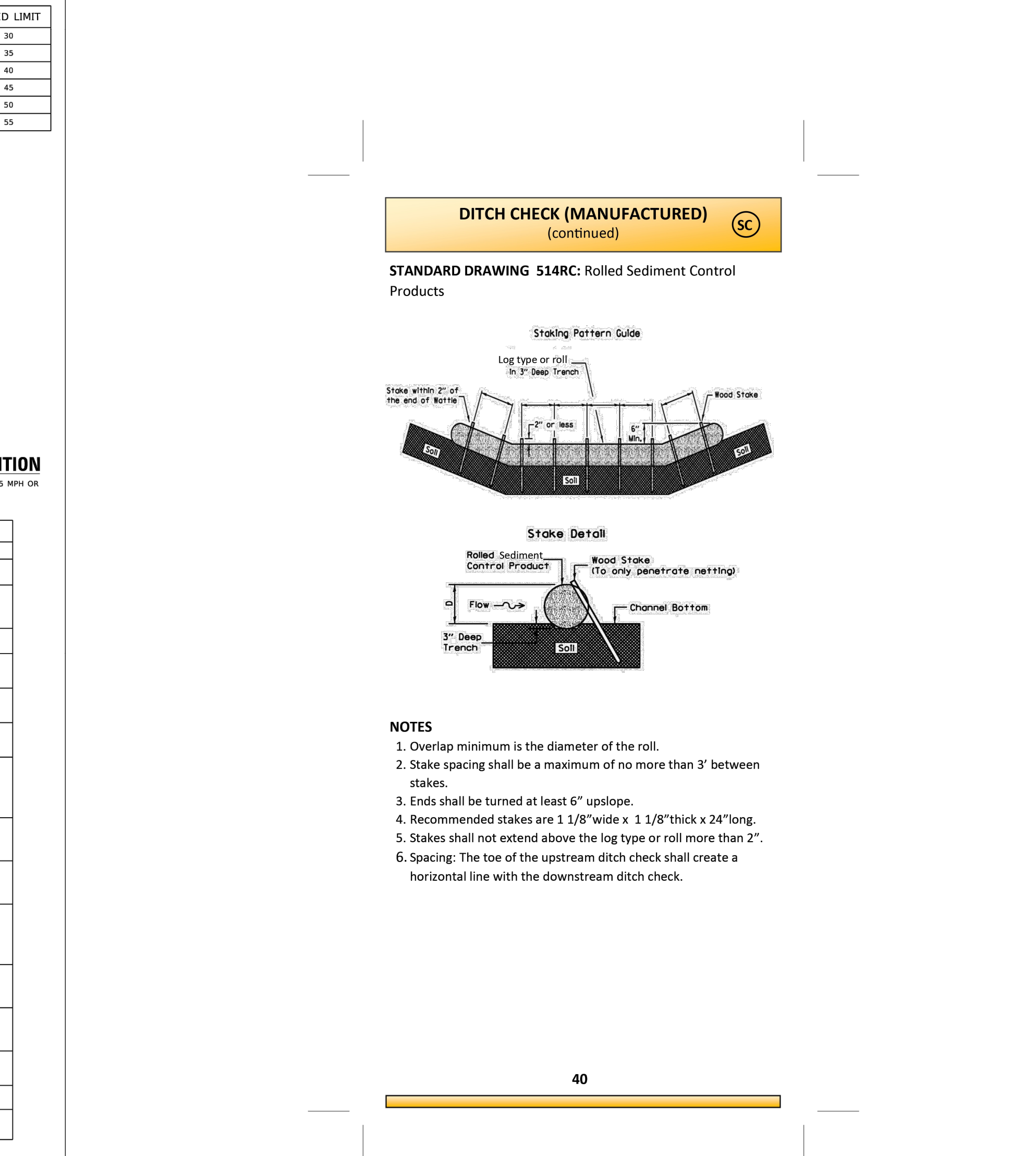
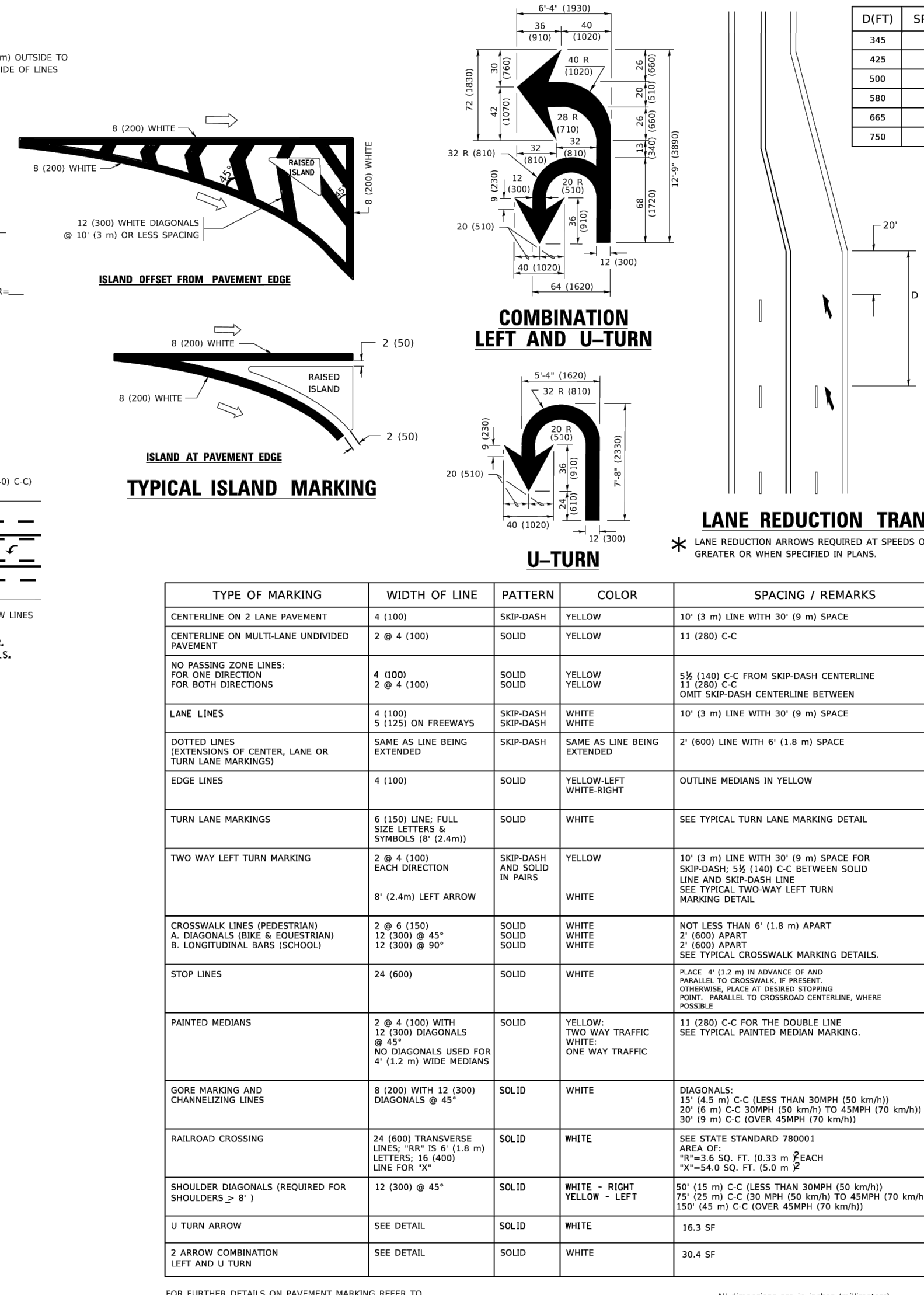
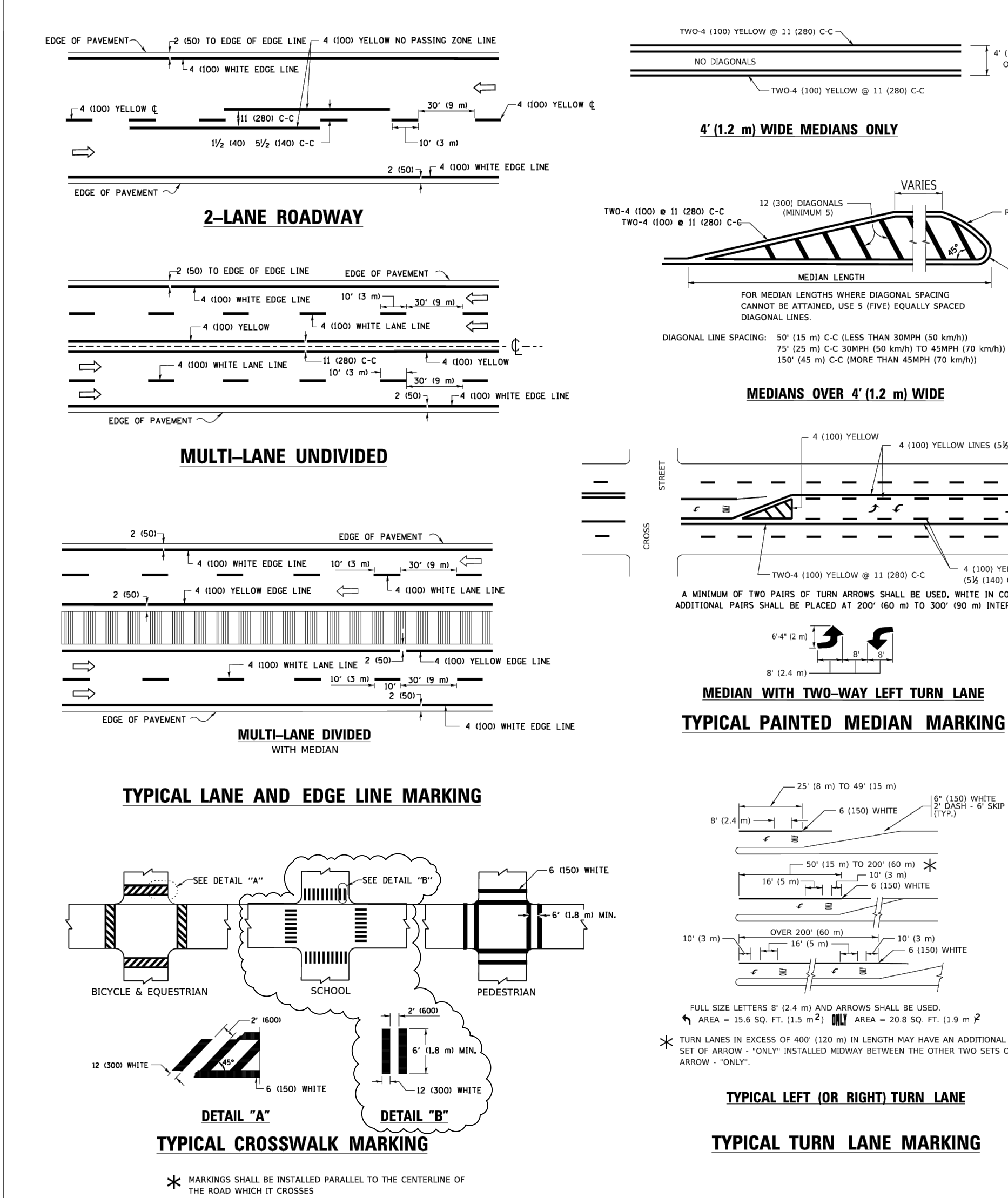
VILLAGE OF LOMBARD	LANDSCAPING 1
--------------------	---------------



TYPE	A	B	C	D	R <sub>L</sub>	R <sub>R</sub>
M-2.06 (M-5.15)	12"	12"	12"	12"	12"	12"
M-2.12 (M-5.30)	12"	12"	12"	12"	12"	12"

DATE	REVISIONS
5-1-12	Revised contract joint spacing adjacent to pcc pavement.
5-1-14	Revised General Note for tie bar spacing to 36 (900) cm.

DATE	REVISIONS
5-1-12	Revised contract joint spacing adjacent to pcc pavement.
5-1-14	Revised General Note for tie bar spacing to 36 (900) cm.



USER NAME	DATE	DESIGNED	DATE	REVISIONS	DATE
...	...	...	...	...	...

DISTRICT ONE	TYPICAL PAVEMENT MARKINGS
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DISTRICT ONE	TYPICAL PAVEMENT MARKINGS
--------------	---------------------------

AFSAR DEVELOPER, LLC  
1308 - 1320 MEYERS ROAD  
LOMBARD, ILLINOIS

Ridgeline CONSULTANTS LLC  
CONSULTING ENGINEERS - LAND SURVEYORS

Ridgeline CONSULTANTS LLC  
Illinois Professional Design Firm No. 184-004766  
16521 Ascott Road, Montgomery, IL 60038  
PH: 630.801.7927 FAX: 630.701.1380  
Jandberg Hill P.L.S. 4071 Expiration Date: 11/30/2026  
Slacy L. Slacy P.L.S. 3415 Expiration Date: 11/30/2026

REVISION	DATE	DESC	REVISION	DATE	DESC	BOOK	DWG. SIZE: E1
						DNANN, REV	CHECKED: JCL
						DATE: 05/23/2025	
						PROJECT NO:	2023-0528

# CONSTRUCTION DETAILS



**PROJECT SUMMARY**

STORAGE VOLUME REQUIRED = 16,830 CF  
 PIPE STORAGE VOLUME = 73,306 CF  
 BACKFILL STORAGE VOLUME = 42,899 CF  
 TOTAL STORAGE PROVIDED = 148,035 CF  
 STORAGE VOID = 86%

PIPE DETAILS  
 • DIAMETER: 66"  
 • CORRUGATION: #41  
 • GAGE: 18"  
 • COATING: A-12  
 • WALL TYPE: WELDED  
 • BARREL SPACING: 18"

BACKFILL DETAILS  
 • WIDTH: 18" x 18"  
 • ABOVE PIPE: 6"  
 • BELOW PIPE: 3.5"

NOTES  
 1. ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.  
 2. ALL DIMENSIONS SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.  
 3. ALL FITTINGS AND REINFORCEMENT SHALL COMPLY WITH ASTM A153.  
 4. ALL RISER AND STUBS ARE 2 1/2" x 1/2" CORRUGATION AND TO BE FIELD WELDED TO EACH OTHER.  
 5. QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTION TO EXISTING OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING CHARGE FACILITIES. IF ADDITIONAL PIPE IS REQUIRED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR.  
 6. RISER TYPE TO BE DETERMINED UPON FINAL DESIGN.  
 7. THIS DRAWING IS FOR CONCEPTUAL PURPOSES AND DOES NOT REPRESENT ANY LOCAL REQUIREMENTS OR CONDITIONS. CONSULT YOUR LOCAL CODES FOR MODIFICATIONS.

ASSEMBLY SCALE: 1" = 40'

DY064625 The Pinnacle at Meyers  
 CMP Detention Alternate - Rate Control + PCBMP  
 Lombard, IL  
 DETENTION SYSTEM

**PLAIN END CMP RISER PIPE**

CONNECTION DETAIL 1 1/2" TECHCO BAND (MIN VARY)

ELEVATION VIEW OF CMP AND RISER

CONNECTION DETAIL 2 3/8" x 1/2" RIVETED PIPE

GENERAL NOTES:  
 1. JOINT IS TO BE ASSEMBLED PER ASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC. 2A.4.2.4.  
 2. BAND MATERIALS AND/OR COATING CAN VARY BY LOCATION; CONTACT YOUR CONTRACT REPRESENTATIVE FOR AVAILABILITY.  
 3. BANDS ARE SHAPED TO MATCH THE PIPE ARCH WHEN APPLICABLE.  
 4. BANDS ARE NORMALLY FURNISHED AS FOLLOWS:  
 • 12" THRU 48" SPICES  
 • 54" THRU 96" SPICES  
 • 102" THRU 144" SPICES  
 5. BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS.  
 6. ALL CMP IS REWELDED TO HAVE ANNULAR END CORRUGATIONS OF A 2 1/2" x 1/2".  
 7. DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.  
 8. ORDER SHALL DESIGNATE GASKET OPTION, IF REQUIRED (SEE DETAILS ABOVE).

12" RISER BAND DETAIL NOT TO SCALE

10-C BAND DETAIL NOT TO SCALE

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**TYPICAL MANWAY DETAIL**

FRONT VIEW

CONSTRUCTION LOADING DIAGRAM

PIPE SPAN, FEET	18-20	20-25	25-30	30-35	35-40
18-20	2.0	2.5	3.0	3.5	4.0
20-25	2.5	3.0	3.5	4.0	4.5
25-30	3.0	3.5	4.0	4.5	5.0
30-35	3.5	4.0	4.5	5.0	5.5
35-40	4.0	4.5	5.0	5.5	6.0

CONSTRUCTION LOADING DIAGRAM NOT TO SCALE

**MATERIAL SPECIFICATION**

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**ACCESS CASTING NOT SUPPLIED BY CONTECH**

SECTION A-A

PLAN VIEW

**XFILTRATION BAND**

DIAMETER	BAND	FASTENER
UP TO 84"	S/C OR H-12	S/C PLANT FASTENER WITH NO GASKET
84" >	10-C	S/T PLANT FASTENER WITH NO GASKET

XFILTRATION BAND DETAIL NOT TO SCALE

**MANHOLE CAP DETAIL**

NOTES:  
 1. REINFORCED CONCRETE COLLAR SHALL BE SIZED AND DESIGNED BY ENGINEER OF RECORD TO WITHSTAND THE LOADS AND TRANSMITTED TO THE SOIL AND NOT THE RISER.  
 2. MANHOLE CONCRETE COLLAR SHALL BE SIZED TO PROVIDE AN ADEQUATE SUPPORT AREA BASED ON THE ALLOWABLE BEARING CAPACITY OF THE SOIL.  
 3. THE FLEXIBLE JOINT MATERIAL, RECYCLED VINYL OR EQUIVALENT TO BE USED THROUGHOUT THE CONCRETE CAN NEVER ENGAGE WITH THE RISER CORRUGATIONS.

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**XFILTRATION JOINT STANDARD BACKFILL SPECIFICATIONS**

MATERIAL LOCATION	MATERIAL SPECIFICATION	DESCRIPTION
FILL ENVELOPE WIDTH	PER ENGINEER OF RECORD	MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER CONSTRUCTION OF HANDRAIL MATERIALS UNDER THE PIPE. THE SUGGESTED MINIMUM TRENCH WIDTH FOR RECOMMENDATION: PIPE 12" - 30" = 12" + 12" + 12" = 36" + 12" = 48" + 12" = 60"
FOUNDATION	ASHTO M 2.5 - PER ENGINEER OF RECORD	PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE TO UNDERLIE MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND FOUNDATION REBUILT BACK TO GRADE WITH A FILL MATERIAL APPROVED BY THE ENGINEER OF RECORD.
BEDDING	ASHTO M 4.1, 3, 3.1, 4, 4.1, 5, 5.1, 5.2	ENGINEER OF RECORD TO DETERMINE IF BEDDING IS REQUIRED. PIPE MAY BE PLACED ON THE TRENCH BOTTOM OF A RELATIVELY LOOSE, NATIVE SUITABLE WELL GRADED GRANULAR MATERIAL THAT IS SUFFICIENTLY SHAPED TO FIT THE BOTTOM OF THE PIPE. THE BEDDING MATERIAL MAY BE SUITABLE OPEN GRADED GRANULAR BEDDING CONFORMING TO ASHTO SOIL CLASSIFICATIONS A-1, A-2, OR A-3 WITH MAXIMUM PARTICLE SIZE OF 3/8" PER ASHTO 2.5.3.1.1.
BACKFILL	FINE DRAGGING AND LAR WASHED STONE PER ASHTO M 4.1, 3, 3.1, 4, 4.1, 5, 5.1, 5.2 OR APPROVED EQUAL	HANDRAIL ZONE MATERIAL SHALL BE HANDRAIL ZONE OR EQUIVALENT, ELICED INTO PLACE TO ALLOW FOR PROPER CONSTRUCTION WITHOUT SOFT SPOTS. BACKFILL SHALL BE PLACED IN 4" LAYER LIFTS AND COMPACTED TO 98% STANDARD PROCTOR PER ASHTO T 99. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO (2) FT. DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE SYSTEM TO PREVENT LOCAL LOADING WHERE CONVENTIONAL COMPACTION TESTING IS NOT PRACTICAL. THE MATERIAL SHALL BE MECHANICALLY COMPACTED UNTIL NO FURTHER YIELDING OF MATERIAL IS OBSERVED UNDER THE COMPACTOR. OTHER FLUCTUATION CONDITIONS THAT INTERACT WITH THE PIPE SHALL BE IDENTIFIED AND A GEOTEXTILE SEPARATION LAYER TO PREVENT SOIL MIGRATION. *IN AREAS WITH HIGH WATER TABLE FLUCTUATIONS THAT INTERACT WITH THE PIPE, COVER MATERIAL SHALL INCLUDE NON-BITUMINOUS GRANULAR ROCKBASE MATERIAL WITH 18% COVER LAYER.
COVER MATERIAL	UP TO MIN. COVER - ASHTO M 4.1, 5, 5.1, 5.2, A.3, A.3.1 ABOVE MIN. COVER - PER ENGINEER OF RECORD	COVER MATERIAL MAY INCLUDE NON-BITUMINOUS GRANULAR ROCKBASE MATERIAL WITH 18% COVER LAYER.
ROAD OR FLEXIBLE PAVEMENT (IF APPLICABLE)	PER ENGINEER OF RECORD	FLEXIBLE PAVEMENT SHOULD NOT BE COUNTED AS PART OF THE FILL HEIGHT OVER THE CMP FROM BACKFILL MATERIAL. SELECTION AND CONSTRUCTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD.
SIDE GEOTEXTILE	NONE	GEOTEXTILE LAYER IS RECOMMENDED ON SIDES OF EXCAVATION TO PREVENT SOIL MIGRATION WHEN STONE BEDDING IS USED. IF NO STONE BEDDING IS REQUIRED, THEN SIDE GEOTEXTILE IS REQUIRED.
GEOTEXTILE BETWEEN LAYERS	NONE	IF SOIL TYPES DIFFER AT ANY POINT ABOVE PIPE INVERT, A GEOTEXTILE LAYER IS RECOMMENDED TO BE PLACED BETWEEN THE LAYERS TO PREVENT SOIL MIGRATION.

MANUFACTURER RECOMMENDED BACKFILL NOT TO SCALE

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 Lombard, IL  
 DETENTION SYSTEM

**CMP Perforated Pipe Storage Calculations**

Project Name: The Pinnacle at Meyers  
 Location: Lombard, IL  
 System: 66" CMP Detention System

Contech Engineer: KLS  
 Date: 5/13/2025

**Layout**

Parameter	Value
CMP Diameter	66 in
Pipe Layout Length	341.0 ft
Pipe Layout Width	61.5 ft
Stone Length	343.0 ft
Stone Width	63.5 ft
# of Rows	9
Barrel Spacing	1.5 ft
# of Manifolds	1
Stone below	3.5 in
Stone above	6 in
Stone periphery	12 in
Stone Void Percentage	36%
Required Storage	95,820.0 cf
Required Volume Control	9,755.0 cf

**Volume in Pipe:**

Number of rows	Length (ft)	Total Length (LF)	Volume (cf)	Comments
1	61.50	61.5	1,461.1	Manifold
9	335.50	3019.5	71,738.2	Barrels
Total		3,081.0	73,199.3	

**Volume in Stone Voids:**

Area (sq ft)	Height (ft)	Excavation Volume (cf)	Stone Volume (cf)	Storage in (cf)
21780.5	6.3	137,035.6	63,836.3	22,981.1

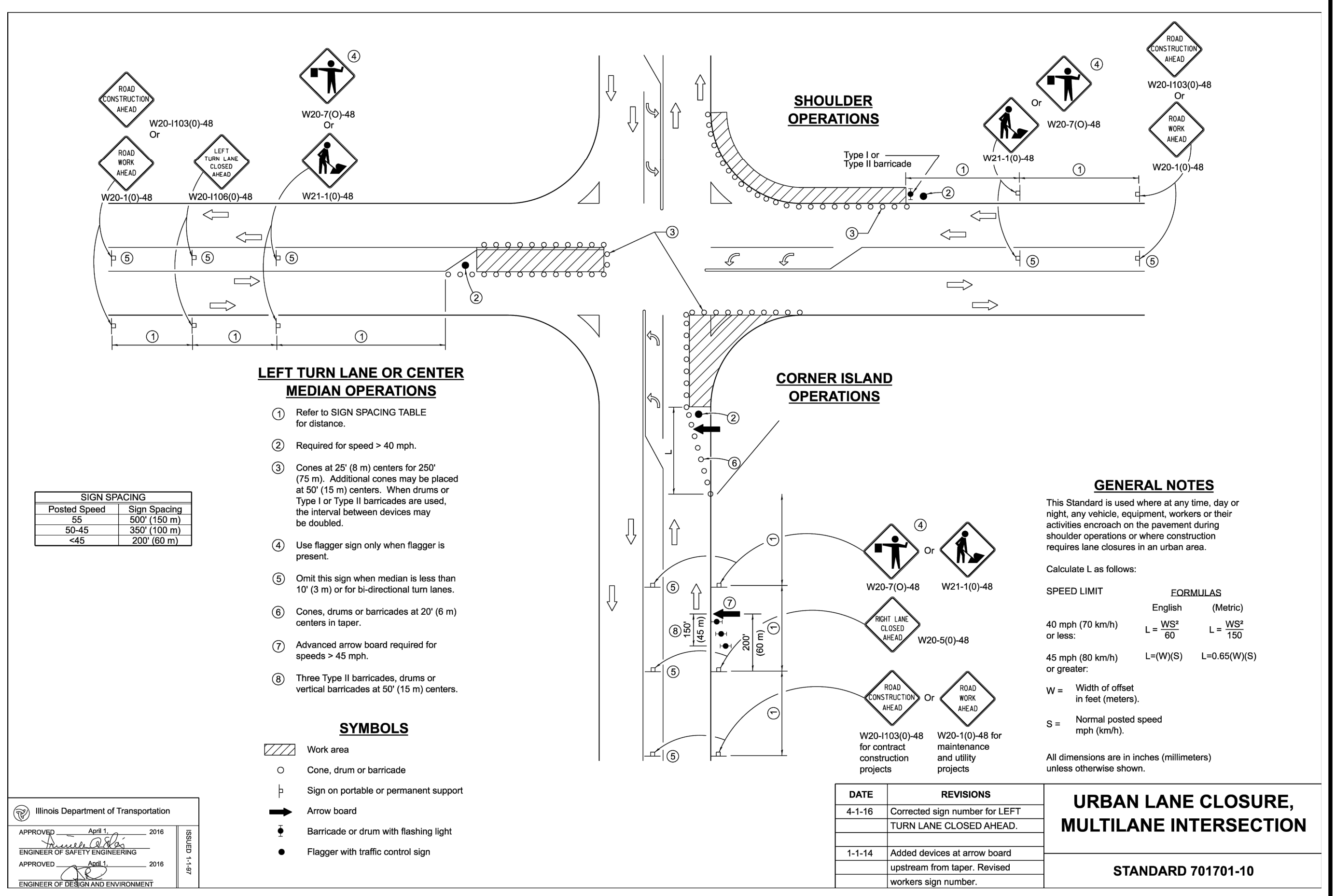
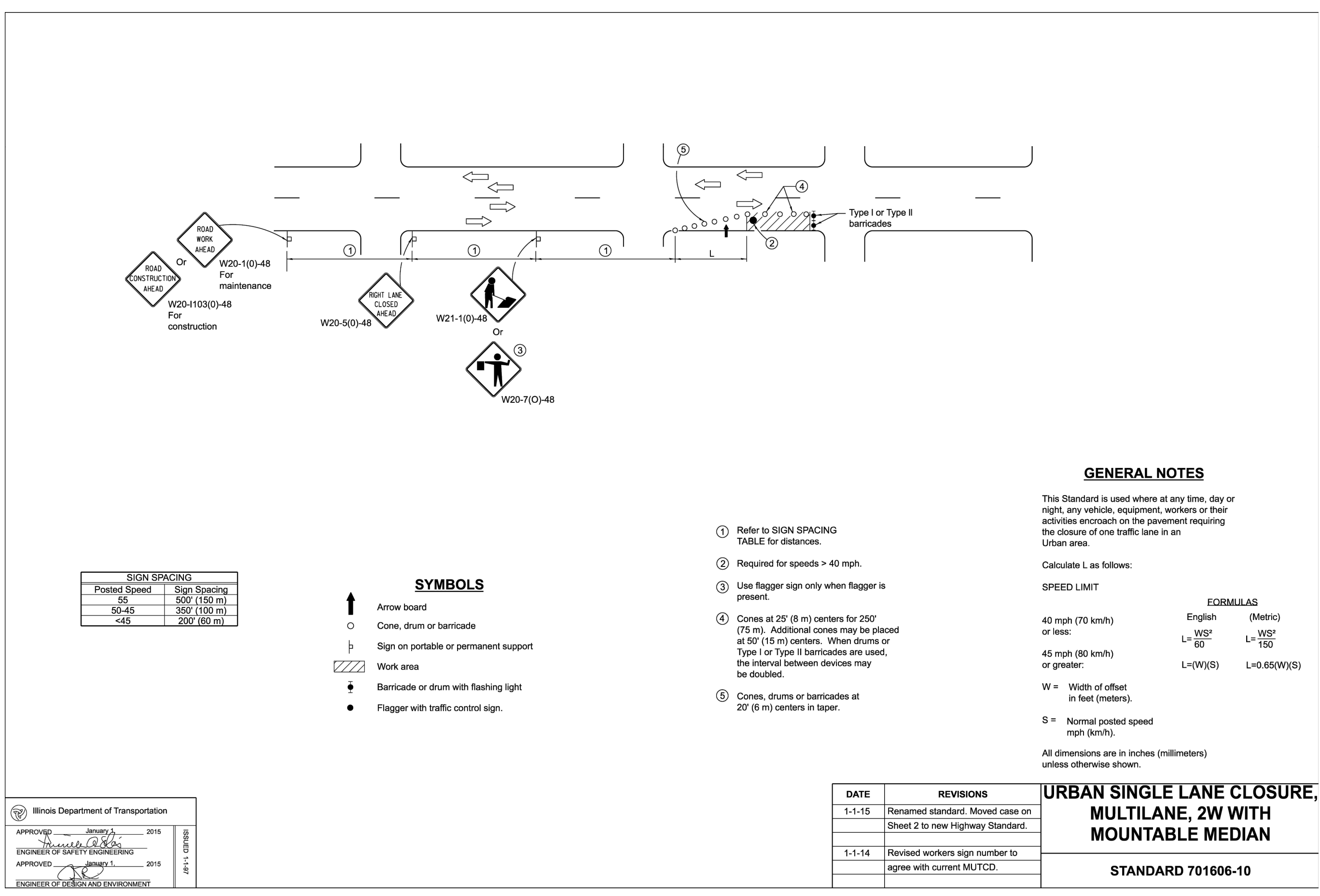
**Total Volume provided: 96,180.4 cf**

**Control Volume**

Parameter	Value
Storage Elevation at Volume Control Elevation:	716.14 ft
Pipe Invert Elevation:	715.54 ft
Stone Invert Elevation:	715.25 ft
Height of storage in Pipe at Volume Control Elevation:	0.60 ft
Height of storage in Stone at Volume Control Elevation:	0.89 ft
Storage in Pipe Below Volume Control Elevation:	4,328.0 cf
1.0 x Volume Stored =	4,328.0 cf
Coarse Aggregate Storage Below Volume Control Elevation:	15,092.9 cf
0.36 x Volume Stored =	5,433.5 cf

**Volume Control Volume: 9,761.47 cf**  
**Rate Control Volume: 86,418.92 cf**  
**Total Volume provided: 96,180.39 cf**

# UNDERGROUND DETENTION DETAILS



03/15/2021

**DuPage County Division of Transportation General Notes and Specifications**

- All construction within the County's right-of-way shall be performed according to IDOT'S "Standard Specifications for Road and Bridge Construction" (Latest Edition) and the "Supplemental Specifications and Recurring Special Provisions" (Latest Edition).
- Daily lane closures are permitted between 9:00 a.m. and 4:00 p.m. ONLY. Traffic control shall conform to IDOT's Highway Standards and the FHWA's 'Manual for Uniform Traffic Control Devices' and IDOT's Supplement at all times during construction. Traffic control shall include use of advance warning lane closure signage, an arrow board and Type I barricades with sandbags.
- Lane closures are not permitted on County roadways during snowfall or within 2 hours prior to predicted snowfall or precipitation conditions between November 15 and April 15 for maintenance of the roadway pavement by County Highway Maintenance Department staff and equipment.
- Disturbed areas of the right-of-way shall be dressed with a minimum of 6" topsoil and Class 2A salt tolerant seed (with erosion control blanket) or sod (salt tolerant and staked in place).
- Erosion control measures shall comply with the minimum requirements of the DuPage County Stormwater and Floodplain Ordinance specifications at all times.
- Equipment and materials shall not be stored within the County's right-of-way at any time without the express written permission of the County Engineer, or his duly authorized assign.
- Pavement, curb/gutter and storm structures within the County's right-of-way shall be maintained free of mud/debris at all times and shall be cleaned as is required and/or as directed by DuPage County.
- Contact DuPage County (630/407-6900) a minimum of 48 hours prior to the start of construction to arrange for inspections of and at the completion of the described work within the County's right-of-way.
- Trench backfill for non-paved areas shall be installed within the County's right-of-way per DuPage County's standard.
- Trench backfill below existing or proposed pavement, curb/gutter and/or sidewalk shall be installed within the County's right of way per DuPage County's standard.
- Trees and landscaping is prohibited in the County right of way.
- Brick Mail boxes are prohibited in the County right of way.

(DPC DOT Specifications.doc), rjk

**CONSTRUCTION DETAILS**